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LYNNWOOD PARKS

URBAN FOREST HEALTH ASSESSMENT



Lynnwood Parks Baseline Urban Forest Health Assessment

Lynnwood, Washington

Prepared for
City of Lynnwood Parks, Recreation & Cultural Arts

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Disclaimer: For this assessment only properties for Lund’s Gulch within City of Lynnwood boundaries were assessed. Interurban Trail was not assessed.

Appendix B. Forest Landscape Assessment Tool Field Survey Data

Introduction

Urban forests play a vital role in the environmental, economic, and public health of Lynnwood. Trees, plants, and green spaces provide numerous benefits to the community, including reducing flooding and erosion, sequestering carbon, offering shade on hot days, cleaning the air, providing habitat for wildlife, and many more. However, these resources are at risk from multiple threats, including development, tree loss, and invasive species, and require active management to maintain their health for generations to come. The first step in managing these resources is understanding their current conditions.

Herrera biologists conducted a baseline land cover and forest health assessment for parks and open spaces within the incorporated city limits of Lynnwood, Washington. The assessment covered 18 parks, 5 open spaces, and one trail (Figure 1). The results of this assessment will allow City staff to make informed decisions when establishing long-term forest restoration and management priorities. The information presented in this technical memorandum will serve as high-level baseline data from which finer-scale, site-specific monitoring and restoration planning may occur based on City needs and priorities.

Methods

Herrera used the Forest Landscape Assessment Tool (FLAT) to evaluate forest ecological conditions and potential threats to forest health. FLAT is a set of procedures and tools designed to provide land managers with a rapid, systematic, flexible, and cost-effective environmental evaluation. This tool is based on the Tree-iage model, which was developed and piloted by the Green Cities Research Alliance and has been used by several Puget Sound jurisdictions to assess current forest conditions and establish long-term management priorities for forest restoration. The technical information produced by FLAT serves as a standardized baseline for ecological data, which forms the basis for developing forest stewardship or management plans. Apart from providing a framework for prioritizing actions, FLAT can also function as a monitoring tool to track changes in conditions and guide the modification of management strategies and priorities. The FLAT user manual contains complete documentation of the tool.

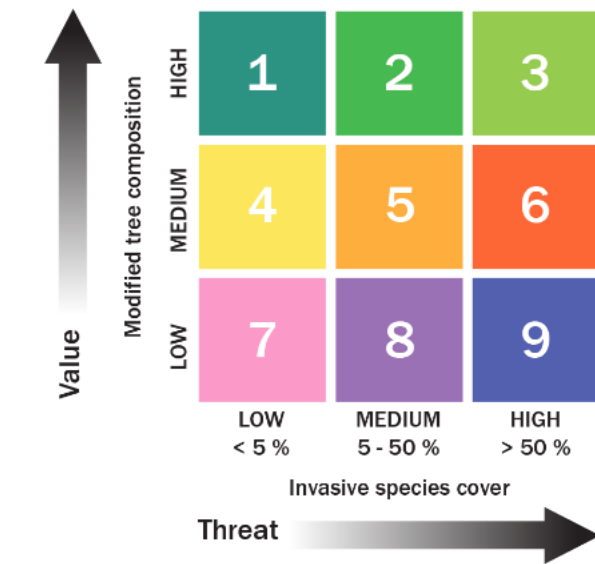


Image 1. Tree-iage Matrix adapted from Forterra

Prior to the field assessment, a GIS analysis of aerial imagery identified habitat management units (HMUs) based on five categories: forested, natural (non-forested), open water, hardscaped, or landscaped. A field team of Herrera biologists and arborists then conducted field surveys to verify HMU boundaries and further assess forested and natural areas to assign Tree-iage values.

Figure 1. Parks and Open Spaces for the Lynnwood Parks Baseline Forest Health Assessment

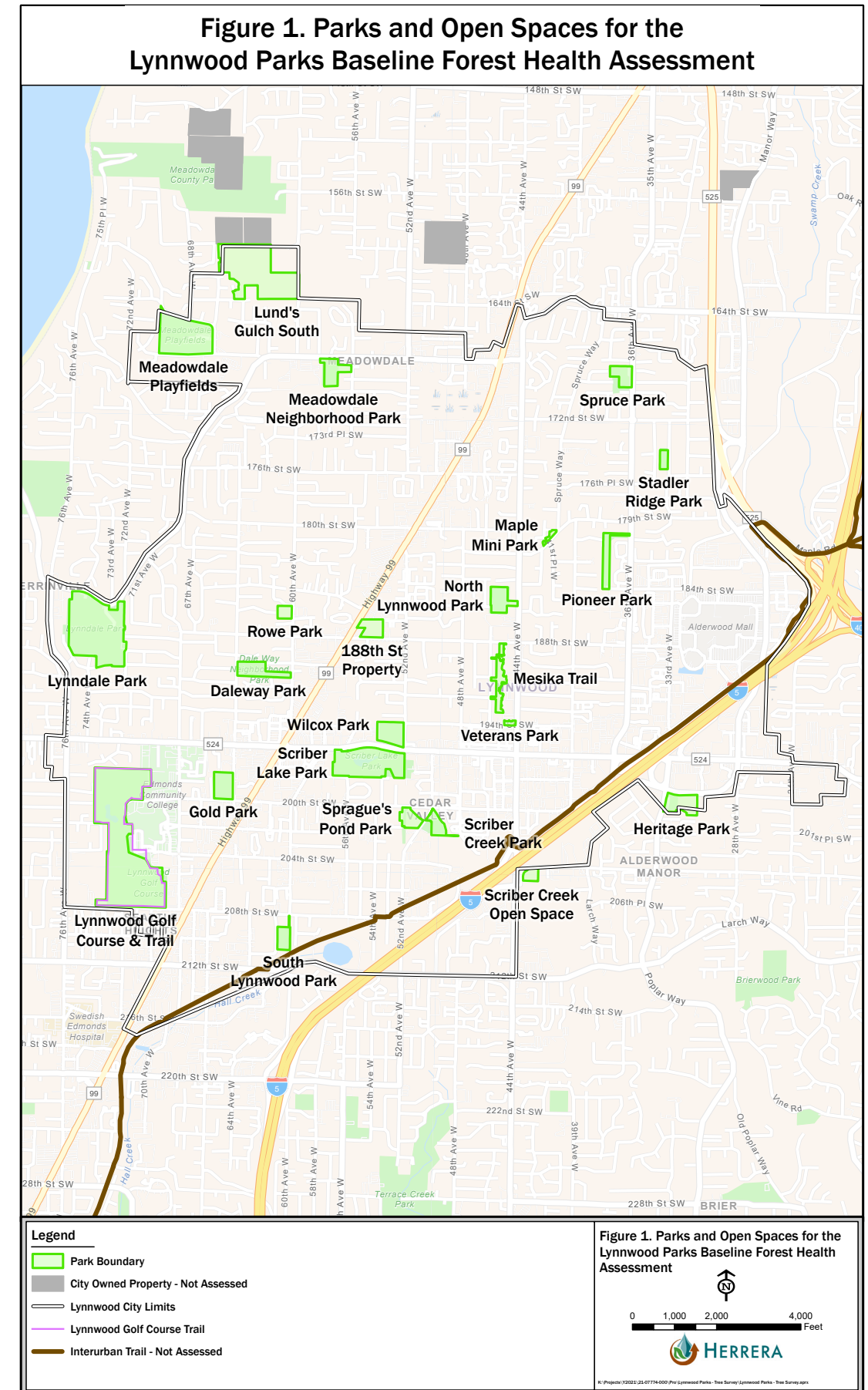


Figure 1. Parks and Open Spaces for the Lynnwood Parks Baseline Forest Health Assessment



An example of two HMUs within Scriber Creek Park. On the left, mature mixed deciduous and coniferous canopy and low-growing predominantly native understory define a different HMU than the deciduous canopy with overgrown invasive understory on the right.

HMU boundaries were estimated from their exterior boundaries when site conditions did not allow safe access to the interior of the HMU. HMUs that were estimated due to safety issues were the 188th Street Property HMUs 2 and 3, Scriber Lake Park HMUs 4 and 5, Scriber Creek Open Space HMU 1, and Lund’s Gulch South HMUs 6 and 7). Existing forest conditions were documented, including tree canopy composition and invasive species threats.

Additional forest attributes including estimates of tree age, size classes, dominant native understory species, potential threats (e.g., disease, pests, erosion), native tree regeneration species, and stand density were also captured. A complete data form used during the field analysis showing all data fields collected is provided in Attachment 1.

After field investigations, Herrera analyzed the results within baseline forest health assessment data forms to determine a Tree-iage score for each HMU based on the Tree-iage matrix system (Image 1). Tree-iage scores range from 1 to 9 and are based on modified tree composition and invasive species cover. A number 1 represents high-quality habitat and low invasive-species threat, and a number 9 represents low-quality habitat and high invasive species threat. Tree-iage scores provide an overview of site conditions which support prioritization and planning efforts. From this data, we assigned a value (high, medium, or low) to each MU for habitat composition, according to the following breakdown:

High HMUs with more than 25% native tree-canopy cover, in which evergreen species and/or madrones make up more than 50% of the total canopy OR, HMUs with more than 25% native tree canopy in partially inundated wetlands that can support 1%–50% evergreen canopy. OR, HMUs in frequently inundated wetlands that cannot support evergreen/madrone canopy.

Medium HMUs with more than 25% native tree-canopy cover, in which evergreen species and/or madrones make up between 1% and 50% of the total canopy. OR, HMUs with less than 25% native tree canopy in partially inundated wetlands that can support 1%–50% evergreen/ madrone canopy.

Low HMUs with less than 25% native tree-canopy cover. OR forests with more than 25% native tree canopy, in which evergreen species and/or madrones make up 0% of the total canopy.

In addition, each HMU was assigned one of the following invasive-cover threat values:

High HMUs with more than 50% invasive species cover.

Medium HMUs with between 5% and 50% invasive species cover.

Low HMUs with less than 5% invasive species cover. More detailed site level information is available within the complete HMU data for future analysis and management planning. Forested areas within parks and open spaces should continue to be revisited to capture changes to forest conditions and as site management efforts continue. The FLAT system recommends re-assessment of forested areas approximately every 5 years. Data collection and monitoring intervals can be adjusted as needed based on management and restoration activities.

Results

The following tables (Tables 1–3) summarize the results of the baseline forest health assessment conducted in Lynnwood Parks. Attachment 1 provides an example data form and the complete data forms from the baseline forest health assessment’s application of the FLAT. Attachment 2 includes figures of preliminary analysis for each park or open space site which illustrates HMUs, Tree-iage scores, and land cover classifications for non-forested areas. Image 2 provides example images for habitat types that received matrix ratings.



An example of a non-HMU. This portion of a park would be categorized as landscaped.

Image 2. Examples of Tree-iage Matrix Values at different Lynnwood Parks

| 1 High Value, Low Threat | 2 High Value, Medium Threat | 3 High Value, High Threat |
|--|--|--|
| | | |
| Mature native canopy, predominantly conifers, native understory, strata and species diversity | Mature native canopy, predominantly conifers, mostly native understory with some invasive species present. | Mature native canopy, predominantly conifers, some native understory with some predominantly invasive species present. |
| 4 Medium Value Low Threat | 5 Medium Value Medium Threat | 6 Medium Value High Threat |
| | | |
| Native canopy, mix of conifers and deciduous, mostly native understory, some strata and species diversity | Native canopy, mix of native and non-native understory, trees may be less mature. May be a mix of deciduous and conifers. | Native canopy, predominantly invasive understory, trees may be less mature. May be a mix of deciduous and conifers. |
| 7 Low Value Low Threat | 8 Low Value Medium Threat | 9 Low Value High Threat |
| | | |
| Low density canopy cover, mostly short-lived or pioneer species, unplantable space but low invasive populations of forbs and shrubs. | Low-density canopy cover, large areas of open space with predominantly non-native or noxious species. Restoration and maintenance is achievable in the short-term but expensive. | Low-density canopy cover, large areas of open space with predominantly non-native or noxious species. Restoration and maintenance is difficult to achieve and expensive to maintain. |

| Table 1. Summary of Baseline Forest Health Conditions in Surveyed Parks. | | | |
|--|-----|----------------|---|
| Park | HMU | Tree-age Score | Conditions Summary |
| 188th Street Property | 1 | 9 | 188th Street Property is located on 188th Street Southwest. There are 3 HMUs in this park, surrounding an open body of water, likely a constructed wetland. The canopy in HMU 1 is dominated by black cottonwood (<i>Populus balsamifera</i> ssp. <i>trichocarpa</i>), bigleaf maple (<i>Acer macrophyllum</i>), and Pacific willow (<i>Salix lucida</i> ssp. <i>lasianдра</i>). The invasive species Himalayan blackberry (<i>Rubus armeniacus</i>), field bindweed (<i>Convolvulus arvensis</i>), and European mountain-ash (<i>Sorbus aucuparia</i>) are present. Park access is limited due to blackberry cover and steep slopes. |
| | 2 | 6 | The canopy in HMU 2 is dominated by red alder (<i>Alnus rubra</i>), willow and Western redcedar (<i>Thuja plicata</i>). Redosier dogwood (<i>Cornus sericea</i>) and slough sedge (<i>Carex obnupta</i>) are the dominant native understory species. Dominant invasive species are Himalayan blackberry, English ivy (<i>Hedera helix</i>) and creeping buttercup (<i>Ranunculus repens</i>). This unit is a forested wetland. |
| | 3 | 3 | The canopy in HMU 3 is predominantly Douglas-fir (<i>Pseudotsuga menziesii</i>), red alder and bigleaf maple. Native understory is predominantly salmonberry (<i>Rubus spectabilis</i>), vine maple (<i>Acer circinatum</i>) and western redcedar. Dominant invasive understory is Himalayan blackberry, English ivy, English holly (<i>Ilex aquifolium</i>), and English (aka cherry) laurel (<i>Prunus laurocerasus</i>). Bamboo is present in small quantities. |
| Daleway Park | 1 | 3 | Daleway Park is located between 64th Avenue West and 60th Avenue West. There are two HMUs in this park. The canopy in HMU 1 is dominated by Douglas-fir, Western hemlock (<i>Tsuga heterophylla</i>), and Western redcedar. Invasive species include English holly, cherry laurel (<i>Prunus laurocerasus</i>), and English ivy. |
| | 2 | 2 | The canopy in HMU 2 is dominated by Douglas-fir, Western hemlock (<i>Tsuga heterophylla</i>), and Western redcedar (<i>Thuja plicata</i>). Invasive species include cherry laurel, English holly, and herb-Robert (<i>Geranium robertianum</i>). |
| Gold Park | 1 | 3 | Gold Park is located at the corner of 200 th Street Southwest and 64 th Avenue West. There are three HMUs in this park. The canopy of HMU 1 is dominated by Douglas-fir, Western redcedar, and Pacific madrone (<i>Arbutus menziesii</i>). The invasive species English ivy, Himalayan blackberry, and English holly are present. |
| | 2 | 9 | The canopy of HMU 2 is dominated by red alder and Pacific willow. The invasive species creeping buttercup, field bindweed, and Himalayan blackberry are present. This HMU is a wetland with palustrine emergent (PEM) pockets. |
| | 3 | 3 | The canopy of HMU 3 is dominated by Douglas-fir, Western redcedar, and European mountain ash. The invasive species cherry laurel, English ivy, and Himalayan blackberry are present. |

| Table 1. (continued) Summary of Baseline Forest Health Conditions in Surveyed Parks. | | | |
|--|----------|--|--|
| Park | HMU | Tree-age Score | Conditions Summary |
| Heritage Park | 1 | 9 | Heritage Park is located at the corner of Poplar Way and Alderwood Mall Parkway. There are four HMUs in this park, partially surrounding a small pond, several seasonal streams and a depressional wetland. The canopy in HMU 1 is dominated by black cottonwood, red alder, and Pacific willow. The invasive species Himalayan blackberry, field bindweed, and creeping buttercup are present, and form an extremely dense understory cover. This unit is located on the edge of a wetland area, with top dieback possibly caused by high saturation. |
| | 2 | 6 | HMU 2 is characterized by mature red alders and black cottonwoods, and smaller western redcedars. Oregon ash, red alder are both successional tree species and the dominant native shrub is osoberry (<i>Oemleria cerasiformis</i>), growing in small upland areas. This HMU is in a depressional wetland with multiple small streams entering into the nearby pond. Dominant invasive species are Himalayan blackberry, creeping buttercup, cherry laurel, English holly and English ivy. |
| | 3 | 2 | HMU 3 has slightly smaller trees than HMU 2, with the exception of mature Douglas-fir. Dominant canopy is red alder, Douglas-fir, black cottonwood, and western redcedar. Willow and redosier dogwood occur in the understory. This HMU is located within a depressional wetland that receives roadway runoff, and drains to the pond. Primary invasive species are Himalayan blackberry, English ivy, creeping buttercup and cherry laurel. |
| | 4 | 6 | HMU 4 is slightly upland from HMU 3 and occurs at the edge of the park. Dominant species are black cottonwood, red alder and western redcedar in the canopy, and cottonwood saplings in the understory. Dominant invasive species are English ivy, Himalayan blackberry, Portuguese laurel, cherry laurel and English holly which have smothered the understory. |
| Lund's Gulch South | 1 | 9 | Lund's Gulch South is being identified as all the City owned property within the City of Lynnwood boundary. This property is located along 164th Street Southwest and stretches up to 160th Street Southwest, with an entrance at the corner of 164th Street Southwest and 60th Avenue West. There are seven HMUs in this park. The canopy in HMU 1 is dominated by black cottonwood and red alder. The invasive species Himalayan blackberry, creeping buttercup, and Scotch broom are present. There are large open pockets with no trees located throughout the unit. |
| | 2 | 5 | The canopy in HMU 2 is dominated by red alder, Western redcedar, and bigleaf maple. The invasive species English ivy, English holly, and herb-Robert are present. |
| | 3 | 1 | The canopy in HMU 3 is dominated by Western redcedar, Douglas-fir, and Western hemlock. The invasive species English ivy, English holly, and cherry laurel are present. There are pockets where drought stress is evident near trailheads and the urban edge. |
| | 3a 3b | 1 | Within HMU 3 there are two subunits, 3a and 3b. The subunits hold similar canopy characteristics to HMU 3 but contain higher concentrations of salmonberry (<i>Rubus spectabilis</i>), and red alder. These subunits were not large or dissimilar enough to be classified as their own HMUs. |
| | 4 | 5 | Dominant canopy within HMU 4 is Douglas-fir, red alder and Western redcedar. Western redcedar, red alder and Western hemlock are regenerating in the understory. The most frequent native species in the understory is Western swordfern and salal. Cherry laurel, English holly and cotoneaster are the dominant invasive species. |
| | 5 | 4 | The canopy in HMU 5 is dominated by Douglas-fir, Western redcedar, and Western hemlock. The invasive species Himalayan blackberry and English holly are present. |
| | 6 | 1 | HMU 6 is dominated by Western redcedar, bigleaf maple, and Douglas-fir. There were no invasive species observed in this units. This unit has steep slopes and vertical cliffs in some areas. |
| 7 | 1 | HMU 7 is dominated by Western redcedar, bigleaf maple, and Douglas-fir. There were no invasive species observed in this units. This unit has steep slopes and vertical cliffs in some areas. | |

| Table 1. (continued) Summary of Baseline Forest Health Conditions in Surveyed Parks. | | | |
|--|-----|----------------|--|
| Park | HMU | Tree-age Score | Conditions Summary |
| Lynndale Park | 1 | 2 | Lynndale Park is located north of Lynndale Elementary School and covers the entire area north to Olympic View Drive. There are eleven HMUs in this park. The canopy in HMU 1 is dominated by Douglas-fir, Western hemlock, and bigleaf maple. The invasive species English ivy, English holly, and cherry laurel are present. |
| | 2 | 6 | The canopy in HMU 2 is dominated by Douglas-fir, Western hemlock, and Western redcedar. Invasive species include English ivy, English holly, and cherry laurel, and mistletoe. |
| | 3 | 2 | The canopy in HMU 3 is dominated by Douglas-fir, Western hemlock, and Western redcedar. Invasive species include English ivy, English holly, and cherry laurel, and mistletoe. |
| | 4 | 6 | Canopy within HMU 4 is dominated by Douglas-fir, Western hemlock, and Western redcedar. The invasive species English ivy, Himalayan blackberry, and English holly are present. Mistletoe is present in this unit. |
| | 5 | 9 | The canopy in HMU 5 is dominated by bitter cherry, Scouler's willow, and bigleaf maple. The invasive species Himalayan blackberry, field bindweed, and Scotch broom are present. |
| | 6 | 6 | The canopy in HMU 6 is dominated by Douglas-fir, Western hemlock, and bigleaf maple. The invasive species English ivy, cherry laurel, and English holly are present. Mistletoe is present in this unit. |
| | 7 | 9 | The canopy in HMU 7 is dominated by Douglas-fir, Western hemlock, and bitter cherry. The invasive species Himalayan blackberry, herb-Robert, and cotoneaster are present. This unit may be a depressional wetland. |
| | 8 | 5 | The canopy in HMU 8 is dominated by Douglas-fir and Western hemlock. The invasive species Himalayan blackberry, field bindweed and English holly, are present. Mistletoe is present in this unit. |
| | 9 | 5 | The canopy in HMU 9 is dominated by Douglas-fir. The invasive species Himalayan blackberry, creeping buttercup, and English ivy are present. |
| | 10 | 3 | The canopy in HMU 10 is dominated by Douglas-fir, Western hemlock, and bigleaf maple. The invasive species English holly, English ivy, and Himalayan blackberry are present. There is heavy recreation use along the edges of the unit, contributing to high invasive cover. There is a heavy holly infestation in the southern end of the unit. |
| | 11 | 6 | The canopy in HMU 11 is dominated by Douglas-fir, Western hemlock, and Western redcedar. The invasive species English ivy, English holly, and Himalayan blackberry are present. The unit is surrounded by hardscape, landscape, and recreation space. |
| | 12 | 3 | HMU 12 is located in the southern portion of the park adjacent to ballfields. Dominant canopy cover is Douglas-fir, Western hemlock and bigleaf maple. Western hemlock and Western redcedar are regenerating in the understory, as well as Western swordfern as the dominant native understory. Invasive species present are English holly, English ivy, cherry laurel, European mountain-ash, and herb-robert. Much of the site is trampled and bare. |
| | 13 | 3 | HMU 13 has dominant canopy of Douglas-fir, bigleaf maple, Western redcedar and Pacific madrone. Western redcedar is regenerating in the understory. Dominant native species are lady fern (<i>Athyrium filix-femina</i>) and salal (<i>Gaultheria shallon</i>) and common bedstraw (<i>Galium aparine</i>). Primary invasive species are English holly, European mountain-ash, cherry laurel and English holly. |
| | 14 | 2 | Dominant canopy in HMU 14 is Douglas-fir, bigleaf maple and Western redcedar. Pacific madrone and Western redcedar are regenerating in the understory. Dominant native understory is dull Oregon grape and red huckleberry. Dominant invasive species are English holly, cherry laurel and cherry laurel. |
| | 15 | 6 | Dominant canopy in HMU 15 is Douglas-fir and bigleaf maple. Western swordfern and osoberry are the dominant native understory types. Dominant invasive species are English holly, English ivy, herb-robert, bird cherry and cherry laurel. |
| | 16 | 6 | Dominant canopy in HMU 16 is Douglas-fir, bigleaf maple and red alder. Bigleaf maple and willow are regenerating in the understory. Dominant native understory species is salal. Invasive species are high in cover; primary species are Himalayan blackberry, cutleaf blackberry, herb-robert, cherry laurel and English holly. |

| Table 1. (continued) Summary of Baseline Forest Health Conditions in Surveyed Parks. | | | |
|--|-----|----------------|--|
| Park | HMU | Tree-age Score | Conditions Summary |
| Lynnwood Golf Course and Trail | 1 | 2 | The Municipal Golf Course is accessible from 68th Avenue West, in the Seattle Heights neighborhood. There are eight HMUs in this park. The canopy in HMU 1 is dominated by Douglas-fir, Western redcedar, and Deodar cedar (<i>Cedrus deodara</i>). The invasive species English ivy, Himalayan blackberry, and herb-Robert are present. |
| | 2 | 2 | The canopy in HMU 2 is dominated by Douglas-fir, Western redcedar, and Pacific madrone. The invasive species English ivy, Himalayan blackberry, and English holly are present. |
| | 3 | 8 | The canopy in HMU 3 is dominated by silver maple (<i>Acer saccharinum</i>), Douglas-fir, and black cottonwood. The invasive species English ivy, Himalayan blackberry, and English holly are present. |
| | 4 | 6 | The canopy in HMU 4 is dominated by Douglas-fir, Western redcedar, and Austrian pine (<i>Pinus nigra</i>). The invasive species English ivy, Himalayan blackberry, and English holly are present. |
| | 5 | 8 | The canopy in HMU 5 is dominated by red alder, Western redcedar, and Douglas-fir. The invasive species English ivy, English holly, and Himalayan blackberry are present. |
| | 6 | 3 | The canopy in HMU 6 is dominated by Douglas-fir. The invasive species English ivy, Himalayan blackberry, and herb-Robert are present. |
| | 7 | 1 | The canopy in HMU 7 is dominated by Pacific willow, red alder, and Sitka willow. The invasive species creeping buttercup, Himalayan blackberry, and cherry laurel are present. There is a wetland around the pond in this unit. |
| | 8 | 6 | The canopy in HMU 8 is dominated by Douglas-fir, red alder, and bigleaf maple. The invasive species Himalayan blackberry, English ivy, and English holly are present. There is little to no native groundcover in this unit. |
| Maple Mini Park | N/A | N/A | Maple Mini Park is located along Maple Road, with a small parcel on each side of 41st Place West. This park is primarily a stormwater facility and has no forest or HMUs. The invasive species common nipplewort (<i>Lapsana communis</i>) is present. |
| Meadowdale Neighborhood Park | 1 | 2 | Meadowdale Neighborhood Park is located on the south side of 168th Street Southwest and west of 56 th Avenue West. There are four HMUs in this park. The canopy in HMU 1 is dominated by Western redcedar and Douglas-fir. The invasive species English ivy, cherry laurel, and Himalayan blackberry are present. |
| | 2 | 3 | The canopy in HMU 2 is dominated by Douglas-fir, Western redcedar, and Western hemlock. The invasive species English ivy, Himalayan blackberry, and cherry laurel are present. |
| | 3 | 3 | The canopy in HMU 3 is dominated by bigleaf maple, Douglas-fir, and black cottonwood. The invasive species Himalayan blackberry, cutleaf blackberry (<i>Rubus laciniatus</i>), and Scotch broom (<i>Cytisus scoparius</i>) are present. |
| | 4 | 3 | The canopy in HMU 4 is dominated by Douglas-fir, Western redcedar, and red alder (<i>Alnus rubra</i>). The invasive species English ivy, cherry laurel, and English holly are present. |

| Table 1. (continued) Summary of Baseline Forest Health Conditions in Surveyed Parks. | | | |
|--|-----|----------------|--|
| Park | HMU | Tree-age Score | Conditions Summary |
| Meadowdale Playfields | 1 | 6 | Meadowdale Playfields is located between 168th Street Southwest and North Meadowdale Road. There are three HMUs in this park. The canopy in HMU 1 is dominated by black cottonwood, red alder, and Scouler's willow. The understory is dominated by Himalayan blackberry, but orange eye butterflybush (<i>Buddleja davidii</i>) and cherry laurel are also present. There is low regeneration in this HMU due to the dense blackberry understory. |
| | 2 | 2 | The canopy in HMU 2 is dominated by Douglas-fir, Western redcedar, and Western hemlock. The invasive species English holly, English ivy, and Himalayan blackberry are present. This HMU is a mature, conifer-dominated mixed forest. |
| | 3 | 6 | The canopy in HMU 3 is dominated by bigleaf maple, Douglas-fir, and black cottonwood. The invasive species Himalayan blackberry, cutleaf blackberry, and Scotch broom are present. |
| Mesika Trail | 1 | 6 | Mesika Trail is located between 44th Avenue West and 46th Avenue West. There are three pedestrian entrances off of 46 th Avenue West. There are four HMUs in this park. The canopy in HMU 1 is dominated by Western redcedar, Douglas-fir, and red alder. The invasive species Himalayan blackberry, English ivy, and field bindweed are present. |
| | 2 | 3 | The canopy in HMU 2 is dominated by Western redcedar, red alder, and Western hemlock, though the hemlocks are declining. The invasive species English ivy, herb-Robert, and yellow archangel (<i>Lamium galeobdolon</i>) are present. |
| | 3 | 3 | The canopy in HMU 3 is dominated by Western redcedar, red alder, and Douglas-fir. The invasive species field bindweed, Himalayan blackberry, and English holly are present. There is a stream and wetland in this unit, and a population of skunk cabbages. |
| | 4 | 2 | The canopy in HMU 4 is dominated by Western redcedar, Douglas-fir, and red alder. The invasive species English ivy, cherry laurel, and English holly are present. |
| North Lynnwood Park | 1 | 6 | North Lynnwood Park is located on the west side of 44th Avenue West. There is one HMU in this park. The canopy is dominated by white birch (<i>Betula papyrifera</i>), willow, and black cottonwood. The invasive species Himalayan blackberry, field bindweed, and English holly are present. The HMU has a trimmed and maintained edge, but the unit overall functions as a forested wet area. |

| Table 1. (continued) Summary of Baseline Forest Health Conditions in Surveyed Parks. | | | |
|--|-----|----------------|--|
| Park | HMU | Tree-age Score | Conditions Summary |
| Pioneer Park | 1 | 3 | Pioneer Park is located along 184th Place Southwest. There is one HMU in this park. The canopy is dominated by Western redcedar, Douglas-fir, and equal amounts of bigleaf maple and red alder. The invasive species English ivy, English holly, and cherry laurel are present. There are many downed Western redcedars in the middle of the unit, and an eroding hill. |
| Rowe Park | 1 | 3 | Rowe Park is located west of 60th Avenue West. There are two HMUs in this park. The canopy in HMU 1 is dominated by Douglas-fir, Western hemlock, and white birch. The invasive species Himalayan blackberry, English ivy, and field bindweed are present. |
| | 2 | 3 | The canopy in HMU 2 is also dominated by Douglas-fir, Western hemlock, and white birch. The invasive species English ivy, Himalayan blackberry, and European mountain ash are present. There are some high density stands of younger Douglas-firs and Western hemlocks that are overcrowded, causing patches of lower limb die-off. |
| Scriber Creek Open Space | 1 | 9 | Scriber Creek Open Space is located along 204th Street Southwest. There is one HMU in this park. The canopy is dominated by black cottonwood, red alder, and willow spp. The invasive species Himalayan blackberry, field bindweed, and reed canarygrass are present. |
| Scriber Creek Park | 1 | 3 | Scriber Creek Park is located along Cedar Valley Road and includes a pedestrian entrance off of 48 th Avenue West (Lynnwood Transit Center). There are four HMUs in this park. The canopy in HMU 1 is dominated by Douglas-fir, Western redcedar, and Western hemlock. The invasive species Himalayan blackberry, English ivy, and English holly are present. |
| | 2 | 9 | The canopy in HMU 2 is dominated by black cottonwood and Pacific willow. The invasive species jewelweed (<i>Impatiens capensis</i>), climbing nightshade, and creeping buttercup are present. This HMU is on the edge of a palustrine scrub-shrub (PSS) wetland. |
| | 3 | 6 | The canopy in HMU 3 is dominated by Douglas-fir, Western redcedar, and red alder. The invasive species Himalayan blackberry, field bindweed, and reed canarygrass (<i>Phalaris arundinacea</i>) are present. There are a high number of snags in this HMU, likely as a result of inundation. |
| | 4 | 6 | The canopy in HMU 4 is dominated by black cottonwood, bigleaf maple and red alder. Alder and Western redcedar saplings are regenerating in the understory. Primary native species are redosier dogwood and salmonberry. Primary invasive species are cherry laurel, Himalayan blackberry, English ivy and bindweed. |

| Table 1. (continued) Summary of Baseline Forest Health Conditions in Surveyed Parks. | | | |
|--|-----|----------------|---|
| Park | HMU | Tree-age Score | Conditions Summary |
| Scriber Lake Park | 1 | 3 | Scriber Lake Park is located south of 196th Street Southwest and south of Wilcox Park. There are six HMUs in this park. The canopy in HMU 1 is dominated by Douglas-fir, Western redcedar, and Western hemlock. The invasive species Himalayan blackberry, English holly, and English ivy are present. |
| | 2 | 6 | The canopy in HMU 2 is dominated by red alder, black cottonwood, and Douglas-fir. The invasive species Himalayan blackberry, English ivy, and climbing nightshade (<i>Solanum dulcamara</i>) are present. |
| | 3 | 3 | The canopy in HMU 3 is dominated by Western redcedar, red alder, and Douglas-fir. The invasive species Himalayan blackberry, climbing nightshade, and English ivy are present. |
| | 4 | 6 | The canopy in HMU 4 is dominated by red alder, black cottonwood, and bigleaf maple. The invasive species Himalayan blackberry, herb-Robert, and creeping buttercup are present. |
| | 5 | 6 | The canopy in HMU 5 is dominated by red alder, black cottonwood, and Douglas-fir. The invasive species Himalayan blackberry, English ivy, and climbing nightshade are present. |
| | 6 | 2 | The canopy in HMU 6 is dominated by Douglas-fir, white pine, and Western redcedar. The invasive species cherry laurel, Himalayan blackberry, and English ivy are present. |
| South Lynnwood Park | 1 | 6 | South Lynnwood Park is located east of 61st Avenue West and includes one pedestrian entrance off of 208 th Street Southwest. There are four HMUs in this park. The canopy in HMU 1 is dominated by red alder, Sitka willow (<i>Salix sitchensis</i>), and European mountain ash. The invasive species Himalayan blackberry, field bindweed, and English holly are present. |
| | 2 | 3 | The canopy in HMU 2 is dominated by Douglas-fir and Western redcedar. The invasive species English ivy, English holly, and Himalayan blackberry are present. |
| | 3 | 9 | The canopy in HMU 3 is dominated by Pacific willow and Sitka willow. The invasive species field bindweed, Himalayan blackberry, and creeping buttercup (<i>Ranunculus repens</i>) are present. |
| | 4 | 3 | The canopy in HMU 4 is dominated by Douglas-fir, red alder, and Western redcedar. The invasive species English ivy, Himalayan blackberry, and English holly are present. There is also a significant amount of knotweed present within the park. |

| Table 1. (continued) Summary of Baseline Forest Health Conditions in Surveyed Parks. | | | |
|--|-----|----------------|--|
| Park | HMU | Tree-age Score | Conditions Summary |
| Sprague's Pond Park | 1 | 6 | Mini Park at Sprague's Pond is located on 200th Street Southwest. There are two HMUs in this park. In HMU 1 The canopy is dominated by Pacific willow. The invasive species Himalayan blackberry, field bindweed, and English holly are present. This unit is a forested wetland. |
| | 2 | 9 | HMU 2 is adjacent to Sprague's Pond. Dominant canopy cover is Pacific willow and black cottonwood. Dominant native understory is thimbleberry (<i>Rubus parviflorus</i>) and stinging nettle (<i>Urtica dioica</i>). Invasive species dominate the HMU. The primary species are Himalayan blackberry, creeping buttercup, English holly, and English ivy. The HMU is likely in or adjacent to a wetland. |
| Spruce Park | 1 | 2 | Spruce Park is located west of 168th Place Southwest. There is one HMU in this park. The canopy is dominated by Western redcedar, Douglas-fir, and bigleaf maple. The invasive species English ivy, English holly, and cherry laurel are present. |
| Stadler Ridge Park | 1 | 6 | Stadler Ridge Park is located west of 33rd Place West. There are two HMUs in this park. The canopy in HMU 1 is dominated by Western redcedar, sycamore maple (<i>Acer pseudoplatanus</i>), and red maple (<i>Acer rubrum</i>). The invasive species cherry laurel, English Ivy, and English holly are present. |
| | 2 | 6 | The canopy in HMU 2 is dominated by Douglas-fir, red alder, and Scouler's willow (<i>Salix scouleriana</i>). The invasive species field bindweed, creeping buttercup, and Himalayan blackberry are present. |
| Veterans Park | N/A | N/A | Veterans Park is located at the corner of 194th Street Southwest (Veterans Way) and 44th Avenue West. This park has no forest or HMUs. |
| Wilcox Park | 1 | 3 | Wilcox Park is located on the corner of 196th Street Southwest (SR 524) and west of 52 nd Avenue West; north of Scriber Lake Park. There are two HMUs in this park. The canopy of HMU 1 is dominated by Western redcedar, Douglas-fir, and Western hemlock. The invasive species cherry laurel, English holly, and horse chestnut (<i>Aesculus hippocastanum</i>) are present. |
| | 2 | 2 | The canopy of HMU 2 is dominated by the same species. The invasive species Himalayan blackberry, English holly, and English ivy are present. The forested areas have a large amount of bare soil, possibly due to high foot traffic. |

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Table 2A. Invasive Species Present in Surveyed Parks.

| Invasive Species Name (Scientific/Common) | 188th St Property | Daleway Park | Gold Park | Heritage Park | Lund's Gulch | Lynndale Park | Lynnwood Golf Course & Trail | Maple Mini Park | Meadowdale Neighborhood Park | Meadowdale Playfields | Mesika Trail | North Lynnwood Park |
|--|-------------------|--------------|-----------|---------------|--------------|---------------|------------------------------|-----------------|------------------------------|-----------------------|--------------|---------------------|
| <i>Acer platanoides</i> / Norway maple | | | | | | x | x | | | | x | |
| <i>Acer pseudoplatanus</i> / sycamore maple | | | | | | | | | | | | |
| <i>Aesculus hippocastanum</i> / horse chestnut | | | | | | | | | | | | |
| <i>Buddleja davidii</i> / butterfly bush | | | | | | | | | | x | | |
| <i>Cirsium vulgare</i> / bull thistle | | | | | x | | | | | | | |
| <i>Convolvulus arvensis</i> / field bindweed | x | | x | x | x | x | | | x | | x | x |
| <i>Cotoneaster integerrimus</i> / cotoneaster | | | | | x | x | | | | | | |
| <i>Cytisus scoparius</i> / Scotch broom | | | | | x | x | | | | x | | |
| <i>Geranium robertianum</i> / herb-Robert | | x | x | | x | x | x | | x | x | x | |
| <i>Hedera helix</i> / English ivy | x | | x | x | x | x | x | | x | x | x | x |
| <i>Hypericum perforatum</i> / St. John's-wort | | | | | | | | | | | | |

Table 2b. Invasive Species Present in Surveyed Parks.

| Invasive Species Name (Scientific/Common) | 188th St Property | Daleway Park | Gold Park | Heritage Park | Lund's Gulch | Lynndale Park | Lynnwood Golf Course & Trail | Maple Mini Park | Meadowdale Neighborhood Park | Meadowdale Playfields | Mesika Trail | North Lynnwood Park |
|---|-------------------|--------------|-----------|---------------|--------------|---------------|------------------------------|-----------------|------------------------------|-----------------------|--------------|---------------------|
| <i>Hypochaeris radicata</i> / hairy cat's ear | x | | | | | | | | | | | |
| <i>Ilex aquifolium</i> / English Holly | x | x | x | x | x | x | x | | x | | x | x |
| <i>Lamium galeobdolon</i> / yellow archangel | | | | | | | | | | | x | |
| <i>Lapsana communis</i> / nipplewort | | | | | | | | | | | | |
| <i>Phalaris arundinacea</i> / reed canarygrass | | | | | | | | | | x | | |
| <i>Polygonum cuspidatum</i> / Japanese knotweed | | | x | | | | | | | | | |
| <i>Prunus avium</i> / wild cherry | x | x | | x | | x | | | x | | x | |
| <i>Prunus laurocerasus</i> / cherry laurel | x | x | x | x | x | x | x | | x | | | |
| <i>Prunus lusitana</i> / Portuguese laurel | | | | | | x | | | | x | | |
| <i>Ranunculus repens</i> / creeping buttercup | x | | x | x | x | x | x | | x | x | x | |
| <i>Rubus armeniacus</i> / Himalayan blackberry | x | | x | x | x | x | x | | x | x | x | x |
| <i>Rubus laciniatus</i> / cutleaf blackberry | | | | | | | x | | | x | | |
| <i>Sonchus arvensis</i> / sow thistle | x | | | | | x | | | | | | |
| <i>Sorbus aucuparia</i> / European mountain-ash | | | x | | x | x | x | | x | x | | |

Table 2c. Invasive Species Present in Surveyed Parks.

| Invasive Species Name (Scientific/Common) | Pioneer Park | Rowe Park | Scriber Creek Open Space | Scriber Creek Park | Scriber Lake Park | South Lynnwood Park | Sprague's Pond Park | Spruce Park | Stadler Ridge Park | Veterans Park | Wilcox Park |
|--|--------------|-----------|--------------------------|--------------------|-------------------|---------------------|---------------------|-------------|--------------------|---------------|-------------|
| <i>Acer platanoides</i> / Norway maple | | | | | | | | | | | |
| <i>Acer pseudoplatanus</i> / sycamore maple | | | | | | | | | x | | |
| <i>Aesculus hippocastanum</i> / horse chestnut | | | | | | | | | | | x |
| <i>Buddleja davidii</i> / butterfly bush | | | | | | | | | | | |
| <i>Cirsium vulgare</i> / bull thistle | | | | | | | | | | | |
| <i>Convolvulus arvensis</i> / field bindweed | | x | x | x | x | x | x | x | x | | |
| <i>Cotoneaster integerrimus</i> / cotoneaster | | | | | | | | | | | |
| <i>Cytisus scoparius</i> / Scotch broom | | | | | | | | | | | |
| <i>Geranium robertianum</i> / herb-Robert | | x | | x | | | | | | | |
| <i>Hedera helix</i> / English ivy | x | x | | x | x | x | | x | x | | x |
| <i>Hypericum perforatum</i> / St. John's-wort | | | | | | | | | | | x |

Table 2d. Invasive Species Present in Surveyed Parks.

| Invasive Species Name (Scientific/Common) | Pioneer Park | Rowe Park | Scriber Creek Open Space | Scriber Creek Park | Scriber Lake Park | South Lynnwood Park | Sprague's Pond Park | Spruce Park | Stadler Ridge Park | Veterans Park | Wilcox Park |
|---|--------------|-----------|--------------------------|--------------------|-------------------|---------------------|---------------------|-------------|--------------------|---------------|-------------|
| <i>Impatiens capensis</i> / jewelweed | | | | x | | | | | | | |
| <i>Ilex aquifolium</i> / English Holly | x | x | x | x | x | x | x | x | x | | x |
| <i>Lamium galeobdolon</i> / yellow archangel | | | | | | | | | | | |
| <i>Lapsana communis</i> / nipplewort | | | | | | | x | | | | |
| <i>Phalaris arundinacea</i> / reed canarygrass | | | x | x | x | | | | | | |
| <i>Polygonum cuspidatum</i> / Japanese knotweed | | | | | | x | | | | | |
| <i>Prunus avium</i> / wild cherry | x | | | | | | | | x | | |
| <i>Prunus laurocerasus</i> / cherry laurel | x | | | x | x | | | x | x | | x |
| <i>Prunus lusitanica</i> / Portuguese laurel | | | | | | | | | | | |
| <i>Ranunculus repens</i> / creeping buttercup | | | x | x | x | x | x | | x | | |
| <i>Rubus armeniacus</i> / Himalayan blackberry | x | x | x | x | x | x | x | x | x | | x |
| <i>Rubus laciniatus</i> / cutleaf blackberry | | | | | | | | | | | |
| <i>Solanum dulcamara</i> / bittersweet nightshade | | | | x | x | | | | | | |
| <i>Sorbus aucuparia</i> / European mountain-ash | | x | | x | | x | | | | | |

| Table 3. Management Unit Acres Per Tree-iage Category. | | | | | | | | | | | | |
|--|--------------------|-------------|-------------|------------|------------|-------------|----------|------------|--------------|-------------------------|--------------------|---------------------------|
| Site Name | Tree-iage Category | | | | | | | | | Forested Acres Per Site | Total Park Acreage | Forested Acres/Park Acres |
| | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | | | |
| 188th St Property | | | 0.7 | | | 1.6 | | | 0.9 | 3.2 | 5.1 | 63% |
| Daleway Park | | 0.6 | 3.7 | | | | | | | 4.3 | 7.0 | 61% |
| Gold Park | | | 4.2 | | | | | | 1.6 | 5.8 | 6.4 | 91% |
| Heritage Park | | 2.5 | | | | 1.2 | | | 0.7 | 4.4 | 7.4 | 59% |
| Lund's Gulch South | 29.0 | | | 2.0 | 4.2 | | | | 0.8 | 36.0 | 38.8 | 93% |
| Lynndale Park | | 4.3 | 3.8 | | 4.4 | 13.1 | | | 4.1 | 29.7 | 43.7 | 68% |
| Lynnwood Golf Course & Trail | 0.5 | 2.1 | 3.5 | | | 2.4 | | 3.1 | | 11.6 | 76.7 | 15% |
| Maple Mini Park | | | | | | | | | | 0 | 0.8 | 0% |
| Meadowdale Neighborhood Park | | 1.1 | 1.7 | | | | | | | 2.8 | 6.2 | 45% |
| Meadowdale Playfields | | 3.3 | | | | 3.3 | | | | 6.6 | 24.1 | 27% |
| Mesika Trail | | 1.4 | 2.1 | | | 1.7 | | | | 5.2 | 5.7 | 91% |
| North Lynnwood Park | | | | | | 0.3 | | | | 0.3 | 6.1 | 5% |
| Pioneer Park | | | 1.3 | | | | | | | 1.3 | 5.4 | 24% |
| Rowe Park | | | 1.8 | | | | | | | 1.8 | 2.3 | 78% |
| Scriber Creek Open Space | | | | | | | | | 2.3 | 2.3 | 2.3 | 100% |
| Scriber Creek Park | | | 0.9 | | | 0.7 | | | 0.04 | 1.64 | 3.8 | 43% |
| Scriber Lake Park | | 0.4 | 5.2 | | | 4.6 | | | | 10.2 | 24.0 | 43% |
| South Lynnwood Park | | | 1.1 | | | 0.1 | | | 0.1 | 1.3 | 3.8 | 34% |
| Sprague's Pond Park | | | | | | 0.3 | | | 0.3 | 0.6 | 4.2 | 14% |
| Spruce Park | | 1.7 | | | | | | | | 1.7 | 4.7 | 36% |
| Stadler Ridge Park | | | | | | 0.9 | | | | 0.9 | 2.0 | 45% |
| Veterans Park | | | | | | | | | | 0 | 0.7 | 0% |
| Wilcox Park | | 1.6 | 2.1 | | | | | | | 3.7 | 7.3 | 51% |
| Total Acres per Tree-iage Category | 29.5 | 19.0 | 32.1 | 2.0 | 8.6 | 30.2 | 0 | 3.1 | 10.84 | 135.34 | 288.5 | 47% |

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Next Steps and Recommendations

The City of Lynnwood Parks protect and maintain over 135 acres of forested land in parks and open spaces within the incorporated limits, which offer a valuable refuge and nature connection for the community and serve as essential habitat for urban wildlife. According to preliminary field assessments, more than two-thirds of the forested lands in Lynnwood’s parks and open spaces have high or moderate value habitats, with over 50 percent of conifer or madrone canopy. However, the presence of large populations of invasive vegetation poses a significant threat to these forested areas. To determine priority forest management areas, Lynnwood Parks established their own criteria for prioritizing forest restoration sites and also incorporated prioritization strategies from the Snohomish County Healthy Forest Project 20-Year Plan (Snohomish County, 2021). The site prioritization process was divided into two categories: Field Objectives, which focused on specific objectives related to site restoration, and Community Objectives, which guided methods for community collaboration, inclusion, and involvement in Lynnwood Parks and open spaces.

The following two Field Objectives were identified to help guide forest site prioritization:

Field Objective 1: Prioritize sites for restoration within parks and open spaces where:

- Projects and work are already happening;
- There is > 1 acre of contiguous forest present or the site contains a stream, high-value wetlands, lakes, or opportunities to treat and store stormwater;
- The park is ranked as having moderate to high Racial or Social Equity opportunities based on the 10-minute park walkshed. The City of Lynnwood has developed a Racial and Social Equity Index to review park investments and help more equitably invest in opportunities that support racial and social equity. See Figure 2, Racial and Social Equity Index.
- There is potential to improve the geographic distribution of restoration locations or benefit specific wildlife habitat or goals.

Field Objective 2: Implement restoration best practices on all project sites using four phases:

- **Phase 1:** Invasive plant removal (may include mulching, seeding, or planting after weed removal)
- **Phase 2:** Secondary invasive removal and planting
- **Phase 3:** Plant establishment and follow-up maintenance
- **Phase 4:** Long-term stewardship and monitoring, which includes compliance with Snohomish County Noxious Weed Boards regulations regarding noxious weeds

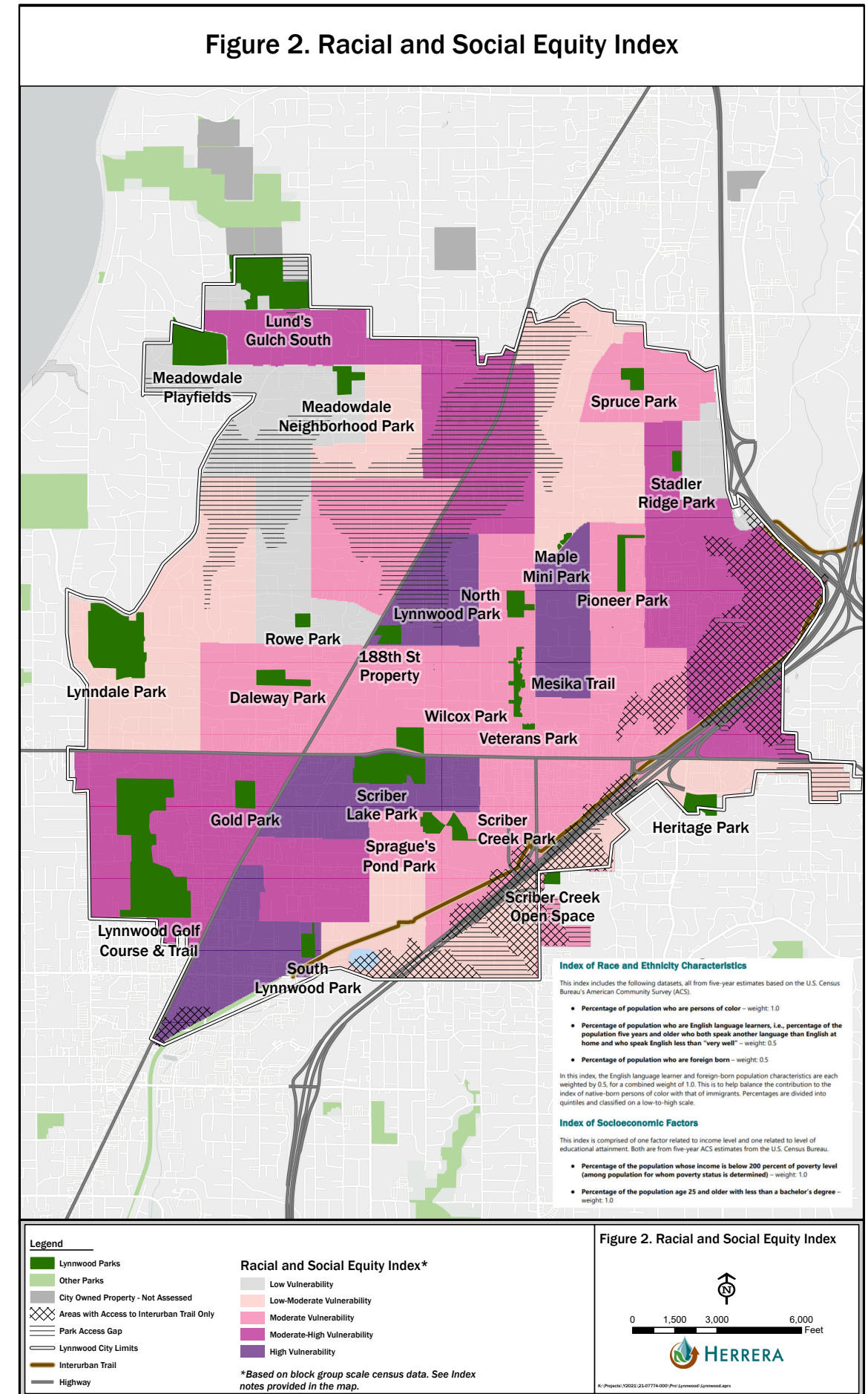


Image 3 illustrates the decision tree for Lynnwood Parks prioritization of restoration sites.

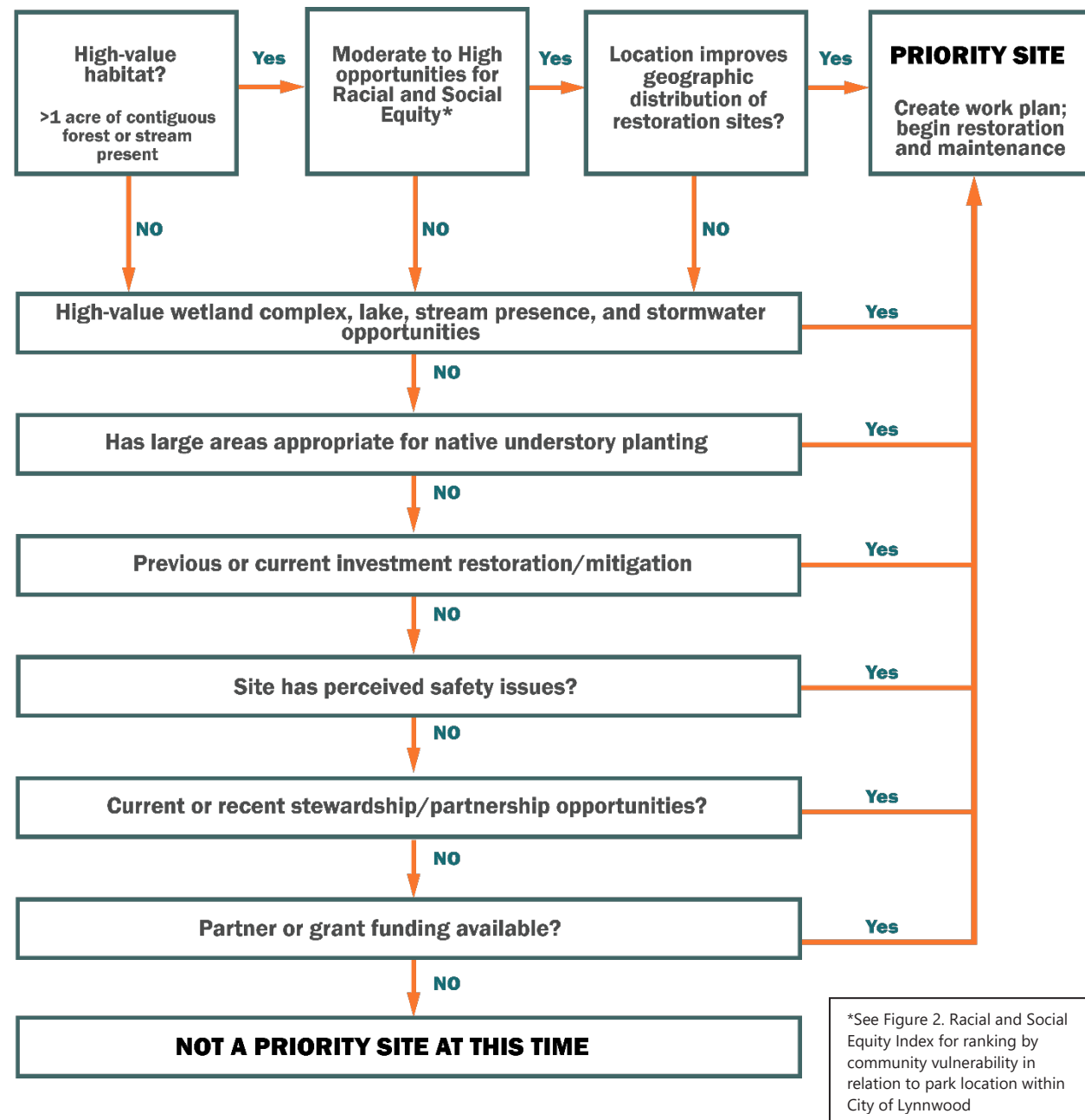


Image 3. Lynnwood Parks decision tree for prioritizing restoration sites. Adapted from Snohomish County Healthy Forest Project decision tree.

Lynnwood Parks adopted the Snohomish County Healthy Forest Project’s Restoration strategy approach for tree-age categories. Image 4 shows the restoration strategies needed for each tree-age category. As habitat complexity decreases and invasive species increase, the investment needed to improve habitat conditions increases.

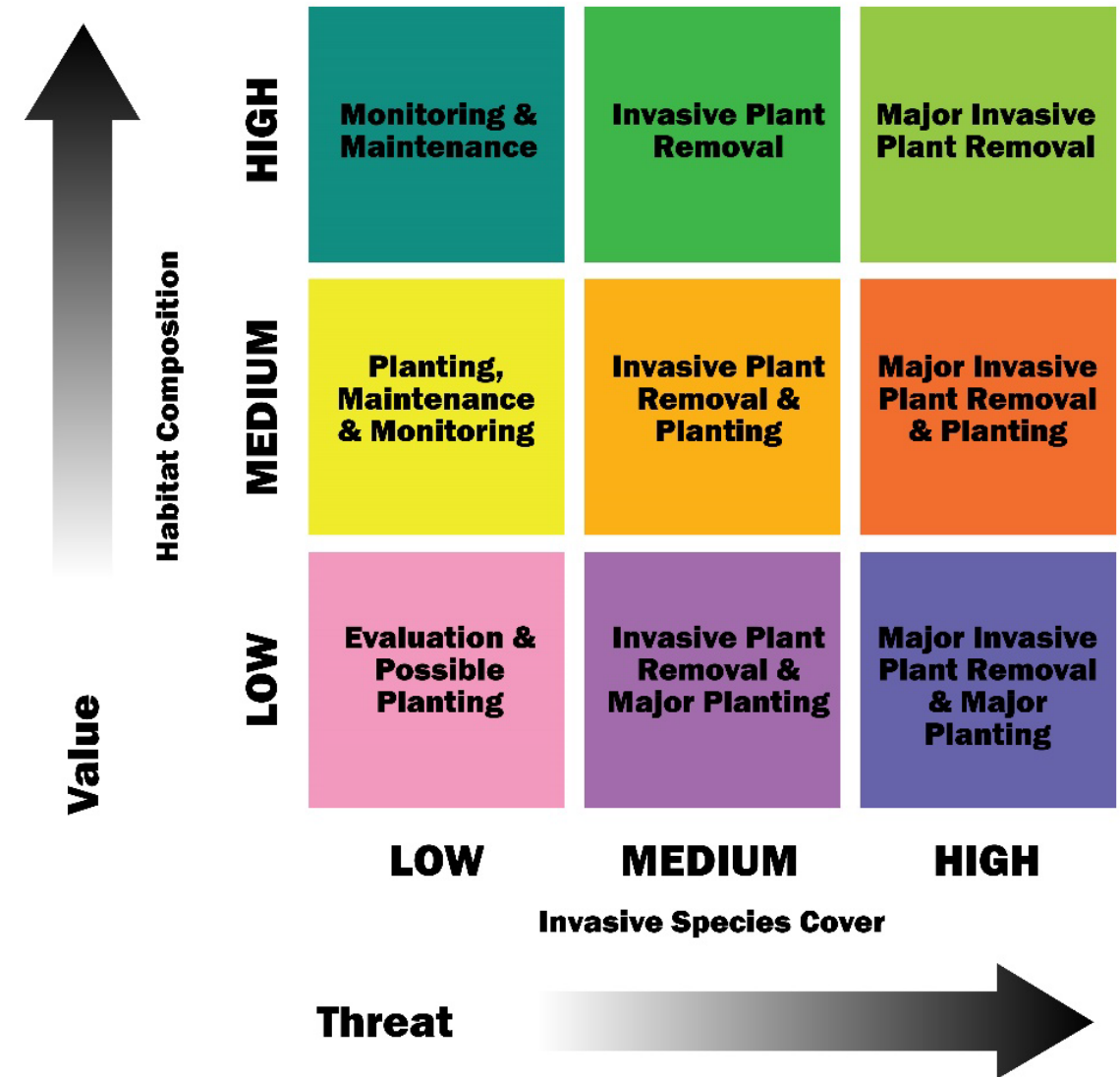


Image 4. Restoration strategies and tree-age categories. Recreated from Table 6 within Snohomish County Healthy Forest Project’s 20-Year Plan.

Lynnwood Parks have several Community Objectives to guide community stewardship, education, and relationship building within parks and open spaces. These objectives include:

- **Community Objective 1:** Promote positive community engagement.
- **Community Objective 2:** Build a Forest Steward Program. Friends of Scriber Lake is an example of one of these programs.
- **Community Objective 3:** Seek opportunities to engage youth and integrate environmental learning into events and activities.
- **Community Objective 4:** Appreciate volunteers and publicly celebrate forest restoration successes.

- **Community Objective 5:** Use restoration to contribute to public safety.
- **Community Objective 6:** Work with community partners, such as school districts, neighboring cities, WSDOT, and Edmonds College, to encourage support for forest protection and management.
- **Community Objective 7:** Engage and educate residents and private landowners.

Lynnwood Parks will review the baseline data through their prioritization objectives and develop a preliminary list of parks that have high to medium priority for restoration actions. This list will be modified over time as forest conditions change, community needs evolve, and financial and social support grow.

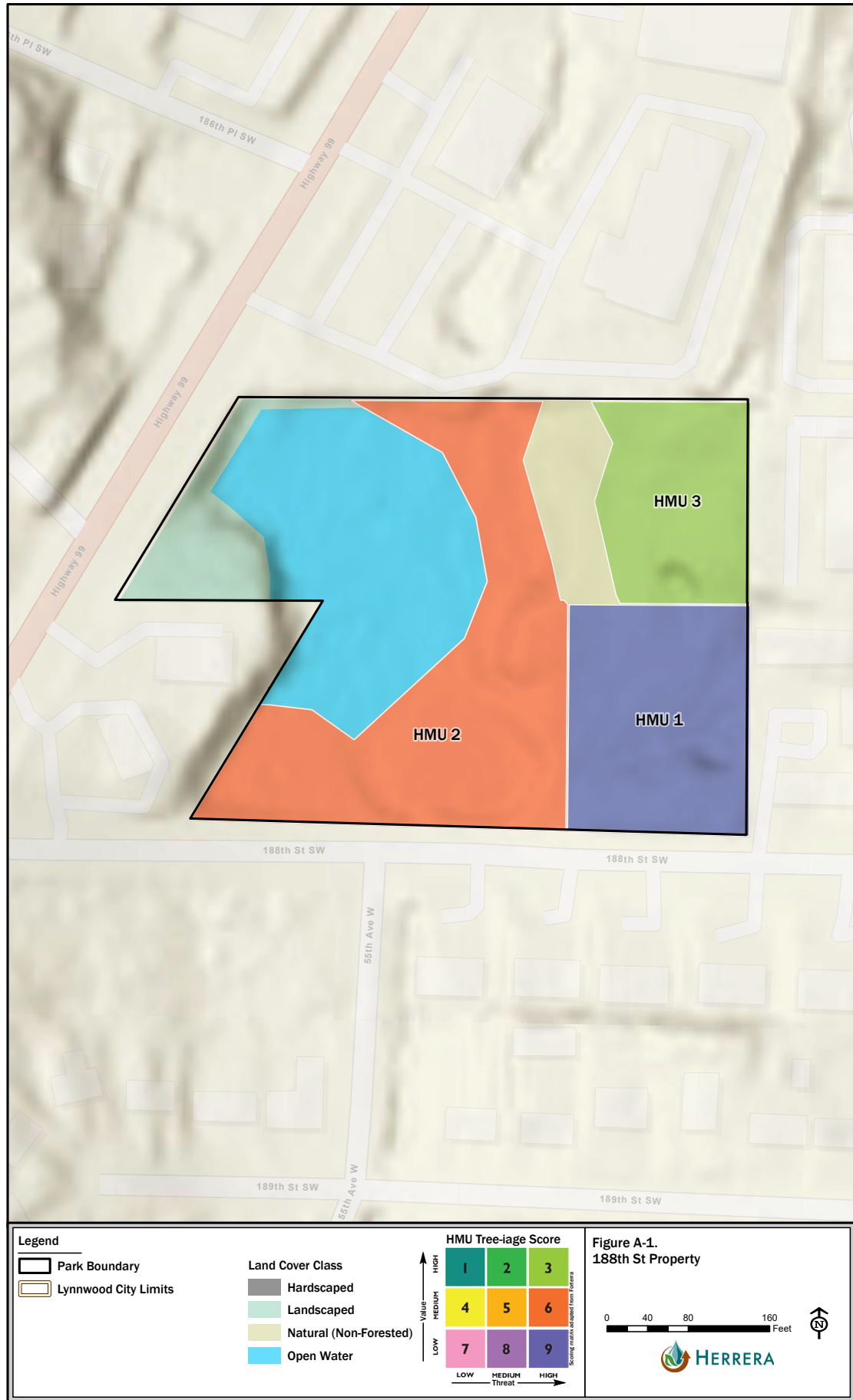
In addition to these site prioritization objections, an additional consideration is that there are many parks that have high to moderate canopy composition throughout the majority of their HMUs, but they also have HMUs with significant invasive species populations. Invasive species are often concentrated along residential or high public use boundaries or areas. These sites provide a great opportunity to remove invasive vegetation and restore the native understory and forest conditions in areas that are highly visible and accessible to the community. A few examples of parks that include these types of conditions include:

- Gold Park
- Lynndale Park
- Meadowdale Playfields
- Mesika Trail
- Lynnwood Golf Course & Trail
- Scriber Lake Park

Overall, Lynnwood Parks protect and manage a large percentage of moderate to high quality forest habitat for the City of Lynnwood. This baseline assessment provides initial data for the City to continue to evaluate management goals and strategies.

Appendix A

Park HMU Map Figures



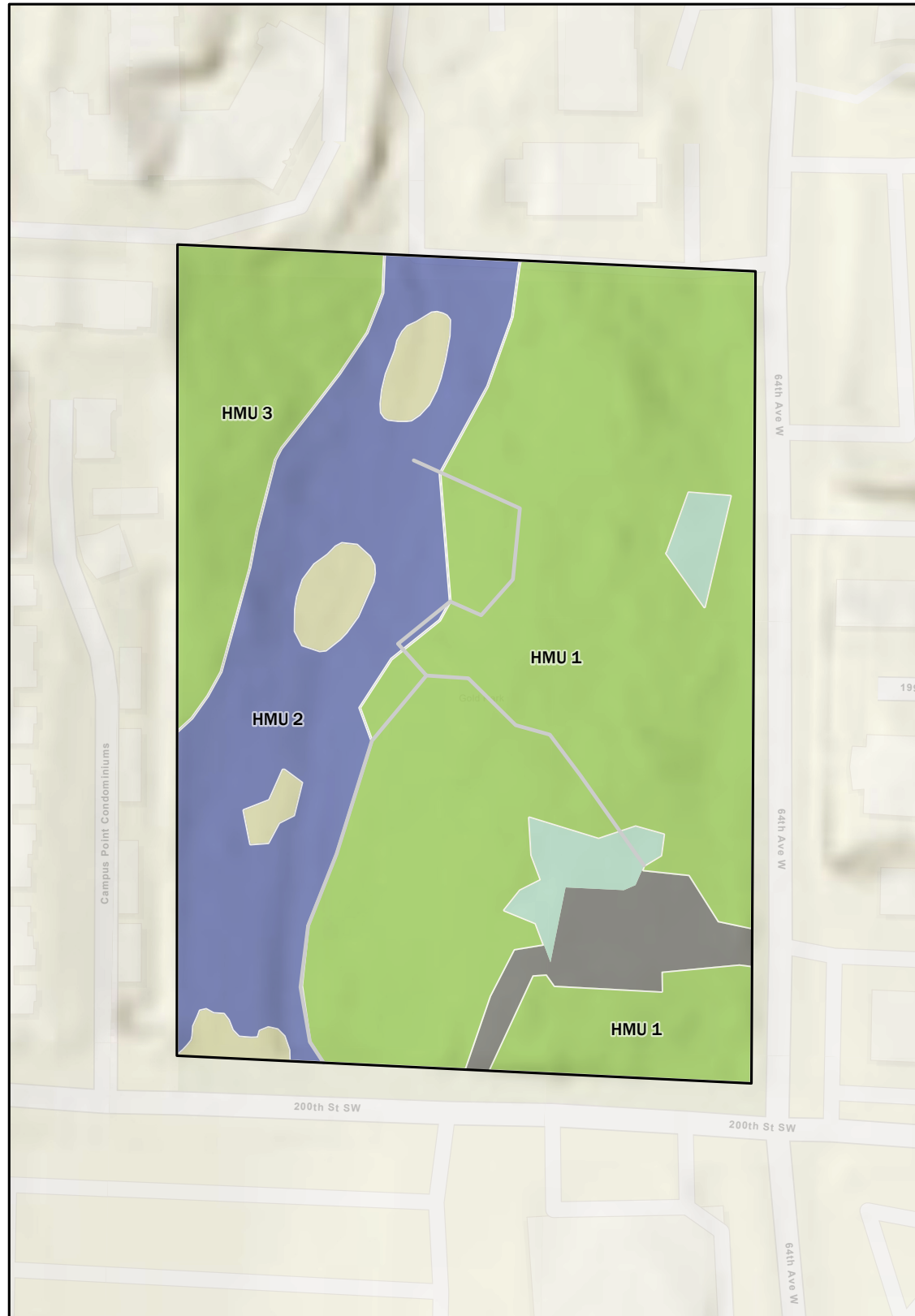


Figure A-3. Gold Park

Legend
 Park Boundary
 Lynnwood City Limits
 Trails
 Land Cover Class
 Hardscaped
 Landscaped
 Natural (Non-Forested)
 Open Water

| | LOW | MEDIUM | HIGH |
|-------|--------|--------|------|
| Value | 7 | 8 | 9 |
| | 4 | 5 | 6 |
| | 1 | 2 | 3 |
| | LOW | MEDIUM | HIGH |
| | Threat | | |

Scale: 0, 35, 70, 140 Feet

HERRERA



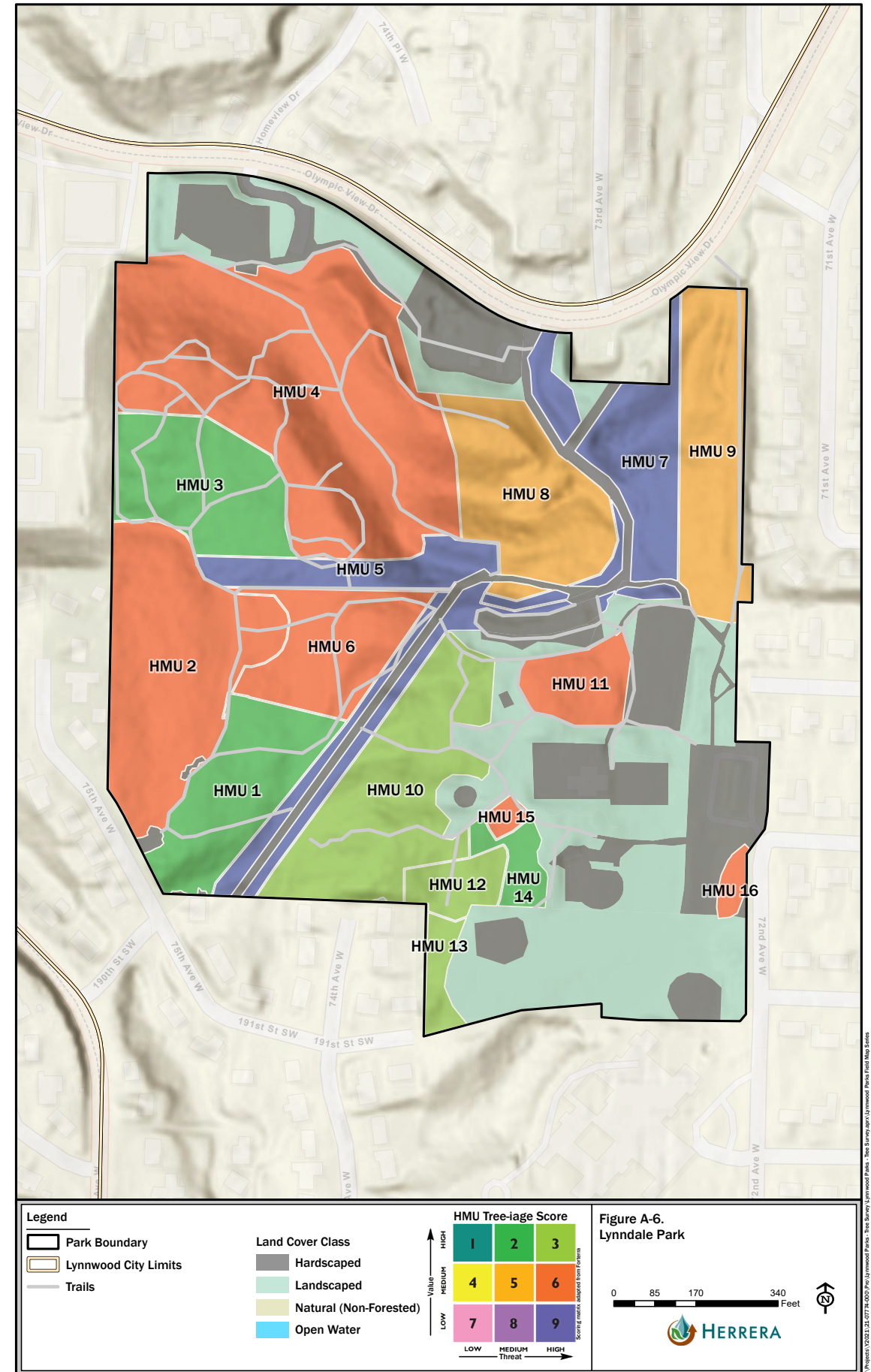
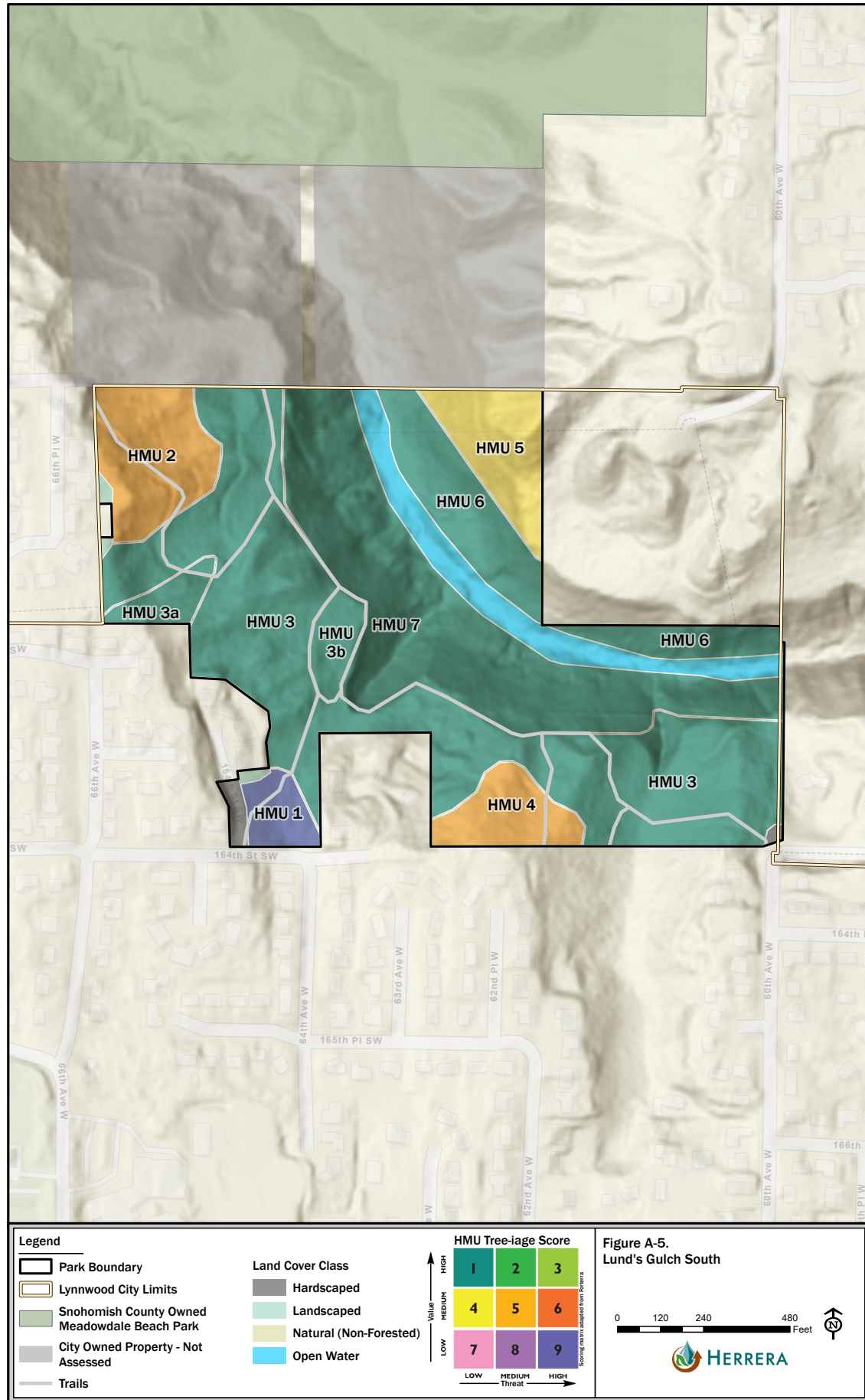
Figure A-4. Heritage Park

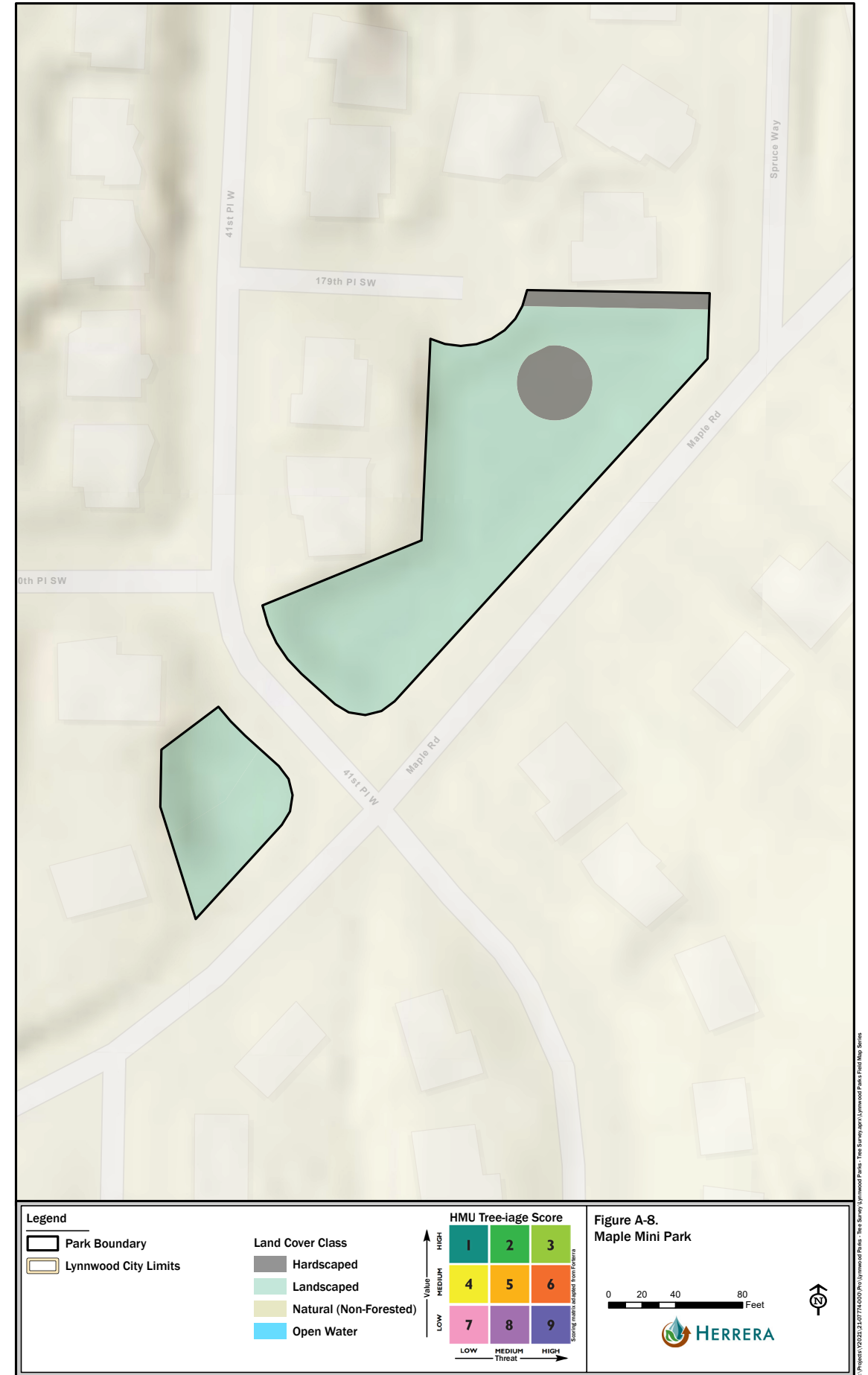
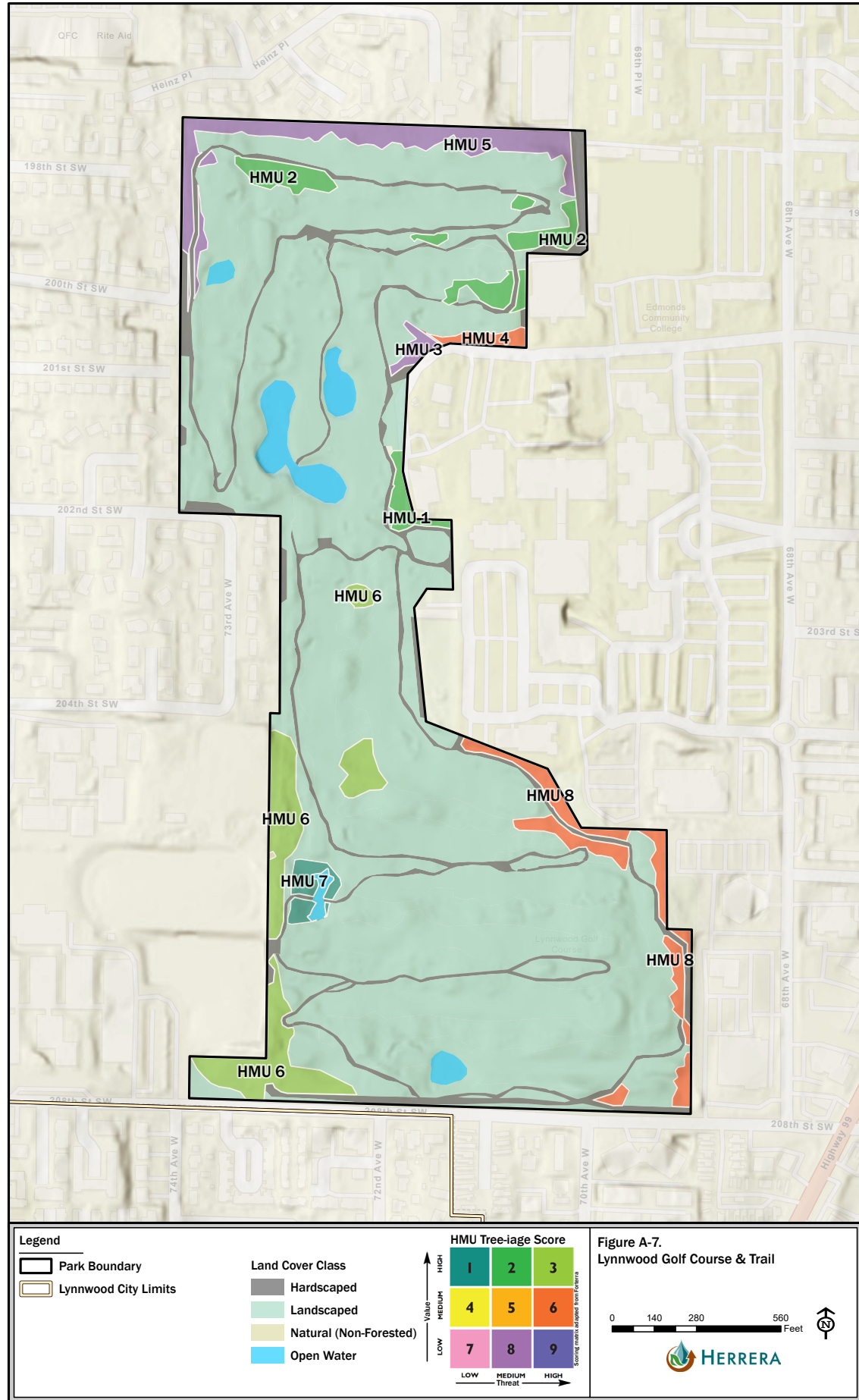
Legend
 Park Boundary
 Lynnwood City Limits
 Land Cover Class
 Hardscaped
 Landscaped
 Natural (Non-Forested)
 Open Water

| | LOW | MEDIUM | HIGH |
|-------|--------|--------|------|
| Value | 7 | 8 | 9 |
| | 4 | 5 | 6 |
| | 1 | 2 | 3 |
| | LOW | MEDIUM | HIGH |
| | Threat | | |

Scale: 0, 45, 90, 180 Feet

HERRERA



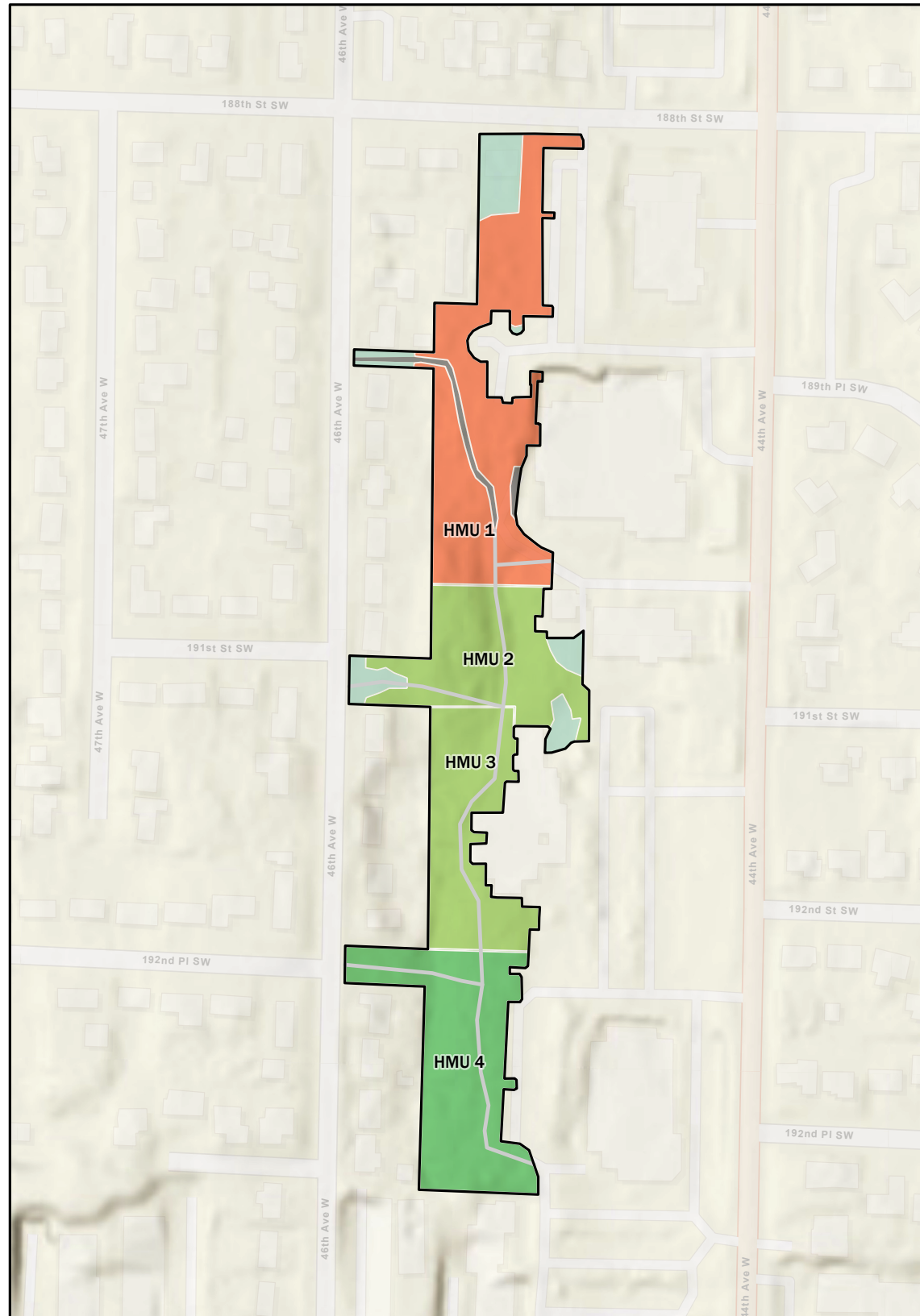




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Legend

- Park Boundary
- Lynnwood City Limits
- Trails

Land Cover Class

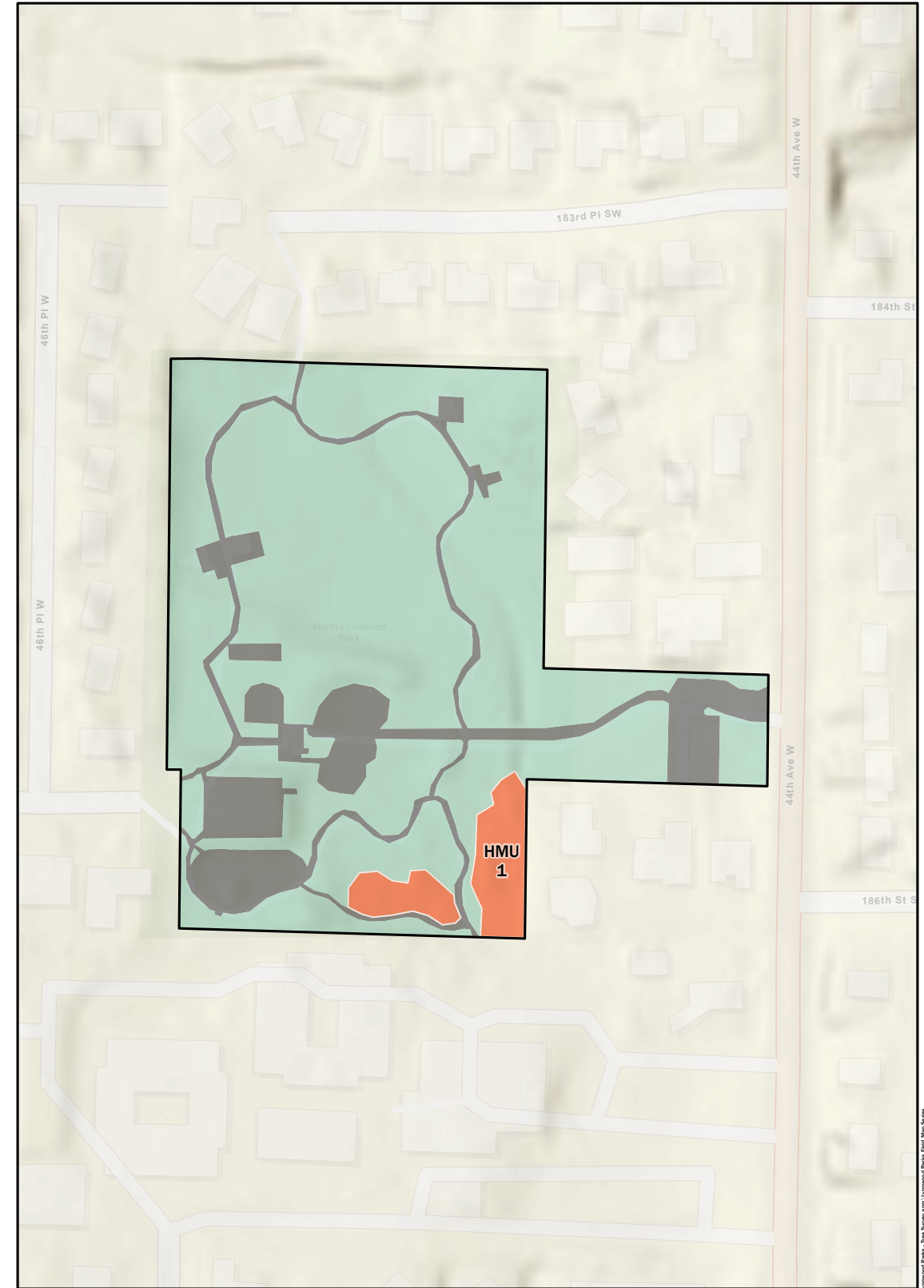
- Hardscaped
- Landscaped
- Natural (Non-Forested)
- Open Water

| Value | HMU Tree-age Score | | |
|--------|--------------------|--------|------|
| | LOW | MEDIUM | HIGH |
| HIGH | 1 | 2 | 3 |
| MEDIUM | 4 | 5 | 6 |
| LOW | 7 | 8 | 9 |

Scoring matrix adapted from Herrera

Figure A-11. Mesika Trail

0 70 140 280 Feet



Legend

- Park Boundary
- Lynnwood City Limits

Land Cover Class

- Hardscaped
- Landscaped
- Natural (Non-Forested)
- Open Water

| Value | HMU Tree-age Score | | |
|--------|--------------------|--------|------|
| | LOW | MEDIUM | HIGH |
| HIGH | 1 | 2 | 3 |
| MEDIUM | 4 | 5 | 6 |
| LOW | 7 | 8 | 9 |

Scoring matrix adapted from Herrera

Figure A-12. North Lynnwood Park

0 45 90 180 Feet

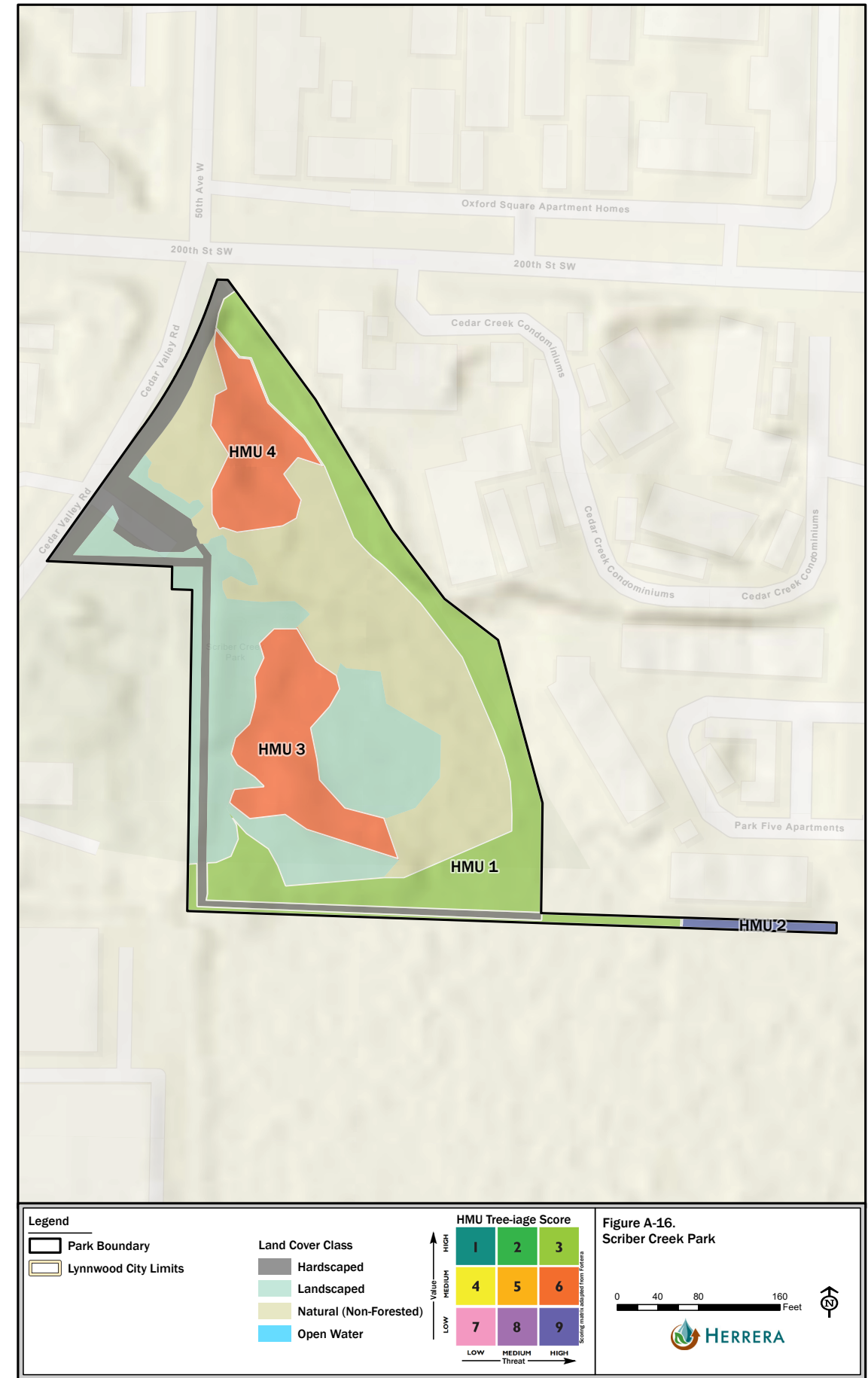
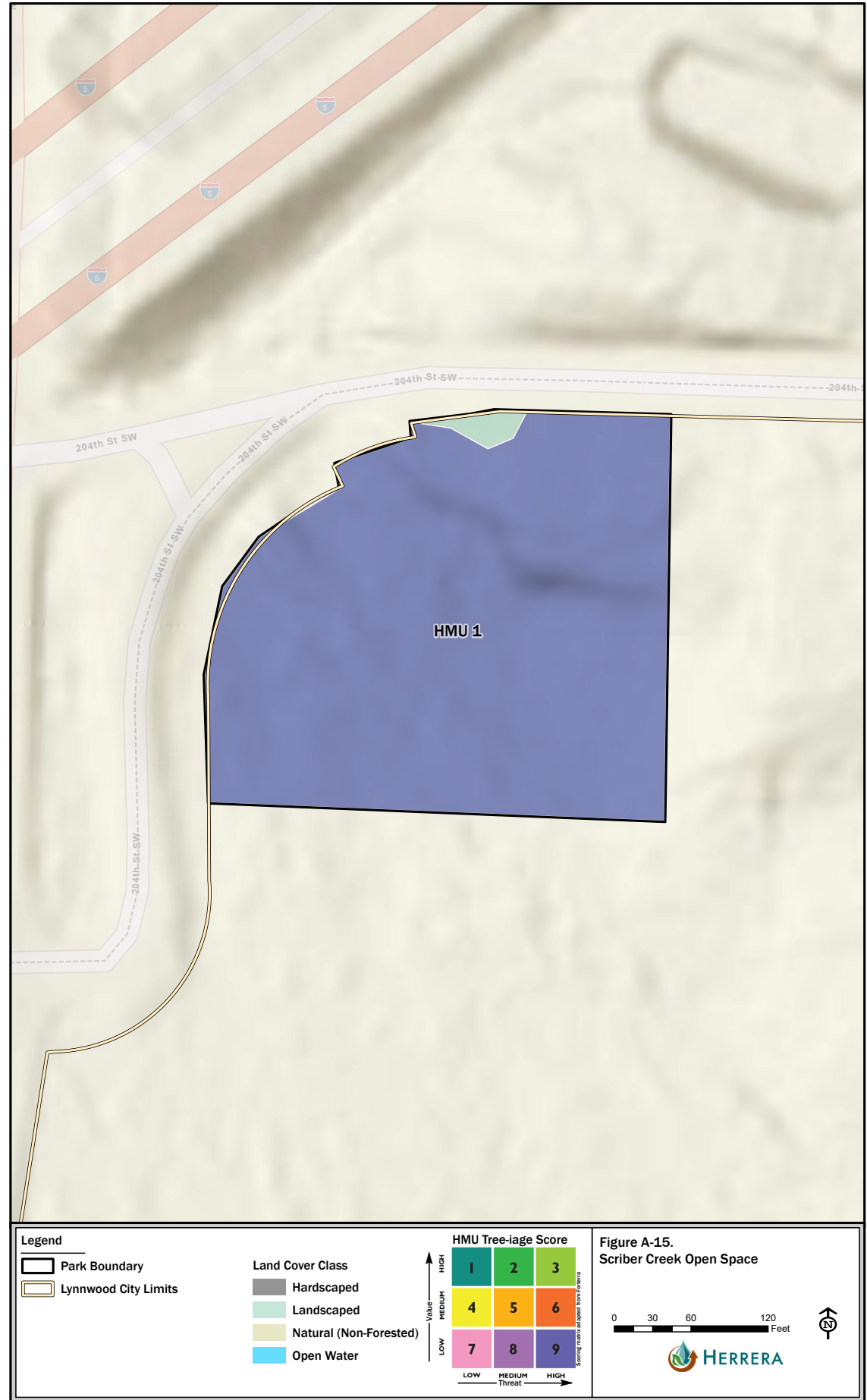


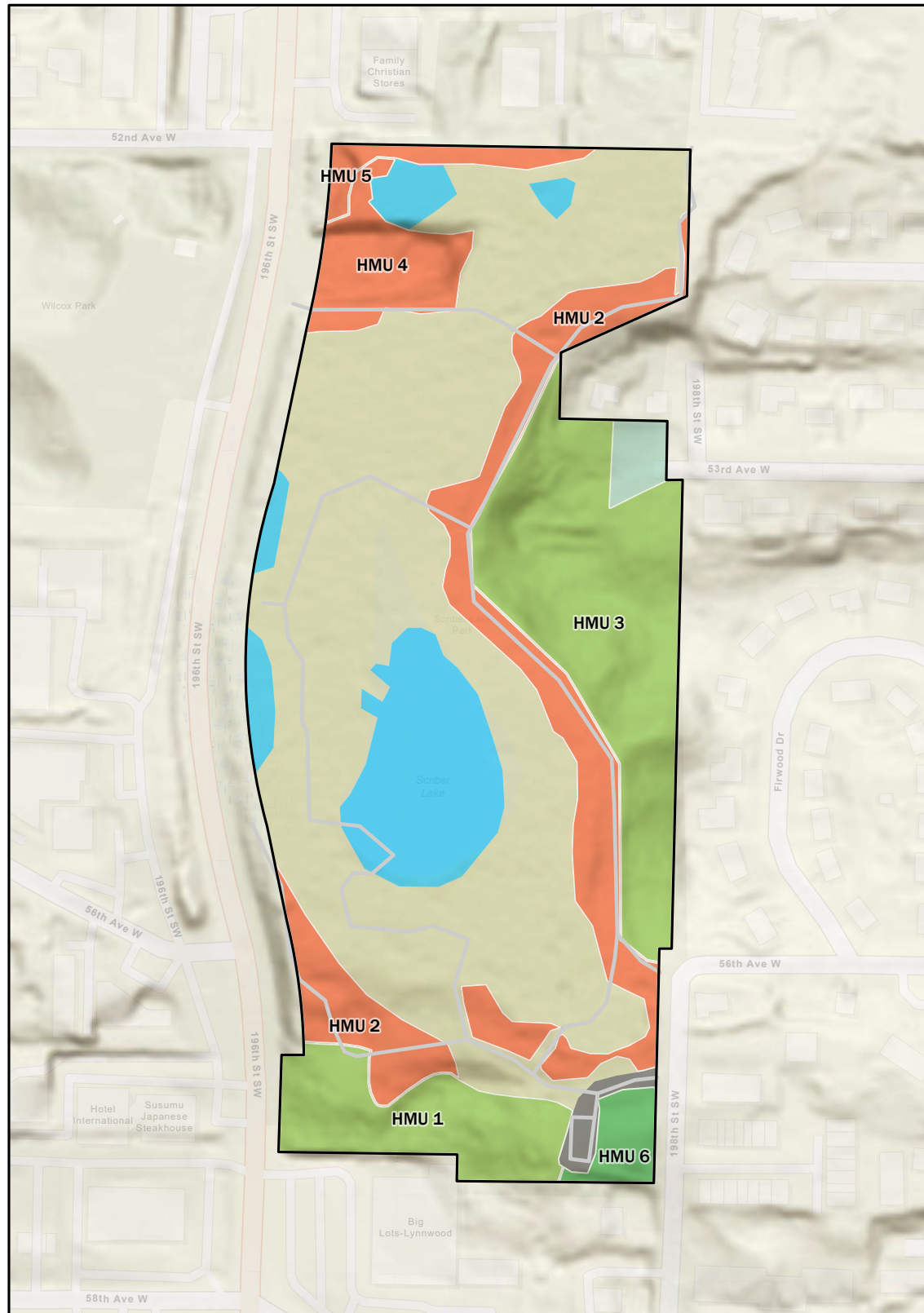
| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|--------|---|------|---|-------|---|---|---|------|---|---|---|--------|---|---|---|-----|---|---|---|--|-----|--------|------|--|--------|--|--|--|
| Legend Park Boundary Lynnwood City Limits Trails | | Land Cover Class Hardscaped Landscaped Natural (Non-Forested) Open Water | | HMU Tree-age Score <table border="1"> <tr> <td>Value</td> <td>1</td> <td>2</td> <td>3</td> </tr> <tr> <td>HIGH</td> <td>1</td> <td>2</td> <td>3</td> </tr> <tr> <td>MEDIUM</td> <td>4</td> <td>5</td> <td>6</td> </tr> <tr> <td>LOW</td> <td>7</td> <td>8</td> <td>9</td> </tr> <tr> <td></td> <td>LOW</td> <td>MEDIUM</td> <td>HIGH</td> </tr> <tr> <td></td> <td colspan="3">Threat</td> </tr> </table> Scoring matrix adapted from Herrera | Value | 1 | 2 | 3 | HIGH | 1 | 2 | 3 | MEDIUM | 4 | 5 | 6 | LOW | 7 | 8 | 9 | | LOW | MEDIUM | HIGH | | Threat | | | Figure A-13. Pioneer Park 0 50 100 200 Feet |
| Value | 1 | 2 | 3 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| HIGH | 1 | 2 | 3 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MEDIUM | 4 | 5 | 6 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| LOW | 7 | 8 | 9 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | LOW | MEDIUM | HIGH | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | Threat | | | | | | | | | | | | | | | | | | | | | | | | | | | | |



| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|--------|---|------|---|-------|---|---|---|------|---|---|---|--------|---|---|---|-----|---|---|---|--|-----|--------|------|--|--------|--|--|--|
| Legend Park Boundary Lynnwood City Limits | | Land Cover Class Hardscaped Landscaped Natural (Non-Forested) Open Water | | HMU Tree-age Score <table border="1"> <tr> <td>Value</td> <td>1</td> <td>2</td> <td>3</td> </tr> <tr> <td>HIGH</td> <td>1</td> <td>2</td> <td>3</td> </tr> <tr> <td>MEDIUM</td> <td>4</td> <td>5</td> <td>6</td> </tr> <tr> <td>LOW</td> <td>7</td> <td>8</td> <td>9</td> </tr> <tr> <td></td> <td>LOW</td> <td>MEDIUM</td> <td>HIGH</td> </tr> <tr> <td></td> <td colspan="3">Threat</td> </tr> </table> Scoring matrix adapted from Herrera | Value | 1 | 2 | 3 | HIGH | 1 | 2 | 3 | MEDIUM | 4 | 5 | 6 | LOW | 7 | 8 | 9 | | LOW | MEDIUM | HIGH | | Threat | | | Figure A-14. Rowe Park 0 25 50 100 Feet |
| Value | 1 | 2 | 3 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| HIGH | 1 | 2 | 3 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MEDIUM | 4 | 5 | 6 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| LOW | 7 | 8 | 9 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | LOW | MEDIUM | HIGH | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | Threat | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

H:\Projects\2023\23-07-174207-Pioneer Park\Survey\Aerial\Aerial Map Series
 H:\Projects\2023\23-07-174207-Rowe Park\Survey\Aerial\Aerial Map Series





Legend

- Park Boundary
- Lynnwood City Limits
- Trails

Land Cover Class

- Hardscaped
- Landscaped
- Natural (Non-Forested)
- Open Water

HMU Tree-age Score

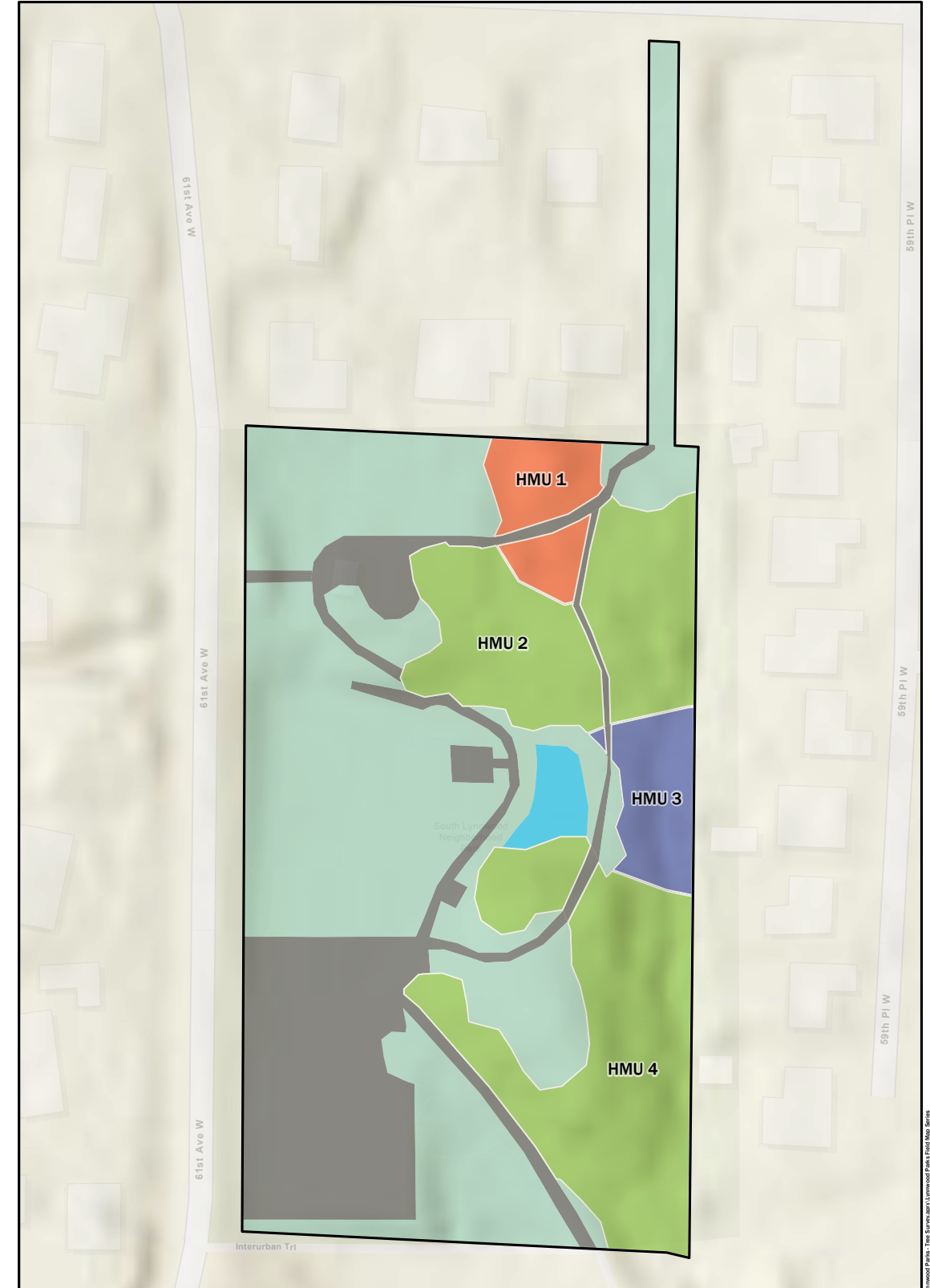
| | | | |
|--------|-----|--------|------|
| Value | 1 | 2 | 3 |
| MEDIUM | 4 | 5 | 6 |
| LOW | 7 | 8 | 9 |
| | LOW | MEDIUM | HIGH |

Scoring metric adapted from Herrera

Figure A-17. Scriber Lake Park

0 70 140 280 Feet

K:\Projects\2022\23-0774-0001\Per\Lynnwood Parks - Tree Survey\Lynnwood Parks - Tree Survey\Lynnwood Parks - Tree Survey\Lynnwood Parks - Tree Survey Map Series



Legend

- Park Boundary
- Lynnwood City Limits

Land Cover Class

- Hardscaped
- Landscaped
- Natural (Non-Forested)
- Open Water

HMU Tree-age Score

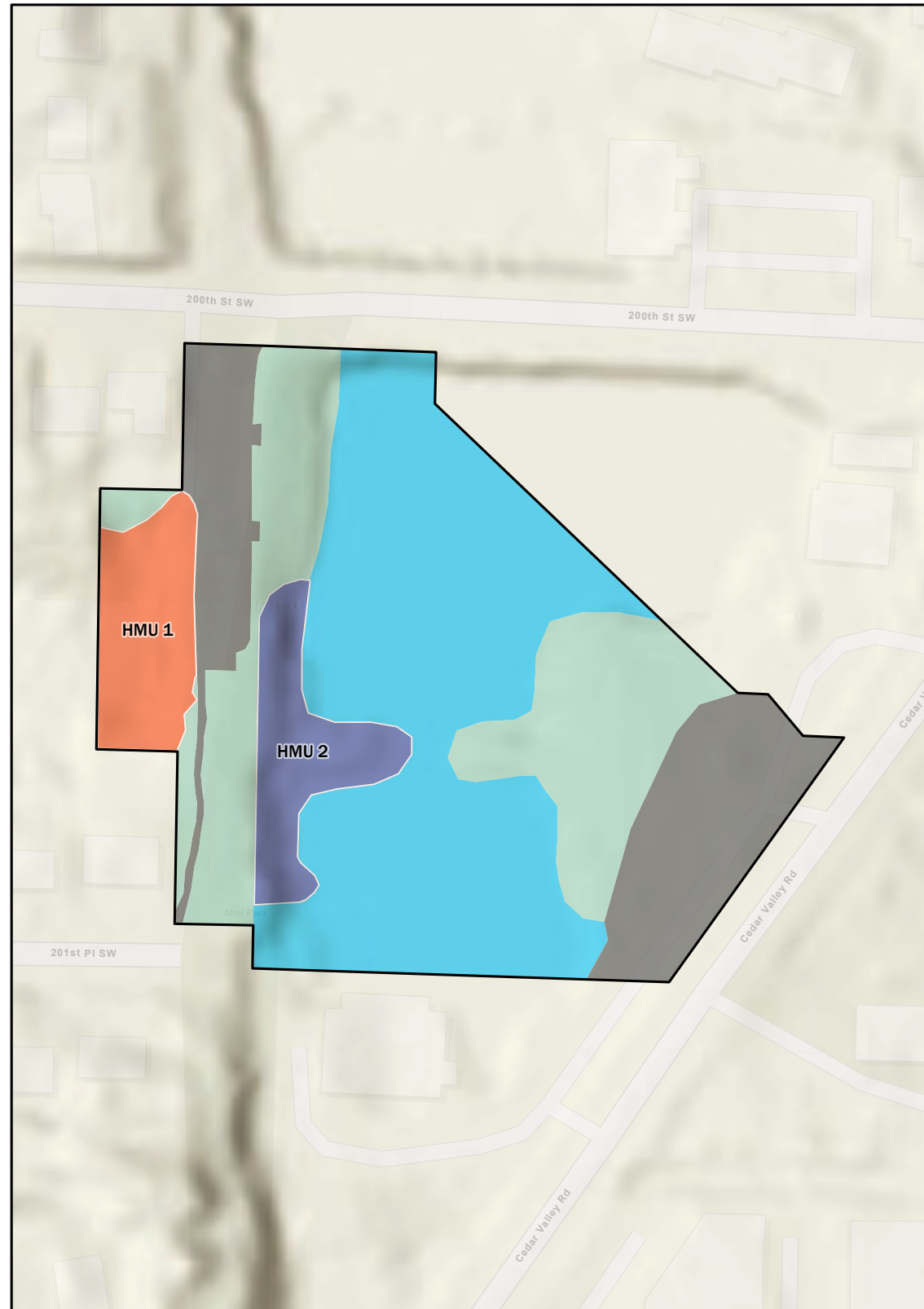
| | | | |
|--------|-----|--------|------|
| Value | 1 | 2 | 3 |
| MEDIUM | 4 | 5 | 6 |
| LOW | 7 | 8 | 9 |
| | LOW | MEDIUM | HIGH |

Scoring metric adapted from Herrera

Figure A-18. South Lynnwood Park

0 25 50 100 Feet

K:\Projects\2022\23-0774-0001\Per\Lynnwood Parks - Tree Survey\Lynnwood Parks - Tree Survey\Lynnwood Parks - Tree Survey\Lynnwood Parks - Tree Survey Map Series



Legend

- Park Boundary
- Lynnwood City Limits

Land Cover Class

- Hardscaped
- Landscaped
- Natural (Non-Forested)
- Open Water

HMU Tree-age Score

| | | | |
|--------|-----|--------|------|
| | LOW | MEDIUM | HIGH |
| HIGH | 1 | 2 | 3 |
| MEDIUM | 4 | 5 | 6 |
| LOW | 7 | 8 | 9 |

Value ↑ (High to Low), Threat → (Low to High)

Figure A-19. Sprague's Pond Park

0 30 60 120 Feet

K:\Projects\2020\131-0774-000-Programmed Parks - The Sprague's Pond Park\Programmed Parks - The Sprague's Pond Park\Map Series - The Sprague's Pond Park\Map Series



Legend

- Park Boundary
- Lynnwood City Limits

Land Cover Class

- Hardscaped
- Landscaped
- Natural (Non-Forested)
- Open Water

HMU Tree-age Score

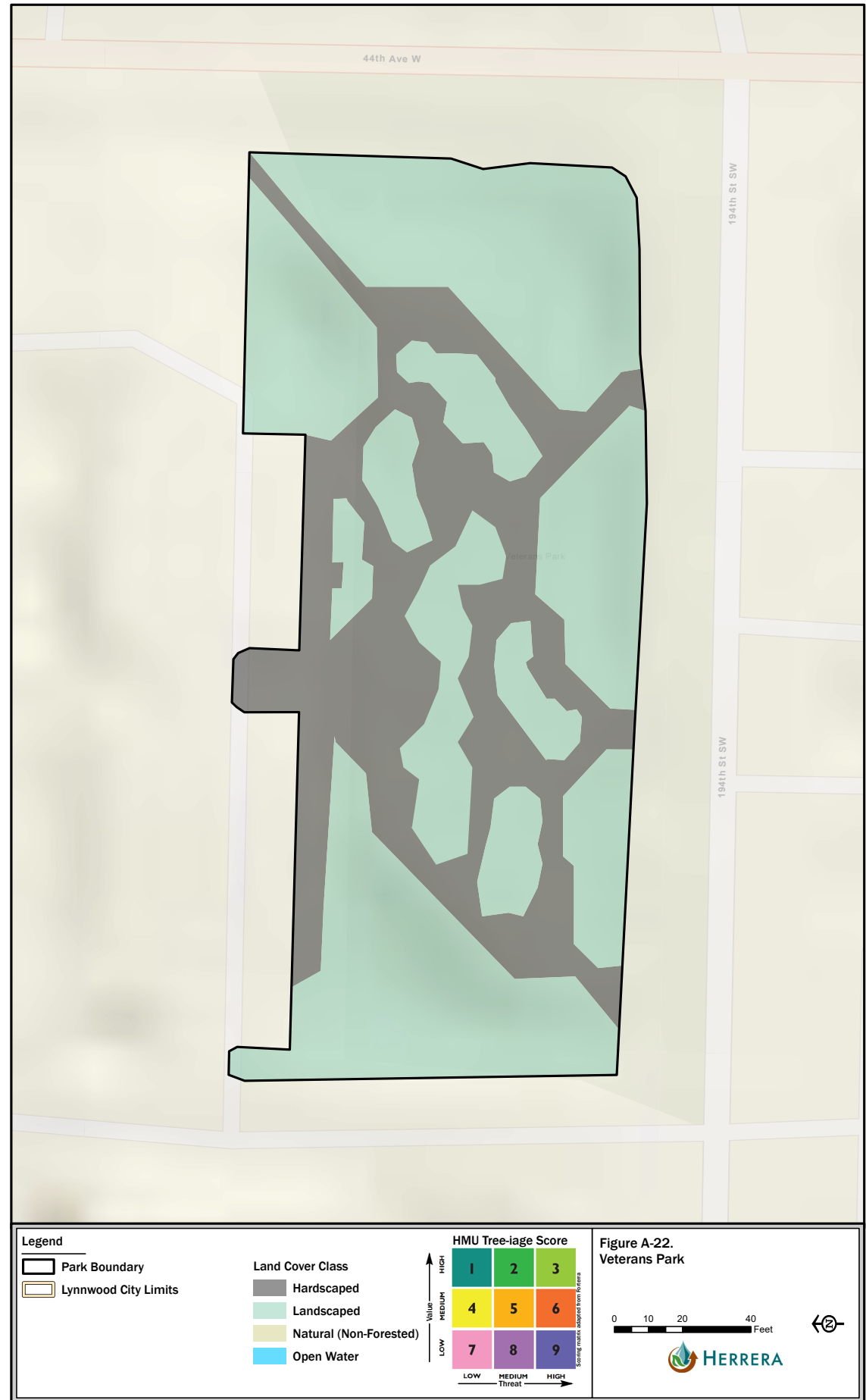
| | | | |
|--------|-----|--------|------|
| | LOW | MEDIUM | HIGH |
| HIGH | 1 | 2 | 3 |
| MEDIUM | 4 | 5 | 6 |
| LOW | 7 | 8 | 9 |

Value ↑ (High to Low), Threat → (Low to High)

Figure A-20. Spruce Park

0 35 70 140 Feet

K:\Projects\2020\131-0774-000-Programmed Parks - The Sprague's Pond Park\Programmed Parks - The Sprague's Pond Park\Map Series - The Sprague's Pond Park\Map Series



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Appendix B

Forest Landscape Assessment Tool Field Survey Data

Full document can be viewed online at:

<https://link.edgepilot.com/s/37a68ac6/behjVAcBU0uuYdztVRy7zw?u=https://www.lynnwoodwa.gov/files/sharedassets/public/v/1/parks-recreation-and-cv-cultural-arts/administration/parkslove-project/lynnwoodforesthealthassessment-published.pdf>

ParksLove – Lynnwood, WA

Summary of 2023 Asset Condition, Deferred Maintenance Estimate, Valuation, and Cost-Estimating Tasks

Introduction

The Lynnwood Parks, Recreation, and Cultural Arts (PRCA), through their ParksLove Project, aims to develop a community-drive comprehensive strategy to advance and shape parks and programming to be representative, accessible, and equitably distributed among the residents of Lynnwood. To help develop this forward-thinking comprehensive strategy, PRCA needed to first understand the status of its existing parks and the condition of their current assets, as well recognize the financial implications associated with current deferred maintenance actions and the depreciated value of its assets. In addition, PRCA also needed to estimate and recognize the financial implications of the system-wide improvements and enhancements identified in the strategy.

Operation and Maintenance (O&M) specialists and cost estimators from SiteWorks conducted a series of tasks to gather park asset condition information and then develop cost estimates for deferred maintenance, update the 2015 park valuation estimate, and establish construction estimates for future improvement/enhancement options. SiteWorks assessed and compiled this information for all existing parks and trails in Lynnwood (a total of 20 sites and trails), as well as developed cost estimates for several open space areas and potential new sites that present opportunities for future development. The information in this report provides a high-level summary of the results of the individual tasks that SiteWorks completed for the ParksLove Project. This summary information, as well as the more detailed results, provide important information to help guide PRCA's decision-making and implementation efforts for the outcomes of the project.

Methods

SiteWorks used a variety of field-based evaluations and cost-estimating techniques to develop the condition assessment, deferred maintenance estimate, updated parks valuation, and future construction cost estimates. An overview of our methods for each of these project tasks is described below.

Asset Condition Summary

SiteWorks completed a field assessment of Lynnwood parks and their primary recreation assets in September 2022. The field assessment was focused on individual assets at each park and trail (identified in Cartegraph, PRCA's mapping and inventory tool) and assessing the current condition of those specific assets using a series of assessment metrics including the need for resurfacing, if the asset was missing parts, the presence of graffiti, any damage or broken elements of the asset, ADA compliance issues, and overall condition. This type of assessment is particularly useful for identifying specific assets that are in need of routine maintenance, repair, or replacement at each site.

The resulting average condition ratings also provide a general sense of the condition of all assets within an asset class at a specific park or across the entire park system. Asset class is a category label used in Cartegraph to group/identify similar types of assets. PRCA uses 10 asset classes in Cartegraph including Athletic Space, Benches, Doors, Facility Equipment, Facilities, Park Misc, Signs, Park Structures, Park Amenities, and Playground Equipment. For summary purposes, SiteWorks consolidated these 10 asset classes into seven. In coordination with PRCA, the Bench

asset class was incorporated into the Park Amenities asset class, and the Doors and Facility Equipment asset classes were integrated into the Facilities or Park Structures asset classes.

SiteWorks relied on data that was exported and compiled by the Lynnwood PRCA from Cartegraph for these summary analyses of the field-based asset condition assessment. In general, SiteWorks did not "clean" or validate the data exports from Cartegraph. That said, for summary purposes and where appropriate, SiteWorks did make some modifications to the asset class (as noted above for Benches, Doors, and Facility Equipment) and/or asset type labels for some assets. For example, some playground equipment was tagged with a "Park Structure" asset class, while others were tagged with a "Playground Equipment" asset class. SiteWorks recategorized all playground equipment under the "Playground Equipment" asset class label. These modifications have only been made in the Cartegraph exports and are not recognized in the master Cartegraph database.

The average condition ratings provide a general indicator of the overall condition of assets (by class and type) at each park. For reference purposes, condition ratings of 3 to 5 are generally indicative of assets that are in moderate to great/new condition, while ratings of 1 to 2 are indicative of assets that are in need of repair and/or replacement. An overall condition score (average of all asset condition ratings) is also provided for each park. This overall park condition score is an indicator of the average condition ratings of those assets that were assessed during the field investigation at each park and should not be strictly interpreted as indicative of the overall condition of a park.

There are several reasons why the overall condition scores for each park may not be indicative of the comprehensive condition of a park. First, there were numerous components at each park that were not assessed (e.g., pathways and trails, parking lots, landscaped areas, natural areas, lighting, irrigation, other site components not yet inventoried in Cartegraph) during the 2022 assessment process. Second, given the high number of some common types of assets (e.g., trash cans, picnic tables, signs), and lower number of other assets (e.g., sports courts, picnic shelters, other facilities), it's possible that the sheer number of common asset ratings may overly influence an aggregated condition score. And finally, a park is more than the sum of its assets. Its overall condition is also a function of how the site's assets come together to establish a larger recreation setting, its aesthetic conditions, its environmental parameters, etc. This higher level, comprehensive assessment was generally beyond the scope of the 2022 asset assessment process.

Deferred Maintenance Estimate

Based on the condition assessment results, SiteWorks compiled a list of deferred maintenance items for each park and estimated the cost of completing these identified items. The 2023 Deferred Maintenance Estimate used the 2015 Deferred Maintenance List as starting point (referred herein as Previously Identified Deferred Maintenance Actions). Those assets that received an "Overall Condition" rating of either one (1) or two (2) during the 2022 Parks Assessment (completed by SiteWorks staff on September 12 through 16, 2022) were also added to the list of deferred maintenance items (referred herein as New Deferred Maintenance Actions).

For purposes of this task:

- The Previously Identified Deferred Maintenance Actions do not include ADA enhancements that were identified during the 2015 parks planning process. It also does not include actions that have been completed since the original list was compiled (per input and directive from PRCA).



- New Deferred Maintenance Actions are based on the field assessment that SiteWorks staff completed in September 2022. This assessment captures a snapshot or moment in time of current park conditions for the assets identified for assessment by the Lynnwood PRCA and may not be indicative of longer-term park-specific and/or system-wide maintenance needs.

All deferred maintenance costs (previous and new) are order of magnitude costs for planning purposes only. These deferred cost estimates, including updated 2015 estimates, are provided in 2023 dollars. To update the 2015 cost estimates to 2023 dollars, SiteWorks applied a total escalation rate of 38 percent to the 2015 deferred maintenance cost estimates. From 2015 to 2021, an annual 4 percent escalation rate was used (6 years at 4 percent). A 6 percent and 8 percent escalation rate was applied for 2022 and 2023, respectively. The 2023 cost estimates for New Deferred Maintenance Actions are based in part on input from Eric Peterson, Lynnwood PRCA Parks Superintendent, regarding material and labor costs.

Park Valuation Estimate

As part of the 2019-2035 Parks, Arts, Recreation & Conservation Plan, PRCA compiled an asset valuation “to provide an order of magnitude estimate of the total public capital investment in Lynnwood’s physical park amenity assets and to provide an estimate of the overall depreciation of those assets.” SiteWorks updated this valuation and depreciation estimate to recognize the current condition of parks, trails, and recreation assets by incorporating the current condition of assets (see the asset condition task), updating average asset replacement costs, and calculating a depreciated value for each asset based on the condition and average replacement cost. In addition, we established a replacement schedule (target year) for when an asset was likely to require replacement given its current condition, use and maintenance level.

To develop the valuation estimate, SiteWorks established current (2023) asset replacement values based on the previous valuation exercise (with appropriate escalation to 2023 dollars), recent construction estimates for similar facilities, input from PRCA, and other cost estimating sources (e.g., BNi Building News General Construction 2023 Costbook). The replacement values and corresponding park asset valuations are planning level estimates only. They represent a reasonable average replacement value for each type of asset. Actual cost estimates to replace an asset may be higher or lower depending on site-specific conditions, permitting requirements, contingency costs, labor rates, and other factors at the time of replacement.

SiteWorks applied a condition multiplier (based on the results of the condition assessment) to the asset replacement value to derive the depreciated value of each existing asset. In addition and also based on the condition assessment, SiteWorks estimated the number of usable years remaining in the lifecycle of an asset (Years Until Replacement), as well as a year when the asset would likely need to be replaced (Replacement Year). This provides a general sense of when assets across the park system may need to be replaced.

Similar to the previous iteration, the updated park valuation estimate provides an order of magnitude estimate of the public capital investment in Lynnwood’s parks. The estimate summarizes the current value of park asset investments and factors in the depreciation of these assets based on their current condition. The valuation captures capital improvements to the primary park assets at each park and does not include the full suite of public infrastructure located at each park.



Results

The summary results from are presented in a series of tables, including:

- Average Condition Assessment
- Deferred Maintenance Estimate
- Park Valuation
- Construction Cost Estimates

B. Park Asset Evaluation

Deferred Maintenance Cost Estimate

Summary

| Park/Trail | Previous Deferred Maintenance (2015) 2015 Dollars | Previous Deferred Maintenance (2015) 2023 Dollars | New Deferred Maintenance (2022) 2023 Dollars | Total 2023 Dollars |
|------------------------------|--|--|---|-----------------------|
| Daleway Park | \$139,000 | \$191,820 | \$450 | \$192,270 |
| Gold Park | \$8,000 | \$11,040 | \$320 | \$11,360 |
| Golf Course Trail | \$11,000 | \$15,180 | \$520 | \$15,700 |
| Heritage Park | \$38,000 | \$52,440 | \$1,346 | \$53,786 |
| Interurban Trail | \$90,000 | \$124,200 | \$7,862 | \$132,062 |
| Lynndale Park | \$3,295,500 | \$4,547,790 | \$12,396 | \$4,560,186 |
| Maple Mini Park | \$31,000 | \$42,780 | \$5,760 | \$48,540 |
| Meadowdale Neighborhood Park | \$94,000 | \$129,720 | \$9,756 | \$139,476 |
| Meadowdale Playfields | \$75,000 | \$103,500 | \$360 | \$103,860 |
| Mesika Trail | \$20,000 | \$27,600 | \$1,012 | \$28,612 |
| North Lynnwood Park | \$270,000 | \$372,600 | \$1,564 | \$374,164 |
| Pioneer Park | \$123,500 | \$170,430 | \$360 | \$170,790 |
| Scriber Creek Park | \$78,000 | \$107,640 | \$8,010 | \$115,650 |
| Scriber Lake Park | \$3,108,000 | \$4,289,040 | \$17,060 | \$4,306,100 |
| Scriber Creek Trail* | - | - | - | - |
| South Lynnwood Park** | \$209,750 | \$42,780 | \$0 | \$42,780 |
| Sprague's Pond Mini Park | \$30,000 | \$41,400 | \$126,278 | \$167,678 |
| Spruce Park | \$51,000 | \$70,380 | \$160 | \$70,540 |
| Stadler Ridge Park | \$8,700 | \$12,006 | \$1,080 | \$13,086 |
| Veterans Park | \$18,000 | \$24,840 | \$40 | \$24,880 |
| Wilcox Park | \$176,500 | \$243,570 | \$26,700 | \$270,270 |
| Total | \$7,874,950 | \$10,620,756 | \$221,034 | \$10,841,790 |

Notes

* Scriber Creek Trail is currently under construction and was not assessed in 2022.

** South Lynnwood Park was recently (2022) renovated. The renovations addressed the previously identified deferred maintenance actions, except the northern right-of-way pathway and invasive species removal in the woodland area. As such, while the 2015 cost estimate for these actions is provided above for reference purposes, these estimated costs have not been escalated to 2023 dollars except for the two items identified previously, nor have they been included in the total deferred maintenance cost estimate for the park.

New Deferred Maintenance is based on the field assessment that was completed in September 2022. This assessment captures a snapshot or moment in time of current park conditions and may not be indicative of longer-term park-specific and/or system-wide deferred maintenance needs.

Previous Deferred Maintenance does not include ADA enhancements that were identified during the 2015 planning process. It also does not include actions that have been completed since the original list was compiled (per input and directive from Lynnwood PRCA).

A total escalation rate of 38% was applied to the 2015 deferred maintenance costs to update costs from 2015 to 2023 dollars. From 2015 to 2021, an annual 4% escalation rate was used (6 years at 4%). A 6% and 8% escalation rate was applied for 2022 and 2023, respectively.

All deferred maintenance costs are order of magnitude costs for planning purposes only. Previous Deferred Maintenance costs only include construction costs and do not include softs costs, permitting, or taxes (as noted in the 2015 estimate). New Deferred Maintenance costs include both material and labor costs, but not soft costs, permitting, or taxes (where potentially applicable). As noted above, all costs are provided in 2023 dollars.

Overall Condition Rating by Asset Class and Park

| Asset Class | Daleway Park | Gold Park | Golf Course Trail | Heritage Park | Interurban Trail | Lynndale Park | Maple Mini Park | Meadowdale Neighborhood Park | Meadowdale Playfields | Mesika Trail | North Lynnwood Park | Pioneer Park | Scriber Creek Park | Scriber Creek Trail* | Scriber Lake Park | South Lynnwood Park | Sprague's Pond Mini Park | Spruce Park | Stadler Ridge Park | Veterans Park | Wilcox Park |
|------------------------------|--------------|------------|-------------------|---------------|------------------|---------------|-----------------|------------------------------|-----------------------|--------------|---------------------|--------------|--------------------|----------------------|-------------------|---------------------|--------------------------|-------------|--------------------|---------------|-------------|
| Assets per Park | 40 | 18 | 46 | 52 | 140 | 319 | 6 | 39 | 215 | 62 | 136 | 32 | 16 | - | 78 | 51 | 21 | 47 | 25 | 14 | 86 |
| Athletic Space | 3.3 | | | | | 4.3 | | | 3.0 | 4.0 | | 3.3 | 3.0 | | | 5.0 | | 3.0 | | | 3.5 |
| Facility | 3.7 | | | 4.0 | | 4.0 | | | 3.0 | 3.6 | | 3.9 | | | 3.9 | 5.0 | | 3.5 | 4.0 | | 2.7 |
| Park Amenity | 3.0 | 2.5 | 3.0 | 3.4 | 3.2 | 3.5 | 3.0 | 2.7 | 3.3 | 3.3 | 3.0 | 3.1 | 2.6 | | 3.1 | 4.6 | 3.0 | 3.1 | 3.0 | 3.0 | 3.2 |
| Park Misc | 3.0 | 3.0 | 3.6 | 3.7 | 3.1 | 3.7 | 2.5 | 3.0 | 3.0 | 3.4 | 3.3 | 3.3 | 3.3 | | 3.0 | 3.8 | 3.5 | 3.5 | 3.7 | 3.0 | 3.5 |
| Park Structure | 3.0 | | | 4.0 | | 3.6 | | | 4.0 | 3.4 | 3.5 | 3.0 | | | | 5.0 | | | | | 2.0 |
| Playground Equipment | 3.0 | | | 3.5 | 4.0 | 3.5 | | | 4.0 | 3.5 | | | | | | 5.0 | 5.0 | 4.0 | 4.0 | | 3.8 |
| Sign | 3.2 | 3.1 | 3.2 | 3.7 | 3.3 | 3.8 | 2.5 | 2.8 | 3.8 | 3.6 | 3.2 | 3.1 | 3.2 | | 3.5 | 4.0 | 3.2 | 3.1 | 3.5 | 3.7 | 3.5 |
| Overall Asset Average | 3.1 | 2.9 | 3.2 | 3.6 | 3.2 | 3.7 | 2.7 | 2.9 | 3.5 | 3.4 | 3.2 | 3.1 | 2.9 | - | 3.4 | 4.6 | 3.2 | 3.3 | 3.4 | 3.1 | 3.3 |

* Scriber Creek Trail is currently under construction and was not assessed in 2022.

Assets per park represents the number of assets in the exported Cartegraph dataset that are located at each park. The number of assets per park is likely different than the number in Cartegraph due to several potential reasons: 1) some assets could not be located during the field assessment, 2) some assets were combined during the field assessment (e.g., a group of 3-4 bollards was combined into one asset), and/or 3) not all exported data had a location value and thus could not be associated with a specific park.



ParksLove

Lynnwood, WA
Valuation Summary
August 31, 2023

Valuation Summary

| Park | 2023 Replacement Costs | 2023 Depreciated Asset Value | 2023 Land Valuation | Total Current Valuation |
|------------------------------|------------------------|------------------------------|-------------------------|-------------------------|
| Daleway Park | \$3,510,970.00 | \$2,501,212.00 | \$6,357,600.00 | \$8,858,812.00 |
| Gold Park | \$189,000.00 | \$126,680.00 | \$7,611,000.00 | \$7,737,680.00 |
| Golf Course Trail | \$87,000.00 | \$55,080.00 | \$0.00 | \$55,080.00 |
| Heritage Park | \$1,957,000.00 | \$1,522,720.00 | \$2,637,000.00 | \$4,159,720.00 |
| Interurban Trail | \$13,146,400.00 | \$7,983,320.00 | \$0.00 | \$7,983,320.00 |
| Lynndale Park | \$22,493,620.00 | \$16,681,348.00 | \$31,213,800.00 | \$47,895,148.00 |
| Maple Mini Park | \$414,000.00 | \$248,000.00 | \$1,000.00 | \$249,000.00 |
| Meadowdale Neighborhood Park | \$3,302,850.00 | \$2,151,600.00 | \$7,334,500.00 | \$9,486,100.00 |
| Meadowdale Playfields | \$18,644,040.00 | \$14,941,132.00 | \$18,407,796.90 | \$33,348,928.90 |
| Mesika Trail | \$275,000.00 | \$198,500.00 | \$5,864,912.80 | \$6,063,412.80 |
| North Lynnwood Park | \$6,270,250.00 | \$4,090,580.00 | \$5,227,500.00 | \$9,318,080.00 |
| Pioneer Park | \$2,481,200.00 | \$1,275,420.00 | \$7,320,700.00 | \$8,596,120.00 |
| Scriber Creek Park | \$306,840.00 | \$152,216.00 | \$773,200.00 | \$925,416.00 |
| Scriber Creek Trail* | \$0.00 | \$0.00 | \$0.00 | \$0.00 |
| Scriber Lake Park | \$4,019,920.00 | \$2,125,968.00 | \$3,968,500.00 | \$6,094,468.00 |
| South Lynnwood Park | \$3,252,200.00 | \$3,195,160.00 | \$3,294,000.00 | \$6,489,160.00 |
| Sprague's Pond Park | \$840,830.00 | \$591,212.00 | \$727,654.50 | \$1,318,866.50 |
| Spruce Park | \$3,183,550.00 | \$2,008,000.00 | \$1,683,000.00 | \$3,691,000.00 |
| Stadler Ridge Park | \$1,282,270.00 | \$1,021,966.00 | \$3,618,500.00 | \$4,640,466.00 |
| Veterans Park | \$133,500.00 | \$80,940.00 | \$2,044,029.60 | \$2,124,969.60 |
| Wilcox Park | \$5,760,500.00 | \$3,811,000.00 | \$8,296,500.00 | \$12,107,500.00 |
| Total | \$91,550,940.00 | \$64,762,054.00 | \$116,381,193.80 | \$181,143,247.80 |

* The Scriber Creek Trail links Scriber Lake Park, Sprague's Pond Park, Scriber Creek Park, and the Interurban trail, among other community sites. Hard surface components and other related assets are already included in the individual sites listed previously.

2023 Replacement Costs = estimated replacement costs for current assets at each park.

2023 Depreciated Asset Value = estimated current value of assets based on current conditions at each park.

2023 Land Valuation = land values per Snohomish County Assessor for each park.

Total Current Valuation = sum of 2023 Depreciated Asset Valuation + 2023 Land Valuation.

CAPITAL PROJECT LIST - PRIORITY RANK ORDER

CAPITAL PROJECT LIST - PRIORITY RANK ORDER (CON'T)

| Overall Project Rank | Park Location | Proposed Project | Park Equity Score | Project Evaluation Score (Average) | Combined Park Equity + Project Evaluation Score Questions Score |
|----------------------|------------------------------|---|-------------------|------------------------------------|---|
| 1 | Pioneer Park | Loop Trail | 1.71 | 1.86 | 1.78 |
| 2 | North Lynnwood Park | Loop Trail | 1.64 | 1.86 | 1.75 |
| 3 | Interurban Trail | Trail Redevelopment (at Target) | 2.00 | 1.43 | 1.71 |
| 4 | Maple Mini | Park Renovation: Stormwater, Play Area, Paths, Picnic, Parking Addition | 1.21 | 2.14 | 1.68 |
| 5 | North Lynnwood Park | Spray & Play Improvements | 1.64 | 1.43 | 1.53 |
| 6 | Rowe Park | New Park Development | 1.41 | 1.57 | 1.49 |
| 7 | Sprague's Pond Park | Pond Access and Recreation (East) | 1.50 | 1.43 | 1.46 |
| 8 | North Lynnwood Park | Neighborhood Access Improvements | 1.64 | 1.29 | 1.46 |
| 8 | North Lynnwood Park | Parking Access and Improvements | 1.64 | 1.29 | 1.46 |
| 10 | Interurban Trail | Bus Barn Wedge Opportunity Zone | 2.00 | 0.86 | 1.43 |
| 11 | Pioneer Park | Parking & Access Improvements | 1.71 | 1.14 | 1.43 |
| 12 | Golf Course Trail | Opportunity Zones East (Parking, Trails, Mini Golf, Play, Picnic) | 1.79 | 1.00 | 1.40 |
| 13 | Veterans Park | Access and Connectivity Improvements | 1.64 | 1.14 | 1.39 |
| 14 | Interurban Trail | 208th / 53rd Trailhead | 2.00 | 0.71 | 1.36 |
| 14 | Interurban Trail | Access Improvements @ Alexan | 2.00 | 0.71 | 1.36 |
| 14 | Interurban Trail | Alderwood Trailhead | 2.00 | 0.71 | 1.36 |
| 14 | Interurban Trail | Beech Road Trailhead | 2.00 | 0.71 | 1.36 |
| 14 | Interurban Trail | City Center Station Trailhead | 2.00 | 0.71 | 1.36 |
| 19 | Golf Course Trail | East Trail Improvements | 1.79 | 0.86 | 1.32 |
| 19 | Golf Course Trail | Neighborhood Access Improvements | 1.79 | 0.86 | 1.32 |
| 19 | Golf Course Trail | Opportunity Zone SW (parking, zipline, lawn, picnic, ADA access) | 1.79 | 0.86 | 1.32 |
| 22 | Wilcox Park | Parking & Play Area Renovation | 1.50 | 1.14 | 1.32 |
| 23 | Mesika Forest & Trail | Neighborhood Access Improvements | 1.86 | 0.71 | 1.29 |
| 23 | Mesika Forest & Trail | Opportunity Zone North (Trails, Nature Play, Learning Circle, Picnicking, Lawns) | 1.86 | 0.71 | 1.29 |
| 25 | Lynndale | FACILITY: Central Program Building & Restroom | 0.71 | 1.86 | 1.28 |
| 25 | Pioneer Park | Play Area Renovation | 1.71 | 0.86 | 1.28 |
| 27 | Sprague's Pond Park | Lawn Renovation | 1.50 | 1.00 | 1.25 |
| 27 | Wilcox Park | Parking ADA Stalls & Accessible Route (north) | 1.50 | 1.00 | 1.25 |
| 27 | Wilcox Park | South Shelter Accessible Route | 1.50 | 1.00 | 1.25 |
| 30 | North Lynnwood Park | Lawn Renovation | 1.64 | 0.86 | 1.25 |
| 31 | Meadowdale Neighborhood Park | Opportunity Zone (Ziplines, Pump Track, Fitness Stations) | 0.86 | 1.57 | 1.22 |
| 31 | Mesika Forest & Trail | Opportunity Zone South (picnic) | 1.86 | 0.57 | 1.22 |
| 33 | Interurban Trail | Environmental Resiliency Projects | 2.00 | 0.43 | 1.21 |
| 33 | Interurban Trail | Fitness Section Corridor | 2.00 | 0.43 | 1.21 |
| 35 | Golf Course Trail | AAA Facility Upgrades and Path Improvements (208th St SW) | 1.79 | 0.57 | 1.18 |
| 36 | Gold Park | Parking Improvement | 1.50 | 0.86 | 1.18 |
| 37 | Daleway Park | Parking & Access Improvements | 1.21 | 1.14 | 1.18 |
| 38 | Mesika Forest & Trail | Environmental Resiliency Project: Stream | 1.86 | 0.43 | 1.14 |
| 39 | Pioneer Park | Opportunity Zone (fitness, dog park) | 1.71 | 0.57 | 1.14 |
| 40 | Golf Course Trail | Environmental Resiliency Projects | 1.79 | 0.43 | 1.11 |
| 40 | Scriber Lake Park | Environmental Resiliency Projects | 1.79 | 0.43 | 1.11 |
| 40 | Scriber Lake Park | Neighborhood Access Improvements (NW) | 1.79 | 0.43 | 1.11 |
| 40 | Scriber Lake Park | Upland Viewpoint | 1.79 | 0.43 | 1.11 |
| 40 | Scriber Lake Park | Wetland viewpoint | 1.79 | 0.43 | 1.11 |
| 40 | Scriber Lake Park | Trail Development (Forest) | 1.79 | 0.43 | 1.11 |
| 46 | 188th Street Property | Opportunity Zone (Parking, Wetland viewpoints, Trails, Picnicking) | 1.36 | 0.86 | 1.11 |
| 47 | Sprague's Pond Park | Opportunity Zone (Picnic Shelter, Restroom Building, Lookout) | 1.50 | 0.71 | 1.11 |
| 47 | Sprague's Pond Park | Parking & Access Improvements (East) | 1.50 | 0.71 | 1.11 |
| 47 | Town Square | New Park Development | 1.50 | 0.71 | 1.11 |
| 50 | North Lynnwood Park | Opportunity Zone (play, sport) | 1.64 | 0.57 | 1.11 |
| 51 | Daleway Park | Spray & Play Improvements | 1.21 | 1.00 | 1.11 |
| 52 | Heritage Park | FACILITY: Building Improvements (ADA, Roofs) | 1.14 | 1.00 | 1.07 |
| 52 | Heritage Park | Opportunity Zone (terraced seating, picnic lawn, ADA picnic) | 1.14 | 1.00 | 1.07 |
| 52 | Spruce Park | Neighborhood Access Improvements | 1.14 | 1.00 | 1.07 |
| 52 | Spruce Park | Parking & Access Improvements | 1.14 | 1.00 | 1.07 |
| 56 | Pioneer Park | Environmental Resiliency Projects | 1.71 | 0.43 | 1.07 |
| 57 | 188th Street Property | Improved Street Crossing | 1.36 | 0.71 | 1.04 |
| 58 | Meadowdale Playfields | Synthetic Turf Replacement | 0.93 | 1.14 | 1.04 |
| 59 | Gold Park | Opportunity Zone (play, placemaking, furnishings) | 1.50 | 0.57 | 1.04 |
| 59 | Wilcox Park | Partnership Opportunity Zone School District Property (Trails, Lawn, Sports Field, Parking, Dog Park, Bridge) | 1.50 | 0.57 | 1.04 |
| 61 | North Lynnwood Park | Environmental Resiliency Projects: Forest | 1.64 | 0.43 | 1.03 |
| 62 | Scriber Creek Park | Environmental Resiliency Projects | 1.57 | 0.43 | 1.00 |
| 63 | Heritage Park | Wetland Loop Trail | 1.14 | 0.86 | 1.00 |
| 64 | Rowe Park | Environmental Resiliency Projects | 1.41 | 0.57 | 0.99 |
| 65 | 188th Street Property | Environmental Resiliency Projects | 1.36 | 0.57 | 0.97 |
| 66 | Gold Park | Environmental Resiliency Projects | 1.50 | 0.43 | 0.96 |
| 66 | Sprague's Pond Park | Environmental Resiliency Projects | 1.50 | 0.43 | 0.96 |
| 66 | Sprague's Pond Park | Neighborhood Access Improvements (West) | 1.50 | 0.43 | 0.96 |
| 66 | Wilcox Park | Environmental Resiliency Projects | 1.50 | 0.43 | 0.96 |
| 70 | Daleway Park | Neighborhood Access Improvements | 1.21 | 0.71 | 0.96 |
| 70 | Daleway Park | Park Shelter | 1.21 | 0.71 | 0.96 |
| 72 | Stadler Ridge Park | Parking ADA Stalls & Accessible Route | 0.86 | 1.00 | 0.93 |
| 73 | Heritage Park | Park Shelter | 1.14 | 0.71 | 0.93 |
| 74 | Lund's Gulch North | Trailhead and Parking Improvements | 0.71 | 1.14 | 0.93 |
| 74 | Lund's Gulch South | Trailhead and Parking Improvements SE | 0.71 | 1.14 | 0.93 |
| 74 | Lund's Gulch South | Trailhead and Parking Improvements SW | 0.71 | 1.14 | 0.93 |
| 77 | Spruce Park | Lawn Renovation | 1.14 | 0.57 | 0.86 |

| Overall Project Rank | Park Location | Proposed Project | Park Equity Score | Project Evaluation Score (Average) | Combined Park Equity + Project Evaluation Score Questions Score |
|----------------------|-------------------------------|--|-------------------|------------------------------------|---|
| 78 | Meadowdale Playfields | Lighting Replacement | 0.93 | 0.71 | 0.82 |
| 79 | Daleway Park | Environmental Resiliency Projects | 1.21 | 0.43 | 0.82 |
| 80 | Meadowdale Neighborhood Park | Dog Park | 0.86 | 0.71 | 0.79 |
| 81 | Heritage Park | Environmental Resiliency Projects | 1.14 | 0.43 | 0.78 |
| 81 | Heritage Park | Wetland Overlook | 1.14 | 0.43 | 0.78 |
| 81 | South Lynnwood Park | Environmental Resiliency Projects | 1.14 | 0.43 | 0.78 |
| 81 | South Lynnwood Park | Neighborhood Access Improvements | 1.14 | 0.43 | 0.78 |
| 81 | Spruce Park | Environmental Resiliency Projects | 1.14 | 0.43 | 0.78 |
| 86 | Lynndale | Little League Complex (field, parking, access) | 0.71 | 0.86 | 0.78 |
| 86 | Lynndale | Parking and Access Improvements (SW) | 0.71 | 0.86 | 0.78 |
| 86 | Lynndale | Trail Development | 0.71 | 0.86 | 0.78 |
| 89 | Meadowdale Playfields | Parking Access and Improvements (NW) | 0.93 | 0.57 | 0.75 |
| 89 | Meadowdale Playfields | Trail Development | 0.93 | 0.57 | 0.75 |
| 91 | Wilcox Park | Historic 196th Bridge Rehabilitation | 1.50 | 0.00 | 0.75 |
| 92 | Daleway Park | Lawn Renovation | 1.21 | 0.29 | 0.75 |
| 92 | Daleway Park | Opportunity Zone (volleyball, play) | 1.21 | 0.29 | 0.75 |
| 92 | Daleway Park | Stormwater Improvements | 1.21 | 0.29 | 0.75 |
| 95 | Lynndale | Dog Park Illumination | 0.71 | 0.71 | 0.71 |
| 95 | Lynndale | Tennis Court Renovation and Illumination | 0.71 | 0.71 | 0.71 |
| 97 | Meadowdale Playfields | Environmental Resiliency Projects | 0.93 | 0.43 | 0.68 |
| 97 | Meadowdale Playfields | Improved Street Crossing and Entrance | 0.93 | 0.43 | 0.68 |
| 99 | Meadowdale Neighborhood Park | Environmental Resiliency Projects | 0.86 | 0.43 | 0.64 |
| 99 | Meadowdale Neighborhood Park | Play Area Renovation | 0.86 | 0.43 | 0.64 |
| 99 | Stadler Ridge Park | Environmental Resiliency Projects | 0.86 | 0.43 | 0.64 |
| 102 | Systemwide | ADA Transition Plan | 0.00 | 1.29 | 0.64 |
| 103 | Lund's Gulch North | Environmental Resiliency Projects | 0.71 | 0.57 | 0.64 |
| 103 | Lund's Gulch South | Environmental Resiliency Projects | 0.71 | 0.57 | 0.64 |
| 105 | Meadowdale Playfields | Central Access | 0.93 | 0.29 | 0.61 |
| 105 | Meadowdale Playfields | Permanent Portable Restroom/Toilet | 0.93 | 0.29 | 0.61 |
| 107 | Meadowdale Neighborhood Park | Remote Control Crawler Course | 0.86 | 0.29 | 0.57 |
| 107 | Stadler Ridge Park | Play Area Addition | 0.86 | 0.29 | 0.57 |
| 107 | Stadler Ridge Park | Permanent Portable Restroom/Toilet | 0.86 | 0.29 | 0.57 |
| 110 | Lynndale | Environmental Resiliency Projects | 0.71 | 0.43 | 0.57 |
| 110 | Lynndale | Skate Park Renovation and Expansion | 0.71 | 0.43 | 0.57 |
| 112 | Meadowdale Playfields | Dugout Covers | 0.93 | 0.14 | 0.54 |
| 113 | Off Leash Dog Park [TBD] | Locate and develop dog park [location TBD] | 0.00 | 0.86 | 0.43 |
| 113 | Scriber Creek Trail Extension | Trail Expansion (Lund's Gulch South to Wilcox Park) Alignment Planning | 0.00 | 0.86 | 0.43 |
| 113 | Systemwide | Deferred Maintenance | 0.00 | 0.86 | 0.43 |
| 113 | Tunnel Creek Trail | Develop trail on ESD Property above 33rd Place West | 0.00 | 0.86 | 0.43 |
| 117 | Systemwide | Signage Package | 0.00 | 0.43 | 0.21 |
| 117 | Systemwide | Strategic Parkland Acquisition | 0.00 | 0.43 | 0.21 |

CAPITAL PROJECT COST ESTIMATE (2023)

| Park Location | Proposed Project | Project Cost Estimate (Rounded) |
|------------------------------|---|---------------------------------|
| Pioneer Park | Loop Trail | \$ 240,000 |
| North Lynnwood Park | Loop Trail | \$ 607,000 |
| Interurban Trail | Trail Redevelopment (at Target) | \$ 374,000 |
| Maple Mini | Park Renovation: Stormwater, Play Area, Paths, Picnic, Parking Addition | \$ 4,019,000 |
| North Lynnwood Park | Spray & Play Improvements | \$ 1,455,000 |
| Rowe Park | New Park Development | \$ 5,129,000 |
| Sprague's Pond Park | Pond Access and Recreation (East) | \$ 3,285,000 |
| North Lynnwood Park | Neighborhood Access Improvements | \$ 89,000 |
| North Lynnwood Park | Parking Access and Improvements | \$ 259,000 |
| Interurban Trail | Bus Barn Wedge Opportunity Zone | \$ 834,000 |
| Pioneer Park | Parking & Access Improvements | \$ 171,000 |
| Golf Course Trail | Opportunity Zones East (Parking, Trails, Mini Golf, Play, Picnic) | \$ 136,000 |
| Veterans Park | Access and Connectivity Improvements | \$ 11,000 |
| Interurban Trail | 208th / 53rd Trailhead | \$ 385,000 |
| Interurban Trail | Access Improvements @ Alexan | \$ 122,000 |
| Interurban Trail | Alderwood Trailhead | \$ 164,000 |
| Interurban Trail | Beech Road Trailhead | \$ 66,000 |
| Interurban Trail | City Center Station Trailhead | \$ 270,000 |
| Golf Course Trail | East Trail Improvements | \$ 214,000 |
| Golf Course Trail | Neighborhood Access Improvements | \$ 198,000 |
| Golf Course Trail | Opportunity Zone SW (parking, zipline, lawn, picnic, ADA access) | \$ 701,000 |
| Wilcox Park | Parking & Play Area Renovation | \$ 2,094,000 |
| Mesika Forest & Trail | Neighborhood Access Improvements | \$ 143,000 |
| Mesika Forest & Trail | Opportunity Zone North (Trails, Nature Play, Learning Circle, Picnicking, Lawns) | \$ 231,000 |
| Lynndale | FACILITY: Central Program Building & Restroom | \$ 8,069,000 |
| Pioneer Park | Play Area Renovation | \$ 837,000 |
| Sprague's Pond Park | Lawn Renovation | \$ 346,000 |
| Wilcox Park | Parking ADA Stalls & Accessible Route (north) | \$ 104,000 |
| Wilcox Park | South Shelter Accessible Route | \$ 15,000 |
| North Lynnwood Park | Lawn Renovation | \$ 1,328,000 |
| Meadowdale Neighborhood Park | Opportunity Zone (Ziplines, Pump Track, Fitness Stations) | \$ 2,143,000 |
| Mesika Forest & Trail | Opportunity Zone South (picnic) | \$ 898,000 |
| Interurban Trail | Environmental Resiliency Projects | \$ 1,143,000 |
| Interurban Trail | Fitness Section Corridor | \$ 947,000 |
| Golf Course Trail | AAA Facility Upgrades and Path Improvements (208th St SW) | \$ 10,039,000 |
| Gold Park | Parking Improvement | \$ 160,000 |
| Daleway Park | Parking & Access Improvements | \$ 418,000 |
| Mesika Forest & Trail | Environmental Resiliency Project: Stream | \$ 2,157,000 |
| Pioneer Park | Opportunity Zone (fitness, dog park) | \$ 691,000 |
| Golf Course Trail | Environmental Resiliency Projects | \$ 483,000 |
| Scriber Lake Park | Environmental Resiliency Projects | \$ 13,913,000 |
| Scriber Lake Park | Neighborhood Access Improvements (NW) | \$ 117,000 |
| Scriber Lake Park | Upland Viewpoint | \$ 616,000 |
| Scriber Lake Park | Wetland viewpoint | \$ 308,000 |
| Scriber Lake Park | Trail Development (Forest) | \$ 5,000 |
| 188th Street Property | Opportunity Zone (Parking, Wetland viewpoints, Trails, Picnicking) | \$ 491,000 |
| Sprague's Pond Park | Opportunity Zone (Picnic Shelter, Restroom Building, Lookout) | \$ 770,000 |
| Sprague's Pond Park | Parking & Access Improvements (East) | \$ 490,000 |
| Town Square | New Park Development | \$ 8,207,000 |
| North Lynnwood Park | Opportunity Zone (play, sport) | \$ 550,000 |
| Daleway Park | Spray & Play Improvements | \$ 1,680,000 |
| Heritage Park | FACILITY: Building Improvements (ADA, Roofs) | \$ 246,000 |
| Heritage Park | Opportunity Zone (terraced seating, picnic lawn, ADA picnic) | \$ 560,000 |
| Spruce Park | Neighborhood Access Improvements | \$ 145,000 |
| Spruce Park | Parking & Access Improvements | \$ 314,000 |
| Pioneer Park | Environmental Resiliency Projects | \$ 54,000 |
| 188th Street Property | Improved Street Crossing | \$ 154,000 |
| Meadowdale Playfields | Synthetic Turf Replacement | \$ 18,018,000 |
| Gold Park | Opportunity Zone (play, placemaking, furnishings) | \$ 700,000 |
| Wilcox Park | Partnership Opportunity Zone School District Property (Trails, Lawn, Sports Field, Parking, Dog Park, Bridge) | \$ 2,413,000 |
| North Lynnwood Park | Environmental Resiliency Projects: Forest | \$ 1,148,000 |

CAPITAL PROJECT COST ESTIMATE (2023) (CON'T)

| Park Location | Proposed Project | Project Cost Estimate (Rounded) |
|-------------------------------|--|---------------------------------|
| Scriber Creek Park | Environmental Resiliency Projects | \$ 77,000 |
| Heritage Park | Wetland Loop Trail | \$ 1,687,000 |
| Rowe Park | Environmental Resiliency Projects | \$ 74,000 |
| 188th Street Property | Environmental Resiliency Projects | \$ 175,000 |
| Gold Park | Environmental Resiliency Projects | \$ 1,338,000 |
| Sprague's Pond Park | Environmental Resiliency Projects | \$ 37,000 |
| Sprague's Pond Park | Neighborhood Access Improvements (West) | \$ 63,000 |
| Wilcox Park | Environmental Resiliency Projects | \$ 133,000 |
| Daleway Park | Neighborhood Access Improvements | \$ 124,000 |
| Daleway Park | Park Shelter | \$ 175,000 |
| Stadler Ridge Park | Parking ADA Stalls & Accessible Route | \$ 159,000 |
| Heritage Park | Park Shelter | \$ 154,000 |
| Lund's Gulch North | Trailhead and Parking Improvements | \$ 1,648,000 |
| Lund's Gulch South | Trailhead and Parking Improvements SE | \$ 103,000 |
| Lund's Gulch South | Trailhead and Parking Improvements SW | \$ 192,000 |
| Spruce Park | Lawn Renovation | \$ 691,000 |
| Meadowdale Playfields | Lighting Replacement | \$ 9,091,000 |
| Daleway Park | Environmental Resiliency Projects | \$ 170,000 |
| Meadowdale Neighborhood Park | Dog Park | \$ 608,000 |
| Heritage Park | Environmental Resiliency Projects | \$ 184,000 |
| Heritage Park | Wetland Overlook | \$ 559,000 |
| South Lynnwood Park | Environmental Resiliency Projects | \$ 1,068,000 |
| South Lynnwood Park | Neighborhood Access Improvements | \$ 63,000 |
| Spruce Park | Environmental Resiliency Projects | \$ 49,000 |
| Lynndale | Little League Complex (field, parking, access) | \$ 6,126,000 |
| Lynndale | Parking and Access Improvements (SW) | \$ 946,000 |
| Lynndale | Trail Development | \$ 9,000 |
| Meadowdale Playfields | Parking Access and Improvements (NW) | \$ 472,000 |
| Meadowdale Playfields | Trail Development | \$ 10,000 |
| Wilcox Park | Historic 196th Bridge Rehabilitation | \$ 9,109,000 |
| Daleway Park | Lawn Renovation | \$ 1,328,000 |
| Daleway Park | Opportunity Zone (volleyball, play) | \$ 21,000 |
| Daleway Park | Stormwater Improvements | \$ 424,000 |
| Lynndale | Dog Park Illumination | \$ 139,000 |
| Lynndale | Tennis Court Renovation and Illumination | \$ 1,237,000 |
| Meadowdale Playfields | Environmental Resiliency Projects | \$ 271,000 |
| Meadowdale Playfields | Improved Street Crossing and Entrance | \$ 61,000 |
| Meadowdale Neighborhood Park | Environmental Resiliency Projects | \$ 73,000 |
| Meadowdale Neighborhood Park | Play Area Renovation | \$ 425,000 |
| Stadler Ridge Park | Environmental Resiliency Projects | \$ 49,000 |
| Systemwide | ADA Transition Plan | \$ - |
| Lund's Gulch North | Environmental Resiliency Projects | \$ - |
| Lund's Gulch South | Environmental Resiliency Projects | \$ 912,000 |
| Meadowdale Playfields | Central Access | \$ 164,000 |
| Meadowdale Playfields | Permanent Portable Restroom/Toilet | \$ 308,000 |
| Meadowdale Neighborhood Park | Remote Control Crawler Course | \$ 62,000 |
| Stadler Ridge Park | Play Area Addition | \$ 132,000 |
| Stadler Ridge Park | Permanent Portable Restroom/Toilet | \$ 52,000 |
| Lynndale | Environmental Resiliency Projects | \$ 1,401,000 |
| Lynndale | Skate Park Renovation and Expansion | \$ 821,000 |
| Meadowdale Playfields | Dugout Covers | \$ 411,000 |
| Off Leash Dog Park [TBD] | Locate and develop dog park [location TBD] | \$ 250,000 |
| Scriber Creek Trail Extension | Trail Expansion (Lund's Gulch South to Wilcox Park) Alignment Planning | \$ 500,000 |
| Systemwide | Deferred Maintenance | \$ - |
| Tunnel Creek Trail | Develop trail on ESD Property above 33rd Place West | \$ 14,000 |
| Systemwide | Signage Package | \$ 944,000 |
| Systemwide | Strategic Parkland Acquisition | \$ 6,000,000 |
| | | \$ 153,167,000 |

DATE: October 27, 2023

TO: Mithun

FROM: ECONorthwest

SUBJECT: Funding Options for Parks and Recreation in Lynnwood

Funding Options for Parks and Recreation in Lynnwood

Local Funding Options

The City of Lynnwood has access to several local funding options that can be used to support its Parks, Recreation, and Cultural Arts Department. Potential sources are listed below, although discussions with City leadership will help determine the applicability and usage of revenue sources for growing, developing, and maintaining its parks, recreation, and cultural arts program.

These options are organized under the following categories:

- **Debt options:** These options require the city to use its existing debt capacity to fund projects. These debt options are not necessarily “new funds” to the city since the debt service of these funds must be paid back from some form of tax revenue.
- **Available city taxes:** Cities in Washington have certain general (e.g., no limitations on uses of funds) and dedicated funding sources available for use.

Debt Options

Councilmanic Bonds

The Councilmanic bonds may be sold by cities without public vote and are retired with payments from existing city revenue or new general tax revenue. The state constitution has set a maximum debt limit for councilmanic bonds of 1.5 percent of the value of taxable property in the city.

General Obligation Bonds

Cities and counties have the authority to borrow money by selling bonds to fund capital projects, such as land acquisitions or facility construction. General Obligation Bonds require a 60-percent majority vote at a general or special election, and—if approved—an excess property tax is levied each year for the life of the bond to pay both principal and interest. The state constitution limits total debt of 5 percent of the total assessed value of property in the jurisdiction.

Available City Taxes

Excess Levy (One Year Only)

Cities and counties that are levying their statutory maximum rate can ask voters to raise their rate for one year at any special election date.¹ The excess levy is not subject to the regular levy’s aggregate \$5.90 and one-percent rate limits. The excess levy requires a voter approval of 60 percent of 40 percent of those voting in the last general election.²

Regular Property Tax (Levy Lid lift)

Cities are authorized to impose ad valorem taxes upon real and personal property. A levy lid lift is an instrument for increasing property tax levies for operating and/or capital purposes, if approved by the majority of voters.

- Taxing districts with a tax rate that is less than their statutory maximum rate may ask the voters to “lift” the levy lid by increasing the tax rate to some amount equal to or less than their statutory maximum rate.
- The lift can be either single-year or multi-year. In a multi-year lift, the levy lid can be increased up to six years, and implementing such a lift requires an election in either the August primary or the November general election.

Sales Tax (Public Facility Option)

The sales tax is a percentage of the retail price charged for specific classifications of goods and services within the State of Washington.³

- Cities and counties may impose local option sales taxes within their boundaries at a rate set by state statute and local ordinances, and the revenue may be used to fund essential county and municipal services. The city currently takes both the basic and local option sales tax.
- Counties and cities may form public facilities districts and ask voter approval on up to 0.2 percent of the proceeds for financing, designing, acquisition, construction, equipping, operating, maintaining, remodeling, repairing, and reequipping its public facilities and certain recreational facilities.

The City of Lynnwood’s current sales tax rate is 10.6 percent, with 9.4 cents of every dollar going to the City. The largest share of that dollar, 61.3 cents, goes to the state, 13.2 cents to RTA/Sound Transit, 11.3 cents to Community Transit, and the remainder to Snohomish County and other uses.⁴

¹ RCW 84.52.052

² Washington State Constitution, Art. VII, Sec. 2(a)

³ Chapter 82.14 RCW

⁴ City of Lynnwood, accessed through: <https://www.lynnwoodwa.gov/Government/Departments/Finance/Treasury>

Business and Occupation Tax

Business and Occupation (B&O) taxes are excise taxes levied on different classes of businesses to raise revenue. Businesses are put in different classes such as manufacturing, wholesaling, retailing, and services, with potentially varying rates.

- Cities can impose this tax for the first time or raise rates following a referendum.
- B&O taxes are limited to a maximum tax rate at 0.2 percent, but cities may levy a rate higher than 0.2 percent, if it is approved by a majority of voters.

The City of Lynnwood does not have a local B&O tax, but does levy a business license fee of \$93 per employee working more than 15 hours per week for nonresidential uses.

Admissions Tax

An admissions tax is a use tax for entertainment that can be imposed by both cities and counties.⁵

- Cities and/or counties may levy an admission tax in an amount no greater than 5 percent of the admission charge, as is authorized by statute.
- If a city imposes an admissions tax, the county may not levy a tax within city boundaries.
- This tax can be levied on admission charges (including season tickets) to places such as theaters, dance halls, circuses, clubs that have cover charges, observation towers, stadiums, and any other activity where an admission charge is made to enter the facility.

The City of Lynnwood has an admissions tax of \$0.05 for each ticket sold.

Impact Fees

Cities and counties are allowed to charge development impact fees on residential and commercial development activity to help pay for certain public facility improvements including parks, open space, and recreation facilities identified in the City's capital facilities plan.⁶ The fees must be spent or encumbered within ten years of collection. The city currently levies transportation and park impact fee on both residential and commercial development.

Real Estate Excise Tax (REET)

Cities and counties may impose a tax on sales of real estate, measured by the full selling price, including the amount of any liens, mortgages, and other debts given to secure the purchase.⁷ The city currently employs both quarters of the 0.50 percent local option REET.

⁵ RCW 35.21.280

⁶ RCW 82.02.050

⁷ RCW 82.46.010

- *The first quarter percent REET* (REET 1) is limited to capital projects listed in the city's capital facilities plan element of their comprehensive plan, which includes planning, acquisition, construction, reconstruction, repair, replacement, rehabilitation, or improvement of parks, recreational facilities, and trails.
- *The second quarter percent REET* (REET 2) must also be spent on capital projects, but the acquisition of land for parks is not a permitted use of REET 2. Both REET 1 and REET 2 may be used to make loan and debt service payments on projects that are a permitted use of these funds.

Lodging Tax

Cities and counties may impose the lodging tax as a user fee for hotel/motel occupation.⁸

- Cities and/or counties may impose a two-percent tax on all charges for furnishing lodging at hotels, motels, and similar establishments for a continuous period of less than one month. Jurisdictions may levy an additional tax of up to two percent, or a total rate of four percent, under RCW 67.28.181(1). If both a city and the county are levying this tax, the county must allow a credit for any tax levied by a city so that no two taxes are levied on the same taxable event.
- These revenues must be used solely for paying for tourism promotion and for the acquisition and/or operating of tourism-related facilities.

The City of Lynnwood currently levies a lodging tax of 12.5 percent, plus a \$2 surcharge per night.

Gambling Excise Tax

The state of Washington does not collect a gambling tax, but local cities, counties, or towns may impose the gambling excise tax as a use tax on gambling receipts.⁹ Tax rates are dependent upon the type of activity and range from 2 percent to 20 percent of gross or net receipts. The City of Lynnwood currently levies a 5-percent gambling tax. Gambling tax revenues must first be used for gambling law enforcement purposes to the extent necessary for that city. The remaining funds may be used for any general government purpose.

Conservation Futures Tax

The Conservation Futures Tax (CFT) in Snohomish County imposes a levy at a rate of \$0.0625 per \$1,000 assessed value for the purpose of acquiring interests, or rights, in real property for the preservation of open space, farm and agricultural land, and timber land for preservation for public use by either the county or the cities within the county. Funds are allocated to projects

⁸ RCW 67.28.180

⁹ RCW 9.46.110

annually by the County Council using the recommendation by the Conservation Futures Program Advisory Board grant awards.¹⁰

Federal Grants and Conservation Programs

State and federal advocacy has played a pivotal role for local governments as constrained general fund resources have required increased reliance on direct appropriations and securing grants, both for capital improvements and resources to fund ongoing operations and maintenance of those assets. These advocacy efforts include building relationships with legislators and other government officials and educating them about the kinds of projects and programs such funding will enable. By engaging with different levels of government, municipalities can access vital funding, expertise, and support to implement essential projects, improve infrastructure, and enhance the overall well-being of their constituents, fostering a collaborative and coordinated approach to addressing regional challenges.

Rivers, Trails, and Conservation Assistance Program

The Rivers, Trails, and Conservation Assistance program (NPS-RTCA) by the National Park Service offers support to local conservation and outdoor recreation initiatives across the United States. NPS-RTCA aids communities and public land stewards in the development or restoration of parks, conservation areas, rivers, wildlife habitats, and the establishment of outdoor recreation opportunities and initiatives to engage future generations with the outdoors.

NPS-RTCA does not provide financial grants, but it offers professional services to help organizations realize their vision for conservation and outdoor recreation projects. Community groups, nonprofit organizations, tribal governments, national parks, and local, state, and federal agencies can apply for technical assistance, including assistance on helping to identify potential funding sources. Service is typically one to two years in length and may extend longer depending upon the complexity of the project and available staffing capacity.¹¹

Community Development Block Grants

The Department of Housing and Urban Development allocates yearly Community Development Block Grants (CDBG) using a predetermined formula to states, counties, and cities. Cities with populations of at least 50,000 are entitled to receive annual grants directly. As a city with a population under 50,000, Lynnwood is considered a non-entitlement community, so must be assisted by the County or State, who disburses the funds. The primary objective of the CDBG grant program is to foster sustainable urban communities by offering adequate housing, suitable living conditions, and enhancing economic prospects, especially for

¹⁰ Chapter 84.34 RCW

¹¹ National Park Service. Rivers, Trails, and Conservation Assistance program (NPS-RTCA). Accessed through: <https://www.nps.gov/orgs/rtca/index.htm>

individuals with low to moderate incomes. These block grants have historically supported projects such as the construction and revitalization of public amenities like community centers, parks, and playgrounds in underprivileged areas.

CDBG funds can be used for a wide variety of public service projects that benefits low to moderate income groups and are consistent with the Snohomish County Urban County Consortium Housing and Community Development 2020-2024 Consolidated Plan.¹²

North American Wetlands Conservation Act Grants Program

The U.S. Standard Grants Program is a competitive program that provides matching grants to public-private partnerships undertaking projects within the United States that align with the objectives outlined in the North American Wetlands Conservation Act (NAWCA).

These projects are generally focused on the long-term safeguarding, restoration, or improvement of wetlands and the associated upland habitats, ultimately benefiting migratory birds linked with wetlands. The North American Wetlands Conservation Act of 1989 extends this support to organizations and individuals engaged in collaborative efforts for wetland conservation in the United States, Canada, and Mexico, specifically aiming to aid wetlands-linked migratory birds and other wildlife.

The program encompasses two competitive grant streams: the Standard Grants Program, operating across Canada, the United States, and Mexico, and the Small Grants Program, exclusive to the United States. Both programs necessitate matching partner contributions at a minimum 1-to-1 ratio with federal funds not eligible for matching. The Standard Grants Program emphasizes comprehensive projects aimed at the protection, restoration, and enhancement of wetlands and associated uplands habitats in the three participating countries. Conversely, the Small Grants Program, while following the same selection criteria and administrative guidelines, focuses on smaller-scope projects within the United States. These projects are generally smaller in size and scope, with grant requests capped at \$100,000. Priority in funding is given to new grantees or partners engaging with the Act's Grants Program for the first time.¹³

Outdoor Recreation Legacy Partnership Program

Funded through the Land and Water Conservation Fund, the Outdoor Recreation Legacy Partnership (ORLP) program was established in 2014 as a nationally competitive program providing grant assistance to economically disadvantaged urban communities with limited access to publicly available outdoor recreation. Selected by the National Parks Service Director,

¹² Snohomish County. CDBG Public Services Applications. Accessed through: <https://snohomishcountywa.gov/695/CDBG-Public-Services-Applications>

¹³ U.S. Fish & Wildlife Service. North American Wetlands Conservation Act (NAWCA) Grants: US Standard. Accessed through: <https://www.fws.gov/service/north-american-wetlands-conservation-act-nawca-grants-us-standard>

projects may include acquisition, development, or rehabilitation of public parks and other outdoor recreation spaces and supporting infrastructure, with a 50-percent match requirement.¹⁴

The application period for the sixth grant cycle closed in May of 2023. Reportedly, the NPS was anticipating opening a new application cycle in the fall of 2023, although no announcement has been made at the time of this writing.

State Grants and Conservation Programs

Established in 1964 under the Marine Recreation Land Act, the Washington State Recreation and Conservation Office (RCO) has a mandate to allocate funds to state and local agencies, usually on a matching basis. These funds support the acquisition, development, and improvement of wildlife habitat and outdoor recreation properties with a portion of funds set aside for planning grants. The RCO grant programs draw from a diverse funding pool, historically including sources such as the Federal Land and Water Conservation Fund, state bonds, Initiative 215 funds, off-road vehicle funds, the Youth Athletic Facilities Account, and the Washington Wildlife and recreation Program.¹⁵ Specific programs are listed in Exhibit 1.

Exhibit 1. Recreation and Conservation Office Grant Programs

Source: Washington State Recreation and Conservation Office

| Recreation and Conservation Office Grant Programs | Description |
|---|--|
| Local Parks Maintenance Grants (LPM) | The LPM provides one-time funding through the Washington State Legislature to supplement parks' operating and maintenance budgets with a focus on addressing maintenance backlogs for key facilities in local parks. The grants can be used for maintenance of trails, restrooms, picnic sites, playgrounds, signs, and kiosks. |
| Washington Wildlife and Recreation Program (WWRP) | The WWRP is divided into Habitat Conservation and Outdoor Recreation Accounts from which cities, counties, and other local entities may apply for funding in urban wildlife habitat, local parks, trails, and water access categories available on a matching basis. Grant applications are evaluated annually, with the State Legislature authorizing funding for the WWRP project lists. |
| Land and Water Conservation Fund (LWCF) | The Land and Water Conservation Fund (LWCF) offers funding to acquire land and enhance public outdoor amenities such as parks, trails, and wildlife areas. Grants require a 50-percent match, which can be cash or in-kind contributions. The |

¹⁴ National Parks Service, accessed at: <https://www.nps.gov/subjects/lwcf/outdoor-recreation-legacy-partnership-grants-program.htm>

¹⁵ Washington State Recreation and Conservation Office. Investing in Washington's Great Outdoors. Accessed through <https://rco.wa.gov/>

| | |
|--|---|
| | revenue for this grant program is a percentage of the federal revenue generated through the sale or lease of offshore oil and gas resources. |
| National Recreational Trails Program (NRTP) | The National Recreational Trails Program (NRTP) supplies funding for the upkeep of trails and amenities that offer a wilderness access through a variety of activities like hiking, mountain biking, horseback riding, motorcycling, and snowmobiling. Qualifying projects encompass the upkeep and re-direction of recreational trails, establishment of facilities along the trails and at trail entrances, and implementation of programs for environmental education and trail safety with a 20-percent match required. The program is financed through federal gasoline taxes specifically designated for non-highway recreational purposes. |
| No Child Left Inside (NCLI) | The objective of this grant program is to encourage disadvantaged youth to engage with the natural environment. Grants are accessible for programs oriented towards outdoor environmental education, ecology, agriculture, and other activities linked to natural resources. The funding is directed towards assisting underprivileged youth, supporting their academic progress, boosting self-esteem, encouraging personal responsibility, fostering community engagement, enhancing personal well-being, and nurturing an appreciation for nature. Grants are capped at \$150,000, with a 25-percent match. |
| Youth Athletic Facilities (YAF) Program | The Youth Athletic Facilities (YAF) Program supplies grants for the establishment, equipping, maintenance, and enhancement of athletic facilities serving youth and the community. Eligible entities include cities, counties, and recognized nonprofit organizations. A 50-percent match is required, in the form of either cash or in-kind contributions. |
| Puget Sound Acquisition and Restoration Fund | The Salmon Recovery Funding Board provides grants for the acquisition or restoration of lands directly associated with safeguarding or rehabilitating salmon habitats. Projects are expected to showcase a clear positive impact on fish habitats. Although design-focused projects are not obligated to provide a matching amount, acquisition and restoration initiatives require a 15-percent match. Funding for these grants is derived from various sources, including the sale of state general obligation bonds, the federal Pacific Coastal Salmon Recovery Fund, and the state Puget Sound Acquisition and Restoration Fund. |

Other State Resources

In addition to the Washington State Recreation and Conservation Office, there are a range of other state programs and resources with a variety of eligibility requirements. Some of these programs are summarized below in Exhibit 2.

Exhibit 2. Other Washington State Resources

| Resource | Description |
|----------|-------------|
|----------|-------------|

| | |
|--|--|
| <p>Washington State Urban and Community Forestry Program (UCF)¹⁶</p> | <p>The DNR Urban and Community Forestry (UCF) Program offers grants to support the planning, growth and maintenance of trees in Washington’s urban areas.</p> <p>Eligible entities include cities and towns, counties, tribal governments, non-profit organizations, and educational institutions to improve the health of community forests and develop local urban forestry programs. Since 2008, in partnership with the United States Department of Agriculture (USDA), UCF has administered over 200 pass-through grants for tree inventories, tree canopy assessments, urban forestry plans, tree planting, and educational projects, totaling over \$2,600,000.</p> |
| <p>State of Washington Department of Ecology Water Quality Combined Funding Program¹⁷</p> | <p>The Water Quality Combined (WQC) funding program provides annual funding to projects that improve and protect water quality throughout Washington. The program combines state and federal funding sources to provide grants and loans to these projects and also offers technical assistance to applicants.</p> |
| <p>Washington State Department of Transportation Pedestrian & Bicycle Program</p> | <p>The Pedestrian and Bicycle program objective is to improve the transportation system to enhance safety and mobility for people who choose to walk or bike. Often combined with the Safe Routes to School Program, the Pedestrian and Bicyclist Program seeks to eliminate pedestrian and bicyclist fatal and serious injury traffic crashes, increase availability of connected pedestrian and bicyclist facilities that provide low traffic stress and serve all ages and abilities, and increase the number of people that choose to walk and bike for transportation. Both construction projects and development/design projects are eligible for funding.</p> |
| <p>Puget Sound Regional Council¹⁸</p> | <p>The Puget Sound Regional Council helps communities secure federal funding for transportation projects. Currently resources are available through the Infrastructure Investment and Jobs Act which continues or expands core funding for transportation, broadband, water, energy, and the environment, with funding available through 2026.</p> |
| <p>Washington State Transportation Improvement Board¹⁹</p> | <p>The Washington State Transportation Improvement Board (TIB) was established in the 1988 Legislative Session and amended by the 1993 and 1995 Legislatures to fund high-priority projects in communities throughout the state to enhance the movement of people, goods, and services. It is an independent state agency, that administers the Urban Arterial Program; Arterial Preservation Program, Small City Preservation Program; Active Transportation Program; Small City Arterial Program; and Road Transfer Program.</p> |

¹⁶ State of Washington Urban and Community Forestry Program, accessed at <https://www.dnr.wa.gov/urbanforestry>

¹⁷ State of Washington Department of Ecology Water Quality Combined Funding Program, accessed at <https://ecology.wa.gov/about-us/payments-contracts-grants/grants-loans/find-a-grant-or-loan/water-quality-grants-and-loans/wqc-funding-cycle>

¹⁸ Puget Sound Regional Council, accessed at <https://www.psrc.org/our-work/funding>

¹⁹ Washington State Transportation Improvement Board, accessed at <http://www.tib.wa.gov/>

Other Methods & Funding Sources

Metropolitan Park District

Metropolitan park districts can be established to oversee the management, oversight, enhancement, upkeep, and procurement of parks, parkways, and boulevards. Beyond managing existing assets, these districts have the authority to accept and oversee park and recreation lands, as well as equipment transferred by any city or county within the district. The initiation of a metropolitan park district can commence in cities with a population of 5,000 or more through a city council ordinance or a petition. Its creation necessitates majority approval by the voters.²⁰ A metropolitan park district is governed as a separate municipal corporation from the City, and its governing body can be five commissioners elected at the same election as the one creating the district, the legislative authority of the city or county (for a district located entirely within one city or unincorporated area of one county), or representatives appointed by each legislative body (for a district located in multiple cities or counties).²¹

Park and Recreation District

Park and recreational districts can be established to offering recreational activities and facilities for leisure time (such as parks, play areas, swimming pools, golf courses, trails, community centers, gardens, camping sites, boat launches, etc.). The initiation of these districts requires submission of a petition signed by 15 percent of registered voters residing within the proposed district. Following the petition process and review by county commissioners, a proposal for district formation and the election of five district commissioners is presented to the voters of the prospective district during the subsequent general election. After establishment, park and recreational districts maintain the right to propose a regular property tax, annual supplementary property tax levies, and general obligation bonds. To proceed with any of these funding methods, approval from 60 percent of voters and a 40 percent voter turnout are necessary. If approved, the district can impose a standard property tax, not surpassing \$0.60 per \$1,000 of assessed value, for a maximum of six consecutive years.²²

Park and Recreation Service Area (PRSA)

Park and Recreation Service Area’s purpose is to finance, acquire, construct, improve, maintain or operate any park, senior citizen activities center, zoo, aquarium and/or recreation facilities and to provide higher level of park service. They are governed by independent, quasi-municipal corporation, but governed by members of county legislative authority, acting ex

²⁰ Chapter 35.61 RCW

²² Chapter 36.69 RCW

officio. If a city or town included, the PRSA is governed by an interlocal cooperation agreement; if it is a multi-county area then governed by interlocal cooperation agreement.²³

Business Sponsorships, Private Grants, Donations & Gifts

Business sponsorships for programs may be available throughout the year, which may include in-kind contributions, including food, door prizes and equipment/material. Additionally, trusts and private foundations may offer financial support for projects related to parks, recreation, and open spaces. Grants from these entities are typically distributed through a competitive application process and exhibit significant variation in size, depending on the financial capacity and funding criteria of the organization. Project funding can also come from philanthropic contributions, which may involve direct monetary donations or contributions through various channels like wills or insurance policies. Community-driven fundraising initiatives can also contribute to funding for park, recreation, or open space facilities and projects. One example is the Community Foundation of Snohomish County's program which extends support through small grants ranging from \$500 to \$5,000 for eligible nonprofit organizations (501(c)(3)) or public agencies, including local government, schools, libraries, or parks.

Among the many entities with whom the City of Lynnwood partners, Lynnwood Parks & Recreation Foundation was established as a charitable 501(c)(3), with a mission "To preserve, sustain, safeguard and create a living historical site that honors the past of the original Lynnwood park community, while uplifting our future."²⁴ Staff reports that the foundation partners with the city to secure grants, serve as a fiscal agent, and fundraise to support parks programs. In addition, the city regularly seeks grants from the National Recreation and Park Association (NRPA),²⁵ the Robert Wood Johnson Foundation,²⁶ and the Hazel Miller Foundation.²⁷ These organizations, with their focus on parks, recreation, and conservation (NRPA), health (Robert Wood Johnson Foundation), and South Snohomish County (Hazel Miller Foundation), are particularly well-suited to support Lynnwood's programs and assets.

Interagency Agreements

State law provides for interagency cooperative efforts between units of government. Joint acquisition, development and/or use of park and open space facilities may be provided between Parks, Public Works, utility providers, and other entities.

²³ RCW 36.68.400

²⁴ Lynnwood Parks & Recreation Foundation, accessed at <https://lynnwoodparksfoundation.org/>

²⁵ National Recreation and Park Association, accessed at <https://www.nrpa.org/>

²⁶ Robert Wood Johnson Foundation, accessed at <https://www.rwjf.org/>

²⁷ Hazel Miller Foundation, accessed at <https://www.hazelmillerfoundation.org/>

Acquisition Tools & Methods

Direct Purchase Methods

Market Value Purchase

The city may purchase land at the present market value based on an independent appraisal through a written purchase and sale agreement. Timing, payment of real estate taxes, and other contingencies are all individually negotiable.

Partial Value Purchase (or Bargain Sale)

A bargain sale involves a landowner selling their property to a charitable organization at a price below its fair market value. This method is personalized and distinct, suitable for landowners deeply connected to their community, displaying civic pride, or with concerns regarding capital gains. Besides receiving cash upon closure, the landowner may qualify for a charitable income tax deduction, calculated based on the disparity between the land's fair market value and the actual sale price. This approach is often chosen when a landowner aims to make a charitable contribution while simultaneously raising needed funds. Bargain sales present an opportunity for effective tax planning in collaboration with a charitable organization.

Life Estates & Bequests

If a landowner intends to reside on the property for an extended duration, or potentially until their passing, there are various modified sale agreements available. One such arrangement is a life estate agreement, where the landowner can continue residing on the property by contributing a remainder interest and retaining a "reserved life estate." Essentially, the landowner donates or sells the property to the city while reserving the right for themselves or a specified individual to inhabit and use the property. When the owner or other specified person dies or releases his/her life interest, complete ownership and authority over the property are then transferred to the city. Donating a remainder interest may render the landowner eligible for a tax deduction at the time of the donation. Conversely, in a bequest, the landowner designates in a will or trust document that the property will be passed on to the city upon their demise. While a life estate provides the city with a certain level of title control during the landowner's lifetime, a bequest does not. Without prior disclosure and acknowledgment by the city regarding the intent to bequeath, there are no assurances regarding the property's condition upon transfer or any potential associated liabilities.²⁸

²⁸ Washington State Health Care Authority. Life estates. Accessed through: <https://www.hca.wa.gov/free-or-low-cost-health-care/i-help-others-apply-and-access-apple-health/life-estates>

Gift Deed

If a landowner intends to leave their property to a public or private entity upon their passing, they can formalize this intention by registering a gift deed with the county assessor's office. This document acts as a clear indication of the landowner's wish to include the intended beneficiary in their estate property transfer. Typically, the registration of the gift deed is done with the implicit agreement of the recipient.

Option to Purchase Agreement

This binding contract between a landowner and the city is applicable as per the conditions outlined in the option and restricts the seller from retracting their offer. Once in effect and signed, the Option Agreement can be activated on a specified future date or upon the fulfillment of specified conditions. These agreements can have varying durations and encompass all the necessary terms related to concluding a property sale.

Right of First Refusal

In this agreement, the landowner grants the city the initial opportunity to purchase the property if the landowner decides to sell. The agreement does not stipulate the sale price for the property, allowing the landowner to decline the city's offer. This type of agreement represents the least binding form of agreement between an owner and a potential buyer.

Conservation and/or Access Easements

Through a conservation easement, a landowner willingly agrees to sell or donate specific rights associated with their property, often related to development or subdivision, to a private organization or public agency. The entity holding the easement enforces the landowner's commitment not to exercise these rights, effectively extinguishing them. It is a legal pact between the landowner and the city, permanently restricting land use to conserve a portion of the property for public use or protection. The landowner retains ownership, but usage is limited. Conservation easements may lead to income tax deductions and reduced property and estate taxes. Typically, this approach is employed to designate trail corridors or strategically protect natural resources and habitat. In a written purchase and sale agreement, the city acquires land at its current market value, determined through an independent appraisal. The timing, payment of real estate taxes, and other contingencies are subject to negotiation.

Park or Open Space Dedication Requirements

Local governments have the option to mandate developers to set aside land for parks under the State Subdivision Law and the State Environmental Policy Act (SEPA).²⁹ According to the subdivision law, developers can be compelled to provide park or recreation enhancements or pay a fee instead of dedicating the land and its improvements. Under SEPA requirements, land dedication can be part of the mitigation for the potential impact of a proposed development.

Landowner Incentive Measures

Density Bonuses

Density bonuses serve as a strategic planning technique employed to promote various public land use goals, primarily in urban settings. They provide an inducement by permitting development at densities surpassing existing regulations in a specific location, while in return, requiring certain concessions. Typically applied to an individual plot or development, density bonuses incentivize developers, especially for multi-family housing units, to construct at elevated densities contingent upon meeting specific requirements such as providing a designated number of affordable housing units or public open spaces. Effective implementation of density bonuses relies on market dynamics supporting higher densities compared to prevailing regulations.

Transfer of Development Rights

The process of transferring development rights (TDR) is an incentivized planning approach in which property owners exchange the authorization to fully develop a piece of land in one location with the privilege to exceed prevailing regulations in another area. Local authorities can designate zones for constrained or limited development and others where development beyond established regulations is permissible. Typically, though not exclusively, the properties designated as "sending" and "receiving" are owned by the same entity. Certain programs facilitate transactions between different owners, effectively creating a marketplace for the buying and selling of development rights.

IRC 1031 Exchange

An IRC Section 1031 Exchange can facilitate the exchange of like-kind property solely for business or investment purposes if the landowner owns business or investment property. No capital gain or loss is recognized under Internal Revenue Code Section 1031. This option may be

²⁹ Ch. 58.17 RCW and Ch. 43.21C RCW

a useful tool in negotiations with an owner of investment property, especially if the tax savings offset to the owner can translate to a sale price discount for the City.

Current (Open Space) Use Taxation Programs

Property owners whose current lands are in open space, agricultural, and/or timber uses may have that land valued at their current use rather than their “highest and best” use assessment. This differential assessed value, allowed under the Washington Open Space Taxation Act helps to preserve private properties as open space, farm, or timber lands.³⁰ If land is converted to other non-open space uses, the land owner is required to pay the difference between the current use annual taxes and highest/best taxes for the previous seven years. When properties are sold to a local government or conservation group for the purpose of land conservation or preservation, the customary obligation to pay seven years' worth of varied tax rates is exempted. This tax liability can be integrated into the negotiated land acquisition process for transitioning from private to public or semi-public conservation purposes. Snohomish County administers this reduction in property tax as an encouragement for landowners to willingly safeguard open spaces, farmlands, or timberlands on their properties.³¹

³⁰ Ch.84.34 RCW

³¹ Snohomish County Washington. Open Space & Designated Forest Land Programs. Accessed through: <https://snohomishcountywa.gov/3074/Open-Space-Designated-Forest-Land-Progra>

Other Land Protection Options

Land Trust & Conservancies

Land trusts are non-profit organizations that specialize in obtaining and safeguarding special open spaces. Typically independent of government agencies, they play a vital role in conservation efforts. Forterra is a prominent regional land trust serving the Lynnwood vicinity. Their endeavors have resulted in the preservation of over 275,000 acres of diverse landscapes, including forests, farms, shorelines, parks, and natural spaces in the region over 100+ community focused projects.³² Additionally, there are national organizations like the Nature Conservancy, Trust for Public Land, and the Wetlands Conservancy, all of which have local branches contributing to conservation efforts.

Regulatory Measures

There are a variety of regulatory measures protect land, including: Critical Areas Ordinance, Lynnwood; State Environmental Policy Act (SEPA); Shorelines Management Program; and Hydraulic Code, Washington State Department of Fisheries and Department of Wildlife.

Public/Private Utility Corridors

Utility corridors can provide protection or enhancement of open space lands, with proper management. Utilities maintain corridors for provision of services such as electricity, gas, oil, and rail travel. Some utility companies have collaborated with local authorities to create public initiatives like parks and trails within utility corridors.

³² Forterra Land for Good. Accessed through: www.forterra.org

DATE: September 26, 2023
 TO: Sarah Olson, Deputy Director, Lynnwood Parks, Recreation & Cultural Arts
 FROM: ECONorthwest
 SUBJECT: City of Lynnwood Revenue Forecast

Intro/Overview

ECONorthwest created a 10-year Park Revenue Forecast for the City of Lynnwood for the 2016 PARC Plan. This memo updates that City Revenue Forecast based on the population and employment forecasts provided by the City’s Development and Business Services Department and other information provided by City Finance and Parks, Recreation, and Cultural Arts Department (PRCA) staff. This update uses that information to create this Park Revenue forecast which seeks to forecast revenue from 2024 to 2036. This memo provides an overview of the Comprehensive Plan requirements and resulting forecast alternative scenarios, the process for updating the fiscal model, and the resulting revenue projections.

Growth Projections

The City of Lynnwood is currently updating its Comprehensive Plan which projects growth as required by the Washington Growth Management Act. The City provided the growth projection alternatives being evaluated for the comprehensive plan to ECONorthwest for this analysis. The projections are based on the future population and employment growth estimates in the City of Lynnwood which provide a range of outcomes based on the potential rate of growth based on three alternative development scenarios. These population and employment projections were translated to housing units and jobs and distributed geospatially, to help determine the areas of the city with the potential to realize the most growth.

Population, Housing, and Employment Projections

Lynnwood’s Comprehensive Plan is designed to accommodate population and employment growth targets as allocated by Snohomish County. These allocations rely on base levels of population and employment as well as an analysis of buildable land capacity. The Comprehensive Plan Land Use Forecasts prepared earlier this year use 2020 housing, population, and employment as a baseline. This work relies in part on data that predates the Covid-19 pandemic.

ECO utilized three alternative scenarios as developed for the Lynnwood Comprehensive Plan:

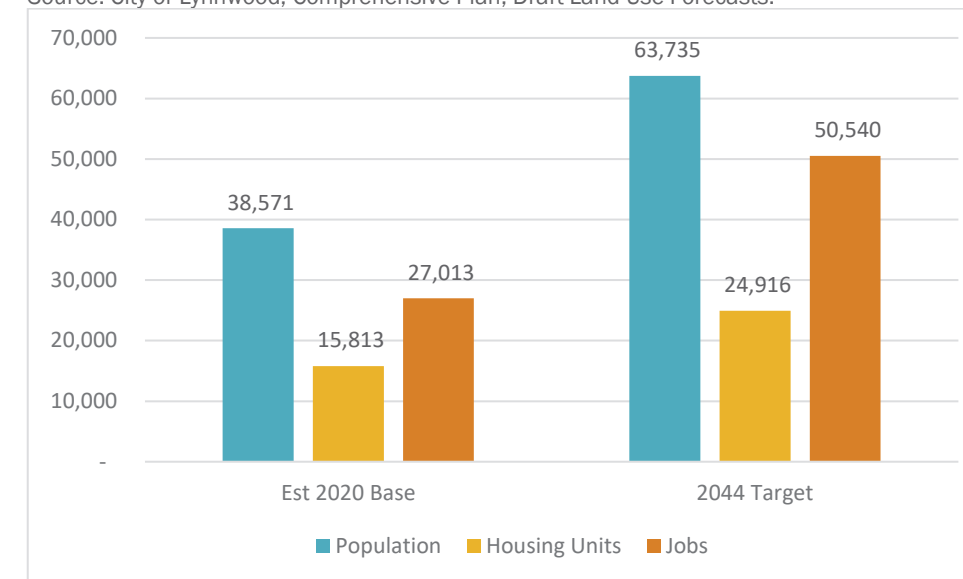
- Alternative 1 – No Action Scenario: What would happen and how changes would occur without adoption of City Center and Alderwood Plan. This alternative represents population growth of 1.68 percent annually to year 2044.

- Alternative 2 – Concentrated Growth Scenario: What would happen if more growth is concentrated in the City Center and Alderwood Regional Growth Center. This alternative represents population growth of 2.12 percent annually to year 2044.
- Alternative 3 – Dispersed Growth Scenario: What would happen if growth is more dispersed across the city (more in Highway 99 Corridor, College District, and elsewhere). This alternative represents population growth of 2.13 percent annually to year 2044.

Growth Target

The Lynnwood Comprehensive Plan allocates the population, housing, and employment growth according to the three alternative scenarios. The land use forecasts show target levels of population, housing units, and employment by year 2044 of 63,735 persons, 24,914 households, and 50,540 jobs, as shown in Figure 1.

Figure 1
Population, Housing, and Jobs, 2020 Base Year and 2044 Comp Plan Forecast Target Levels
 Source: City of Lynnwood, Comprehensive Plan, Draft Land Use Forecasts.



ECONorthwest applied a constant annual growth rate to the three alternative forecasts and a five-percent vacancy rate for translating the population to housing units. After doing so, two of the three alternatives developed for the Comprehensive Plan result in total population, households, and employment that achieve Lynnwood’s population and employment targets, with Alternative 2’s projections of 63,790 persons in 25,693 housing units and 50,789 jobs, and Alternative 3’s population slightly higher at 64,018 in 25,783 housing units and 50,807 jobs by year 2044. Alternative 1 is expected to fall short of the target rates with only 57,554 persons in 23,485 housing units and just 37,497 jobs as shown in Table 1.

Table 1
Projected Population, Housing, and Employment by Alternative, 2044

Source: ECONorthwest, Census, Puget Sound Regional Council, City of Lynnwood.

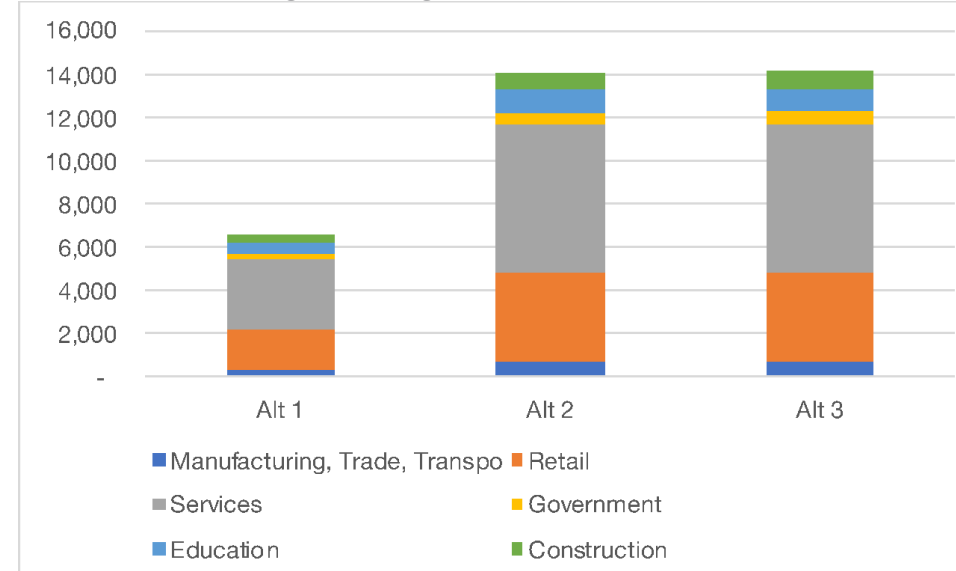
| | 2020 Base | Target | Alt 1 | Alt 2 | Alt 3 |
|---------------|-----------|--------|--------|--------|--------|
| Population | 38,571 | 63,735 | 57,554 | 63,790 | 64,018 |
| Housing Units | 15,813 | 24,916 | 23,584 | 25,693 | 25,783 |
| Jobs | 27,013 | 50,540 | 37,497 | 50,678 | 50,807 |

Employment

ECONorthwest analyzed the employment distribution across broad industry sectors as reported by the Puget Sound Regional Council for allocation of future jobs. As with the 2016 analysis, the sector breakdown of employment growth forecast was assumed to be the same as the city’s base year distribution of jobs. Applying the distribution of jobs by industries of the 2020 base year to future jobs in the 2044 forecast, ECO also applied an assumption of employment density by broad industry type to yield annual development to support that forecast using an annual average growth rate to yield an estimate of jobs forecast by broad industry group, as shown Figure 2.

Figure 2
Projected Employment Growth by Sector by Alternative, 2020-2036

Source: ECONorthwest, Puget Sound Regional Council.



Growth Allocation

ECONorthwest applied the growth alternative scenarios as described in the Comprehensive Plan forecast to projected development. As described in that forecast, Alternative 1 assumes that future development will be similar to recently built development patterns in Lynnwood, including four to six units per acre in single-family zones, 13 to 28 units per acre in multifamily zones, and 141 units per acre in RGC zones (land designated Regional Growth Center, which includes most of the City Center and the area around Alderwood Mall), with the potential for

mixed-use at 129 units per acre. On the commercial side, those projections assume 20,000 square feet of commercial per acre in the RGC zone. As noted, Alternative 1 fails to meet either housing unit or jobs targets.

Alternative 2 assumes more concentrated growth in the City Center and Alderwood neighborhoods, and less growth in the Highway 99 Corridor, College District, or elsewhere, with a key goal of meeting housing, population, an employment targets. A key assumption of this alternative is increased development in mixed-use zones to reach growth targets, particularly employment, with a greater ratio of commercial/employment to residential development to achieve job targets, also assuming office/commercial densities similar to Redmond, WA and residential densities similar to Alternative 1 with a larger share of mixed-use podium developments. The Comprehensive Plan forecast acknowledges that meeting the job targets requires a dramatic change in the assumed type of commercial development, along with some reasonable work-from-home assumptions.

Alternative 3 assumes less growth in the City Center and Alderwood, with more growth in the Highway 99 Corridor, College District, and elsewhere, with a key goal of meeting housing, population and employment targets. It assumes similar development rates in multifamily and mixed-use zones as Alternative 2 to reach targets, particularly for employment. But, it assumes somewhat more redevelopment along Highway 99 for commercial and mixed use, along with more redevelopment in single-family zones as a result of increased middle-housing housing types (duplexes, townhomes, ADUs, and the like). In addition to increased infill housing in neighborhoods, it assumes seven to nine units per acre in single-family zones, 13 to 28 units per acre in multifamily zones including Highway 99, and 130 units per acre in RGC zones. For commercial uses, it assumes 150,000 square feet of commercial per acre in RGC, 40,000 square feet of health care per acre in RGC, and 20,000 to 40,000 square feet of commercial per acre on Highway 99.

Please see the Lynnwood Comprehensive Plan land use forecast documents for additional information on these forecasts.

Revenue Projections

ECONorthwest utilized the annualized development forecast alternatives to develop tax revenue projections based on those alternative growth scenarios. As noted earlier, the City’s Comp Plan forecasts were based on a 2020 base year. However, 2020 tax revenues were severely reduced due to curtailed spending from Covid-19 pandemic-related shut-downs. As such, the City requested a utilization of 2023 budget numbers and for the projection period to be 2024 to 2036.

Like the prior analysis, this model estimates the primary general fund revenue categories of property tax, sales, tax, business license, utility tax, and shared revenues. It also estimates and reports the restricted revenue streams of Park Impact Fees and Real Estate Excise Taxes. It utilizes the same general methodology as the 2016 analysis, but has updated values as appropriate where data are available (i.e., updating the business license fee to the current values, and updating property tax information such as Assessed Value and construction values across the various land uses, as well as updating levy information). It also updates the employee density to be consistent with the density assumptions employed in the Comprehensive Planning work. This

analysis reports all values in current dollars and does not inflate future years or discount those future years to present value.

Tables 2 and 3 show the general fund and restricted revenues as provided by the City and projected by ECO’s fiscal model for the three development alternatives from 2024 through 2036. Because the levels of population and employment supported by the land use forecasts are fairly similar between Alternative 2 and Alternative 3, the projected revenue is also similar between the two alternatives.

Table 2
General Fund Revenue Forecast,
Increase in Funding from Projected Development by Alternative, 2024 to 2036

Source: ECONorthwest and City of Lynnwood.

| | Alternative 1 | Alternative 2 | Alternative 3 |
|-------------------------------------|---------------------|---------------------|---------------------|
| General Fund Revenue Sources | | | |
| Property Taxes | \$4,849,000 | \$7,072,000 | \$7,119,000 |
| Sales Taxes | \$25,133,000 | \$42,117,000 | \$42,358,000 |
| Business Licenses & Permits | \$3,347,000 | \$6,852,000 | \$6,884,000 |
| Utility Taxes | \$8,142,000 | \$12,888,000 | \$12,967,000 |
| Intergovernmental Revenues | \$2,791,000 | \$4,419,000 | \$4,446,000 |
| General Fund Subtotal | \$44,262,000 | \$73,348,000 | \$73,774,000 |

Some line items are one-time charges attributable to new development whereas other line items increase over the planning horizon as development attributed to the plan accumulates over time. For example, the business license income is based on employment supportable in the new development, so its increment begins small at the beginning of the planning horizon, but increasing as development continues. Some line items are impacted in both ways. For example, the largest increase in the general fund line items is expected to be sales taxes. There are two components of sale tax as calculated by the model. The first is the sales taxes generated by the value of the construction, and the second is the ongoing sales tax enabled by new development. The first is dictated by the value of annual development, whereas the second increases as the development accumulates over the planning horizon. The pattern of one-time revenue increases compared to those calculated against development cumulatively is apparent from the year-over-year analysis shown in Appendix 1.

Table 3 shows the restricted revenues as projected by ECO’s fiscal model after applying rates and assumptions provided by the City for the three development alternatives from 2024 through 2036. Similar to the development-driven items in the general fund, these forecasts are driven largely by the land use forecasts which are fairly similar between Alternative 2 and Alternative 3, yielding similar levels of projected revenue between the two alternatives.

Table 3
Restricted Park Revenue Forecast
Increase in Funding from Projected Development by Alternative, 2024 to 2036

Source: ECONorthwest and City of Lynnwood.

| | Alternative 1 | Alternative 2 | Alternative 3 |
|------------------------------------|---------------------|---------------------|---------------------|
| Restricted Revenues | | | |
| Park Impact Fee | \$20,536,000 | \$29,951,000 | \$30,152,000 |
| REET Revenue | \$9,541,000 | \$13,915,000 | \$14,009,000 |
| Restricted Revenue Subtotal | \$30,077,000 | \$43,866,000 | \$44,161,000 |

The Park Impact Fee is a one-time charge on new development. For all alternatives, this analysis assumes that 90 percent of new housing development will be multi-family although it is acknowledged that this proportion may vary somewhat based on land use patterns across the different alternatives. And the REET (Real Estate Excise Tax), is calculated for the initial sale of new development and on subsequent sales, as estimated by a 2.5 percent turnover sale rate, as estimated based on prior observations in Lynnwood and other similar communities.

Conclusion

In all, the general fund revenues and restricted fund revenues are expected to generate between \$74M and \$118M from for the planning horizon of 2024 to 2036, with annual revenues of approximately \$4M to \$11.7M, depending on the year and Alternative land use forecast, as shown in Table 4 below.

Table 4
Summary of General Fund and Restricted Revenues by Alternative, 2024-2036

Source: ECONorthwest and City of Lynnwood.

| | Alternative 1 | Alternative 2 | Alternative 3 |
|-------------------------------------|---------------------|----------------------|----------------------|
| General Fund Revenue Sources | | | |
| Property Taxes | \$4,849,000 | \$7,072,000 | \$7,119,000 |
| Sales Taxes | \$25,133,000 | \$42,117,000 | \$42,358,000 |
| Business Licenses & Permits | \$3,347,000 | \$6,852,000 | \$6,884,000 |
| Utility Taxes | \$8,142,000 | \$12,888,000 | \$12,967,000 |
| Intergovernmental Revenues | \$2,791,000 | \$4,419,000 | \$4,446,000 |
| General Fund Subtotal | \$44,262,000 | \$73,348,000 | \$73,774,000 |
| Restricted Revenues | | | |
| Park Impact Fee | \$20,536,000 | \$29,951,000 | \$30,152,000 |
| REET Revenue | \$9,541,000 | \$13,915,000 | \$14,009,000 |
| Restricted Revenue Subtotal | \$30,077,000 | \$43,866,000 | \$44,161,000 |
| Grand Total | \$74,339,000 | \$117,214,000 | \$117,935,000 |

A key challenge for Parks will be keeping up generally with operations and maintenance as the population and park system continues to grow. Some of the maintenance currently deferred in the Lynnwood Park system is summarized in Table 5.

Table 5
City of Lynnwood Deferred Maintenance Estimate by Park Asset

Source: SiteWorks

| Park/Trail | Previous Deferred Maintenance (2015) 2015 Dollars | Previous Deferred Maintenance (2015) 2023 Dollars | New Deferred Maintenance (2022) 2023 Dollars | Total 2023 Dollars |
|------------------------------|---|---|--|---------------------|
| Daleway Park | \$139,000 | \$191,820 | \$450 | \$192,270 |
| Gold Park | \$8,000 | \$11,040 | \$320 | \$11,360 |
| Golf Course Trail | \$11,000 | \$15,180 | \$520 | \$15,700 |
| Heritage Park | \$38,000 | \$52,440 | \$1,346 | \$53,786 |
| Interurban Trail | \$90,000 | \$124,200 | \$7,862 | \$132,062 |
| Lynndale Park | \$3,295,500 | \$4,547,790 | \$12,396 | \$4,560,186 |
| Maple Mini Park | \$31,000 | \$42,780 | \$5,760 | \$48,540 |
| Meadowdale Neighborhood Park | \$94,000 | \$129,720 | \$9,756 | \$139,476 |
| Meadowdale Playfields | \$75,000 | \$103,500 | \$360 | \$103,860 |
| Mesika Trail | \$20,000 | \$27,600 | \$1,012 | \$28,612 |
| North Lynnwood Park | \$270,000 | \$372,600 | \$1,564 | \$374,164 |
| Pioneer Park | \$123,500 | \$170,430 | \$360 | \$170,790 |
| Scriber Creek Park | \$78,000 | \$107,640 | \$8,010 | \$115,650 |
| Scriber Lake Park | \$3,108,000 | \$4,289,040 | \$17,060 | \$4,306,100 |
| Scriber Creek Trail* | - | - | - | - |
| South Lynnwood Park** | \$209,750 | \$42,780 | \$0 | \$42,780 |
| Sprague's Pond Mini Park | \$30,000 | \$41,400 | \$126,278 | \$167,678 |
| Spruce Park | \$51,000 | \$70,380 | \$160 | \$70,540 |
| Stadler Ridge Park | \$8,700 | \$12,006 | \$1,080 | \$13,086 |
| Veterans Park | \$18,000 | \$24,840 | \$40 | \$24,880 |
| Wilcox Park | \$176,500 | \$243,570 | \$26,700 | \$270,270 |
| Total | \$7,874,950 | \$10,620,756 | \$221,034 | \$10,841,790 |

Notes

* Scriber Creek Trail is currently under construction and was not assessed in 2022.

** South Lynnwood Park was recently (2022) renovated. The renovations addressed the previously identified deferred maintenance actions, except the northern right-of-way pathway and invasive species removal in the woodland area. As such, while the 2015 cost estimate for these actions is provided above for reference purposes, these estimated costs have not been escalated to 2023 dollars except for the two items identified previously, nor have they been included in the total deferred maintenance cost estimate for the park.

New Deferred Maintenance is based on the field assessment that was completed in September 2022. This assessment captures a snapshot or moment in time of current park conditions and may not be indicative of longer-term park-specific and/or system-wide deferred maintenance needs.

Previous Deferred Maintenance does not include ADA enhancements that were identified during the 2015 planning process. It also does not include actions that have been completed since the original list was compiled (per input and directive from Lynnwood PRCA).

A total escalation rate of 38% was applied to the 2015 deferred maintenance costs to update costs from 2015 to 2023 dollars. From 2015 to 2021, an annual 4% escalation rate was used (6 years at 4%). A 6% and 8% escalation rate was applied for 2022 and 2023, respectively.

All deferred maintenance costs are order of magnitude costs for planning purposes only. Previous Deferred Maintenance costs only include construction costs and do not include softs costs, permitting, or taxes (as noted in the 2015 estimate).

New Deferred Maintenance costs include both material and labor costs, but not soft costs, permitting, or taxes (where potentially applicable). As noted above, all costs are provided in 2023 dollars.

Based on the forecast needs of the PRCA Department’s operations and capital project needs with the City’s expected population, housing, and employment growth, the City will likely need to seek additional revenue sources, not only to pursue the projects on the plan’s project list but also to ensure that operations and maintenance needs are adequately addressed.

Appendix 1 General Fund and Restricted Revenue Forecast, 2024-2036

Source: ECONorthwest and City of Lynnwood.

Incremental Revenues Resulting From Development- Alt1

| Revenue Source | 2024 | 2025 | 2026 | 2027 | 2028 | 2029 | 2030 | 2031 | 2032 | 2033 | 2034 | 2035 | 2036 | Total |
|-------------------------------------|--------------------|--------------------|--------------------|--------------------|--------------------|--------------------|--------------------|--------------------|--------------------|--------------------|--------------------|--------------------|--------------------|---------------------|
| General Fund Revenue Sources | | | | | | | | | | | | | | |
| Property Taxes | \$0 | \$62,000 | \$124,200 | \$186,500 | \$248,900 | \$311,200 | \$373,600 | \$435,800 | \$498,000 | \$559,900 | \$621,600 | \$683,000 | \$744,100 | \$4,849,000 |
| Sales Tax on Construction | \$1,219,500 | \$1,219,500 | \$1,219,500 | \$1,219,500 | \$1,219,500 | \$1,219,500 | \$1,219,500 | \$1,219,500 | \$1,219,500 | \$1,219,500 | \$1,219,500 | \$1,219,500 | \$1,219,500 | \$15,854,000 |
| Ongoing Sales Tax | \$0 | \$119,000 | \$237,900 | \$356,900 | \$475,800 | \$594,800 | \$713,700 | \$832,700 | \$951,700 | \$1,070,600 | \$1,189,600 | \$1,308,500 | \$1,427,500 | \$9,279,000 |
| Ongoing B&O Tax | \$36,800 | \$73,600 | \$110,400 | \$147,100 | \$183,900 | \$220,700 | \$257,500 | \$294,300 | \$331,100 | \$367,800 | \$404,600 | \$441,400 | \$478,200 | \$3,347,000 |
| Utility Taxes | \$38,200 | \$136,200 | \$234,300 | \$332,300 | \$430,300 | \$528,300 | \$626,300 | \$724,300 | \$822,400 | \$920,400 | \$1,018,400 | \$1,116,400 | \$1,214,400 | \$8,142,000 |
| Shared Revenues | \$13,100 | \$46,700 | \$80,300 | \$113,900 | \$147,500 | \$181,100 | \$214,700 | \$248,300 | \$281,900 | \$315,500 | \$349,100 | \$382,700 | \$416,300 | \$2,791,000 |
| Restricted Revenues | | | | | | | | | | | | | | |
| Park Fee - Residential | \$1,147,600 | \$1,147,600 | \$1,147,600 | \$1,147,600 | \$1,147,600 | \$1,147,600 | \$1,147,600 | \$1,147,600 | \$1,147,600 | \$1,147,600 | \$1,147,600 | \$1,147,600 | \$1,147,600 | \$14,919,000 |
| Park Fee - Nonresidential | \$432,100 | \$432,100 | \$432,100 | \$432,100 | \$432,100 | \$432,100 | \$432,100 | \$432,100 | \$432,100 | \$432,100 | \$432,100 | \$432,100 | \$432,100 | \$5,617,000 |
| REET Revenue | \$717,400 | \$735,300 | \$735,300 | \$735,300 | \$735,300 | \$735,300 | \$735,300 | \$735,300 | \$735,300 | \$735,300 | \$735,300 | \$735,300 | \$735,300 | \$9,541,000 |
| Total Incremental Revenues | \$2,887,300 | \$3,236,700 | \$3,586,300 | \$3,935,900 | \$4,285,600 | \$4,635,300 | \$4,985,000 | \$5,334,600 | \$5,684,300 | \$6,033,400 | \$6,382,500 | \$6,731,200 | \$7,079,700 | \$74,339,000 |

Incremental Revenues Resulting From Development- Alt 2

| Revenue Source | 2024 | 2025 | 2026 | 2027 | 2028 | 2029 | 2030 | 2031 | 2032 | 2033 | 2034 | 2035 | 2036 | Total |
|-------------------------------------|--------------------|--------------------|--------------------|--------------------|--------------------|--------------------|--------------------|--------------------|--------------------|--------------------|---------------------|---------------------|---------------------|----------------------|
| General Fund Revenue Sources | | | | | | | | | | | | | | |
| Property Taxes | \$0 | \$90,400 | \$181,100 | \$272,000 | \$363,000 | \$453,900 | \$544,900 | \$635,700 | \$726,300 | \$816,600 | \$906,600 | \$996,200 | \$1,085,300 | \$7,072,000 |
| Sales Tax on Construction | \$1,778,700 | \$1,778,700 | \$1,778,700 | \$1,778,700 | \$1,778,700 | \$1,778,700 | \$1,778,700 | \$1,778,700 | \$1,778,700 | \$1,778,700 | \$1,778,700 | \$1,778,700 | \$1,778,700 | \$23,123,000 |
| Ongoing Sales Tax | \$0 | \$243,500 | \$487,000 | \$730,500 | \$974,000 | \$1,217,600 | \$1,461,100 | \$1,704,600 | \$1,948,100 | \$2,191,600 | \$2,435,100 | \$2,678,600 | \$2,922,100 | \$18,994,000 |
| Ongoing B&O Tax | \$75,300 | \$150,600 | \$225,900 | \$301,200 | \$376,500 | \$451,800 | \$527,100 | \$602,400 | \$677,700 | \$753,000 | \$828,300 | \$903,600 | \$978,900 | \$6,852,000 |
| Utility Taxes | \$78,200 | \$230,400 | \$382,600 | \$534,800 | \$687,000 | \$839,200 | \$991,400 | \$1,143,600 | \$1,295,800 | \$1,448,000 | \$1,600,200 | \$1,752,400 | \$1,904,600 | \$12,888,000 |
| Shared Revenues | \$26,800 | \$79,000 | \$131,200 | \$183,400 | \$235,500 | \$287,700 | \$339,900 | \$392,100 | \$444,300 | \$496,400 | \$548,600 | \$600,800 | \$653,000 | \$4,419,000 |
| Restricted Revenues | | | | | | | | | | | | | | |
| Park Fee - Residential | \$1,419,300 | \$1,419,300 | \$1,419,300 | \$1,419,300 | \$1,419,300 | \$1,419,300 | \$1,419,300 | \$1,419,300 | \$1,419,300 | \$1,419,300 | \$1,419,300 | \$1,419,300 | \$1,419,300 | \$18,451,000 |
| Park Fee - Nonresidential | \$884,600 | \$884,600 | \$884,600 | \$884,600 | \$884,600 | \$884,600 | \$884,600 | \$884,600 | \$884,600 | \$884,600 | \$884,600 | \$884,600 | \$884,600 | \$11,500,000 |
| REET Revenue | \$1,046,300 | \$1,072,400 | \$1,072,400 | \$1,072,400 | \$1,072,400 | \$1,072,400 | \$1,072,400 | \$1,072,400 | \$1,072,400 | \$1,072,400 | \$1,072,400 | \$1,072,400 | \$1,072,400 | \$13,915,000 |
| Total Incremental Revenues | \$4,262,900 | \$4,876,500 | \$5,490,400 | \$6,104,500 | \$6,718,600 | \$7,332,800 | \$7,947,000 | \$8,561,000 | \$9,174,800 | \$9,788,200 | \$10,401,400 | \$11,014,200 | \$11,626,500 | \$117,214,000 |

Incremental Revenues Resulting From Development- Alt 3

| Revenue Source | 2024 | 2025 | 2026 | 2027 | 2028 | 2029 | 2030 | 2031 | 2032 | 2033 | 2034 | 2035 | 2036 | Total |
|-------------------------------------|--------------------|--------------------|--------------------|--------------------|--------------------|--------------------|--------------------|--------------------|--------------------|--------------------|---------------------|---------------------|---------------------|----------------------|
| General Fund Revenue Sources | | | | | | | | | | | | | | |
| Property Taxes | \$0 | \$91,000 | \$182,300 | \$273,800 | \$365,400 | \$457,000 | \$548,500 | \$639,900 | \$731,100 | \$822,000 | \$912,600 | \$1,002,800 | \$1,092,600 | \$7,119,000 |
| Sales Tax on Construction | \$1,790,500 | \$1,790,500 | \$1,790,500 | \$1,790,500 | \$1,790,500 | \$1,790,500 | \$1,790,500 | \$1,790,500 | \$1,790,500 | \$1,790,500 | \$1,790,500 | \$1,790,500 | \$1,790,500 | \$23,277,000 |
| Ongoing Sales Tax | \$0 | \$244,600 | \$489,300 | \$733,900 | \$978,500 | \$1,223,100 | \$1,467,800 | \$1,712,400 | \$1,957,000 | \$2,201,700 | \$2,446,300 | \$2,690,900 | \$2,935,600 | \$19,081,000 |
| Ongoing B&O Tax | \$75,600 | \$151,300 | \$226,900 | \$302,600 | \$378,200 | \$453,900 | \$529,500 | \$605,200 | \$680,800 | \$756,400 | \$832,100 | \$907,700 | \$983,400 | \$6,884,000 |
| Utility Taxes | \$78,600 | \$231,700 | \$384,900 | \$538,000 | \$691,200 | \$844,300 | \$997,500 | \$1,150,600 | \$1,303,800 | \$1,456,900 | \$1,610,100 | \$1,763,200 | \$1,916,300 | \$12,967,000 |
| Shared Revenues | \$26,900 | \$79,500 | \$132,000 | \$184,500 | \$237,000 | \$289,500 | \$342,000 | \$394,500 | \$447,000 | \$499,500 | \$552,000 | \$604,500 | \$657,000 | \$4,446,000 |
| Restricted Revenues | | | | | | | | | | | | | | |
| Park Fee - Residential | \$1,430,700 | \$1,430,700 | \$1,430,700 | \$1,430,700 | \$1,430,700 | \$1,430,700 | \$1,430,700 | \$1,430,700 | \$1,430,700 | \$1,430,700 | \$1,430,700 | \$1,430,700 | \$1,430,700 | \$18,599,000 |
| Park Fee - Nonresidential | \$888,700 | \$888,700 | \$888,700 | \$888,700 | \$888,700 | \$888,700 | \$888,700 | \$888,700 | \$888,700 | \$888,700 | \$888,700 | \$888,700 | \$888,700 | \$11,553,000 |
| REET Revenue | \$1,053,300 | \$1,079,600 | \$1,079,600 | \$1,079,600 | \$1,079,600 | \$1,079,600 | \$1,079,600 | \$1,079,600 | \$1,079,600 | \$1,079,600 | \$1,079,600 | \$1,079,600 | \$1,079,600 | \$14,009,000 |
| Total Incremental Revenues | \$4,291,000 | \$4,908,000 | \$5,525,300 | \$6,142,700 | \$6,760,200 | \$7,377,700 | \$7,995,200 | \$8,612,500 | \$9,229,600 | \$9,846,400 | \$10,463,000 | \$11,079,000 | \$11,694,800 | \$117,935,000 |

ParksLove Plan outreach efforts continued in the summer and fall of 2023 to gather input on the draft capital project list and the draft Plan. Feedback was gathered at community events and online. The draft Plan was published for public comment between October 30 - December 1, 2023. The following summary captures the collective theme of comments collected followed by individual responses.

Outreach Themes Summary

Park Amenities and Features:

Suggestions for adding or improving park amenities and features such as workout areas, guided nature trails, spray parks, community garden spaces, rain gardens, fruit trees, climbing structures, covered play areas, splash pads, and more.

Maintenance and Safety:

Concerns related to park maintenance, safety issues like drug use and homelessness in parks, suggestions for restroom improvements, and requests for the removal of wasp nests, tree roots, garbage, graffiti, and concerns about criminal activities.

Pedestrian Crossings and Path Improvements:

Requests for safer pedestrian crossings, pathway improvements, and suggestions for making paths more accessible and user-friendly, including wider paths, updated materials, and lighting.

Dog Parks and Dog-Related Features:

Requests for dog parks, leash-free areas, dog poop stations, and water features for dogs in parks. Concerns about off-leash dogs and related issues.

Environmental Sustainability:

Suggestions for incorporating environmentally sustainable features into parks, such as native plants, living moss walls, habitat restoration, rain gardens, meadows, and low-maintenance meadows. Reducing crumb rubber usage and integrating stormwater management.

Community Engagement and Involvement:

Calls for community involvement in park planning and maintenance, adoption programs for gardens and facilities, and ideas for events, programs, and partnerships to engage residents.

Youth and Family-Friendly Enhancements:

Suggestions for youth and family-friendly park improvements, including playground upgrades, additional swings, age-appropriate play structures, splash pads, and safer facilities.

Additional Recreational Activities:

Requests for the addition of recreational activities such as mini-golf, zip lines, basketball courts, soccer fields, skate park improvements, and pickleball facilities.

Traffic and Parking Concerns:

Concerns about traffic safety and parking availability near parks, along with suggestions for additional parking spaces, improved traffic management, and pedestrian crossings.

Cultural and Social Events:

Ideas and requests for cultural and social events, celebrations, festivals, and gatherings in parks, as well as comments on the impact of park activities on the community.

These themes encompass a wide range of suggestions, concerns, and ideas expressed by individuals regarding park improvements, maintenance, safety, community engagement, and various recreational and environmental considerations in their respective areas.

F. Outreach Results

| Comment | Location | Text |
|-------------------|---------------|---|
| Online Open House | Daleway | It would be wonderful to have a "work out" area with permanent work out equipment like Ober Park on Vashon Island. A guided nature trail showcasing native plants and trees would be neat as well! Please keep the spray park....it's one of the only places to cool down during these increasingly hot times for folks without AC. |
| Online Open House | Not Specified | So excited to see these ideas and plans! I would love to see more community garden spaces and an edible food forest - helping to address food insecurity and building community .Plus, rain gardens throughout the parks to deal with heavy rain events and filtering water. Thank you for all you do! |
| Online Open House | Not Specified | I also suggested more fruit trees like downtown seattle! I think it would be wonderful to also have p patch gardens in snohomish county |
| Online Open House | Not Specified | Love this idea and would love to see this happen! |
| Online Open House | North | I love this park. Updating the splash pad would be great, half of it is broken. And obviously increase safety. Too many drug addicts in the woods and drug deals going on in the parking lot. I run through there early in the morning and see if first hand. |
| Online Open House | Mesika | I'm with Marni, I would love to see some community garden spaces! But I also love to see mesika trail improved and brought back to native plants. It's underutilized and sometimes feels a little sketchy since people sleep in the woods there. I love ALL the plans and hope there's budget to do it all over time. |
| Online Open House | Not Specified | Call cedar grove for help with storm water, I work for them and helped with a storm water Project on Eatonvill wa. |
| Online Open House | Lynndale | I really would like to see the lynndale play space redone, the pg is outdated & there is camping/crime in the parking lot & wooded area. |
| Online Open House | North | N. Lynnwood NP: I love all the plans. This park is very well used and loved. It would be great to have some fitness stations around the walking trail (e.g., pull up bar and such). Do for all ages; we have walkers of all ages! |
| Online Open House | North | North Lynnwood Park: My kids like to run at this park and would love if the pathway was updated so that they could safely run on it. (Maybe track material like polyurethane and make it for 2 way traffic)? There are a lot of teens in cross country and track that would utilize the pathway if it was easy to run on. |
| Online Open House | Not Specified | My family (my husband and I have four kids under 6) we visit all the parks but from what I have noticed all of my kids seem to gravitate to is more climbing structures such as rock walls or rope climbing structures. They love walking on trails and looking at signs so maybe try to include more signs of what trees are there and information? We're also huge fans of when a park has more fruit trees and bushes in lawn areas! |
| Online Open House | North Spruce | Remove the wasp nest outside of the bathrooms at North Lynnwood park. Makes the pathway smooth, too many tree roots. The bathrooms at all Lynnwood parks need attention. So much garbage and it's disgusting to see pee poop and toilet paper on the floor. Specifically the women's bathroom at Spruce Park. Lots of garbage in general at parks. |
| Online Open House | North | I would just love to see a local park with a covered play area. We live in an area where it is wet and rainy most of the year making outdoor play a challenge. Playgrounds aren't very fun when everything is wet! Most people end up avoiding parks in bad weather and opting for indoor alternatives but we miss out on the fresh air and community offered by our beloved neighborhood parks which should be taken advantage of year round! A covered play area would be a game changer for families. We frequent North Lynnwood Park but would drive a long way to get to a covered playground, there just aren't any anywhere! |
| Online Open House | Not Specified | Yes, this is a great idea. Phoenix has covered play structures to create shade, I was standing there wondering why no one in the PNW thought of it because of the rain. |
| Online Open House | North | We live next to this park but rarely go because the structure is outdated, the wood chips need redoing or replacing, and it's a long walk to the structure from any point. We would love a larger structure, one for smaller kids, improvement on the pathways to accommodate people going both ways. It also gets super swampy, so a way to drain the water better. |
| Online Open House | Not Specified | Please create playgrounds with the rubberized surface or turf. Wood chips and sand are not accessible for those with mobility limitations. |

| Comment | Location | Text |
|-------------------|---------------------|--|
| Online Open House | North | North Lynnwood Park! There is so much potential at this park. Lots of good comments so far. My thoughts: 1) Needs more seating of all kinds, all over, including near the play structure and splash pad. It would be great if there were some shelter structures over seating for shade (see: Inspiration Playground in Bellevue's City Park.) 2) Play structure upgrade: Yay! For more fun play structure options, there are lots of adaptive playground structures around in the area now; a combination of these types of structures would be excellent. See: Emma Yule playground in Everett for more interesting/creative play structures. Add rubberized surface rather than wood chips. 3) Splash pad needs an upgrade, it's on the list! 4) The "stage" and large woodchip area - I have no idea what the intended usage here was when it was built but it's just wasted space so I am glad to see it marked for development on the map! Either an under 5 playground option plus maybe garden area with seating, possibly edible forest type trees like others have commented. 4) Trail around the park: It would be ideal to have an accessible feet/mobility device trail and a wheel trail for bikes, or one wider trail with markings to accommodate both. 5) Glad to see lawn improvement on there - the green space area is huge but barely utilized because it is so often muddy even once the rains stop. Again it's a bit of wasted space. So glad these projects are in the works. Parks are so important to our community. |
| Online Open House | Gold | Gold Park is absolutely unusable due to the drug use and homeless population. Even walking by there on foot is terrifying. The "roosters" just hang there all day. Opening the homeless services in the old emissions control has bring such a criminal element to this neighborhood. My only fear is unless we can put some treatment facilities in place, it'll shove this population into the Dale Way area and cause even more problems. What a change within the last 5 years! |
| Online Open House | Not Specified | For all parks, there needs to be a noise ordinance. We often get booming base and very loud music which defeats enjoyment for all. There have been permits issued for groups that exceed reasonable noise levels. |
| Online Open House | Not Specified | I own the company, the sealcoat king, I would love to work on resurfacing the parking lots in Lynnwood and make them look good |
| Online Open House | Not Specified | Also a lot of tree root damage on pathways, could use asphalt repairs since it is a tripping hazard for kids and adults walking or riding bikes. |
| Online Open House | Not Specified | This comment is for all the parks. I would like to see the addition of living moss wall features to all the parks. Increasing the population of Lynnwood also increases the production of carbon dioxide and pollutants. Moss walls are good at capturing carbon dioxide, filtering pollutants, and producing oxygen. Their vertical nature maximizes their abilities while minimizing space usage. Living moss walls could be kept simple or other plants could be added for increased beauty and air cleaning properties. They could be placed in a nook by a bench or a table as a peaceful retreat or featured more prominently as an artistic display. Living moss features would be a great benefit for everyone living in Lynnwood, whether or not they use the parks. Thank you for your consideration. |
| Online Open House | Stadler | For Stadler Ridge specifically and all parks. Better lighting. Forego permanent portable bathrooms and install permanent bathroom structures-lock bathroom after park closure. |
| Online Open House | Stadler | I have concerns about installation of a permanent portable restroom at Stadler Ridge. Being a less visible park, nestled in a residential area, Stadler Ridge often attracts suspicious after-hours activity. I am worried that having an accessible public restroom may facilitate unwanted loitering and compromise neighborhood safety. I would be interested to learn more about the details of the portable restroom and options for managing hours of accessibility. In general, the idea of a permanent structure is more appealing from a cosmetic, hygienic, and safety standpoint. I welcome the other proposed changes for the park. |
| Online Open House | Lynndale | Lynndale Park - love the ideas. Would be great to add a perimeter trail to increase mileage for walkers and hikers using the park for walks. |
| Online Open House | Golf Course Trail | Lynnwood golf course path - Love the plans for potential mini-golf or zip line. This would make it a fun attraction for those who do not golf. Please leave the path unpaved, as this gives it more of a nature/hike feel with the natural peat under your feet. The biggest improvement needed is a crosswalk to access the path from the north end. Having to cross 196th on the north side of the trail is taking your life into your hands. There needs to be an additional crosswalk between 68th and 76th on the north end to enter the trail at the college on 69th PI W. There is already a hidden path in the Copper Ridge condos across the road on the north side for people who live in the Lynndale Park neighborhood area. We just need a safe crossing from there to 69th PI W. to enter the trail. |
| Online Open House | Wilcox | Wilcox Park: A dog park |
| Online Open House | Meadowdale NP North | Love the improvement ideas, especially the pump track at Meadowdale Neighborhood. North Lynnwood park could use some picnic shelters near the spray park and play area. |

F. Outreach Results

| Comment | Location | Text |
|-------------------|---|--|
| Online Open House | 188th St Wilcox Scriber Lake Park | 188th Street Property: I like the idea of utilizing this space and adding picnic tables (covered) and maybe a boardwalk to view the wetlands. Maybe a short natural walking loop. Because of its hidden away location, I worry it might attract crime or homeless, and then end up not being used by families. Wilcox Park: Many people already use the backside to let their dogs off leash. I think a dog park would be a great idea with a cover for rainy days, and a walking area around the pond (would you remove the fence barrier?). It might be a good place for a community garden as well. Maybe partner with the adjacent school for that. It would be great if there was a safe pedestrian crossing between Scriber Lake Park and Wilcox Park, midway between 52nd and 58th. |
| Online Open House | Not Specified | I would love to see a pump track at one of the parks. There are no pump tracks close by and my son loves the one out in north bend, would love to have one closer |
| Online Open House | Not Specified | Thank you so much for this opportunity. I would suggest more loop trails around several of the parks perimeters for runners, particularly with distances of 5 kilometers or even as far as 10 kilometers. This would provide a safe route for local runners to follow around the parks and can be used in the future for later cross country races or benefit events. |
| Facebook | Not Specified | please put in inclusive swings with the "Y" harness especially at meadowdale park! thank you! |
| Facebook | Gold Park | How about gold park? I couldn't get out my car last time try visit, lot of homeless encampments, didn't feel safe at all. |
| Facebook | Not Specified | I would like affordable rentals. Make sure to have alot of room for tents since homelessness is on the rise. |
| Facebook | Pioneer Park | An off leash area big enough to play some fetch! I like that park but get uncomfortable playing fetch without a fence because of all the commotion, we tend to head to meadowdale instead |
| Facebook | Not Specified | Community gardens! We need places for people to grow healthy food. You were making sure that not everybody lives in a house, but instead, in an apartment community. Give them some space to have a life and grow something good for them. |
| Facebook | Not Specified | Shade trees scattered around are always nice (maybe that's covered by the "forest" line item?). |
| Facebook | Not Specified | As long as the vagrants are kept out of the parks |
| Facebook | Pioneer Park | ? I have never seen anyone at that park - seems it has minimal parking, no shade kiosks and appears to almost belong to the housing around it. Certainly needs more seating spaces and "points of interest" - maybe some murals with a "spot the ..." objects, hop scotch things, maybe one of those hanging music tube things? Kids need to be excited, challenged, active, interactive. A plain park is BORING for the kids and the parents - why bother? Know a lot of families go to the 48th ave park in Mtlk Terrace .. check it out.... |
| Facebook | Pioneer Park | Cheryl Stevenson the park is busy every day almost all day long with dog walkers, regular walkers, sun bathers, frisbee players, picnickers, tennis players, and children at the playground. It does get quiet after dark - but I prefer it that way. |
| Facebook | Scriber Lake Park | Scriber Lake Park needs the trees and bushes trimmed way back. It would be incredible to walk the path around the lake and actually have a view of the water all the way around. Plus, trimming back a lot of the bushes and trees that are leaning or dying would cut back on the homeless encampments that are currently there. Oh, relocate the coyotes that live in the park too. |
| Facebook | Not Specified | Pump track would be an awesome addition |
| Facebook | Not Specified | It would be great if I could walk or bike safely to all the parks with my kids. |
| Facebook | Not Specified | Less lawn more for butterflies and bees |
| Facebook | Not Specified | More trees. Cut the ivy that is strangling the park trees in all the parks. More park benches under trees. |
| Facebook | North Lynnwood Park | This is fantastic - this park has so much potential and is in dire need of updates! Will check back when the link is fixed! |
| Facebook | Daleway | Dog Park |
| Facebook | Daleway | Wow, lots of great projects! I would love to see community gardens throughout the city so that they are accessible to as many people as possible as well as a food forest. Utilize more edibles and native plantings such as blueberries, huckleberries, etc. Also, rain gardens throughout all the parks to deal with flooding and filtering run off. |
| Facebook | Daleway | I used to walk through Daleway Park, but not anymore. Too much criminal activity. |
| Facebook | Daleway | Update splash Park and remove criminals/drug addicts, they gather in the woods and hang out in the parking lot |
| Facebook | Daleway | Plant fruit trees around the neighborhoods. |
| Event Outreach | County | add more seats near the parking lot @ meadowdale beach park. add more basketball courts |
| Event Outreach | County | logan park add a ride on rocketship. |
| Event Outreach | Daleway | daleway park is what we'd like improved we would love more swings!!! |

| Comment | Location | Text |
|----------------|-----------------------|---|
| Event Outreach | Gold | no graffitit no homeless more pickle ball - lynndale. already are! Tree water, salmon orcas. Clean up Gold park. |
| Event Outreach | Heritage | heritage park loop for connecting the community |
| Event Outreach | Heritage | herriage park more oportotunetes to get on the train. |
| Event Outreach | Heritage | no crime activities kids activities chapel for bulgarian Heritage groups to visit |
| Event Outreach | Lynndale | lindale dog park i put & maintain tools for using of the park to repair dog digging holes. 2. Security camers in parking lot. 3. emergency call box |
| Event Outreach | Lynndale | betteer restrooms at lyndale |
| Event Outreach | Meadowdale NP | meadowdale np need more ziplines |
| Event Outreach | Meadowdale NP | meadowdale park needs safer restrooms |
| Event Outreach | Meadowdale NP | rrently te? pet access to mnp from south nieghborhoodls |
| Event Outreach | Meadowdale Playfields | thank you for the fantastic meadadale playfields sometimes the graffitli on the southwest corner gots pretty bad. |
| Event Outreach | Meadowdale Playfields | Restrooms that are close to the Park. Medowdale play field. |
| Event Outreach | North | n. lynnwood need wading pool |
| Event Outreach | North | N. lynnwood need pathway widening and smooth. |
| Event Outreach | North | dragon park need a dragon painted or a slide |
| Event Outreach | North | n lynnwood park Disc golf |
| Event Outreach | North | we are so excited about the possible improvements to n lynnwood park and the 188th creek improvements |
| Event Outreach | North | dragon park needs a soccer field and a million more swings |
| Event Outreach | North | north lynnwood park need better & cleaner bathrooms! |
| Event Outreach | North | north lynnwood park need more water features & parking. |
| Event Outreach | North | Please improve dragon park loop path.his too irregular for kids learning how to bike. More climbing rock & walls |
| Event Outreach | North | north lynnwood need a tennis court and no more littering and a cleaner shelter |
| Event Outreach | North | dragon park need a pool |
| Event Outreach | North | widen side walks @ dragon park |
| Event Outreach | North | dragon park better restrooms |
| Event Outreach | North | north lynnwood park. new playgrounds for kids |
| Event Outreach | North | I like dragon park |
| Event Outreach | Pioneer | clean up the forest behind the pioneer park. |
| Event Outreach | South | i love south lynnwood park! |
| Event Outreach | South | south lynnwood park. I love the tennis courts lout i hate how a lot of people smoke and smoke weed which ruins the whole point of the park. |
| Event Outreach | South | more parks like south lynnwood add more splash areas |
| Event Outreach | Spruce | Spruce Park should not have the straight swings |
| Event Outreach | Wilcox | more maintenance at wilcox clean up. |
| Event Outreach | Wilcox | splash park at wilcox |
| Event Outreach | Wilcox | lighting walking trails getting me outdoorsmore swings at wilcox |
| Event Outreach | Wilcox | more swings at wilcox |
| Event Outreach | Wilcox | soccer field at wilcox park and water features |
| Event Outreach | Wilcox | Wilcox park need fox basketball court and add more swings |
| Event Outreach | Wilcox | wilcox park beach volleyball park. |
| Event Outreach | Wilcox | wilcox feels unsafe |
| Event Outreach | Wilcox | wilcox park water feature |
| Event Outreach | Not Specified | i always apprerate a playground - native plants incorporated at entrances / ground facilites / shelters to add attracttion help soil |
| Event Outreach | Not Specified | keeping our forest & trees healthy is one of the best things we can do for climate change. we love out parks. |
| Event Outreach | Not Specified | improve bathrooms sink water pressure overall cleanliness new sinks |
| Event Outreach | Not Specified | no pet waste stations garbage pickes. Love & enjoy the parks. |
| Event Outreach | Not Specified | cute gate composte bins more trees |
| Event Outreach | Not Specified | lighted activities natural enverment |
| Event Outreach | Not Specified | pool park could use a mwal on back wall |
| Event Outreach | Not Specified | kids are getting taller at a young age it would be great for jungle gym to accomuate thier height |
| Event Outreach | Not Specified | parking space shed clean restroom litter free smoke free |
| Event Outreach | Not Specified | put pictures of each park on google maps to clearly see playgrounds or whellchair |
| Event Outreach | Not Specified | more trash buns in all of them! |
| Event Outreach | Not Specified | lots of plants no litter more trash cans so less trash more plants for better air gas cars |
| Event Outreach | Not Specified | if there was tethers for dogs near the restrooms or plasces to tether a leash too. |
| Event Outreach | Not Specified | more picnic tables splash pad. playground is dwerie so keep the kiddos entertained. |
| Event Outreach | Not Specified | walking trails exercise clean air recycling composting |
| Event Outreach | Not Specified | updated play structure covered area near playground |
| Event Outreach | Not Specified | dog poop bags fountains people/ pets |
| Event Outreach | Not Specified | nice play facility nice walk path nice restroom ada / stroller friendly. more walking climate change. |
| Event Outreach | Not Specified | lots of people updated playground sustainability |

F. Outreach Results

| Comment | Location | Text |
|----------------|-------------------------|---|
| Event Outreach | Not Specified | more disc golf |
| Event Outreach | Not Specified | stuff to do for ? age and up |
| Event Outreach | Daleway | add water slide |
| Event Outreach | Daleway | undesirables uses happening here |
| Event Outreach | Daleway | drug use |
| Event Outreach | Daleway | waterfall feature |
| Event Outreach | Daleway | forest - want low lying bushes |
| Event Outreach | Daleway | add shelter |
| Event Outreach | Daleway | walking trails |
| Event Outreach | Daleway | like improving neighborhood connections |
| Event Outreach | Golf Course Trail | like the mini golf idea |
| Event Outreach | Golf Course Trail | better separation and marking on College side |
| Event Outreach | Golf Course Trail | more wayfinding |
| Event Outreach | Golf Course Trail | Need 196th St ped crossing between 76th & 68th |
| Event Outreach | Lynndale | like the current playground |
| Event Outreach | Lynndale | fix the bathrooms |
| Event Outreach | Lynndale | need more drinking fountains |
| Event Outreach | Lynndale | need unlocked bathrooms |
| Event Outreach | Lynndale | add signage on trails, trail markers, mile markers, doggie stations, formal trails (dirt ok) |
| Event Outreach | Lynndale | Like the tire swing |
| Event Outreach | Lynndale | more trails |
| Event Outreach | Meadowdale Playfields | add water bottle fill station at playground / concession |
| Event Outreach | Meadowdale Playfields | more trails |
| Event Outreach | North | need new slides |
| Event Outreach | North | fix the paths |
| Event Outreach | North | lawn for soccer |
| Event Outreach | North | this is my favorite park |
| Event Outreach | North | want stroller-friendly path |
| Event Outreach | North | new playground |
| Event Outreach | North | more features on the splash pad and more shade over benches |
| Event Outreach | North | widen loop path - it's great for bikes |
| Event Outreach | Spruce | add slides |
| Event Outreach | Spruce | it's quaint |
| Event Outreach | Wilcox | better basketball court |
| Event Outreach | Wilcox | keep swings |
| Event Outreach | Wilcox | Like the tire swing |
| Event Outreach | Wilcox | open lawn for soccer with nets |
| Event Outreach | Wilcox | like kid lay, slides |
| Event Outreach | Wilcox | ESD lot already gets used as a park and dog area |
| Event Outreach | Lynndale | more nature trails (dirt with mile markers) |
| Event Outreach | Daleway | scared about the shooting and homeless in forest |
| Event Outreach | Not Specified | want more nature viewing and walking paths, lots of interest in SCT and Boardwalk Trail, hiking, ping pong, tae chi, game tables, exercise, walking, shade, paved paths during rain, dirt ok in summer, 1-2 mile loop trails, more pickleball, need more swim lessons for survival skills |
| Event Outreach | North | BBQ & picnic large group celebrations |
| Event Outreach | General | what happened to "Adopt A Garden" program? |
| Event Outreach | Daleway | love the splash pad |
| Event Outreach | Lund's Gulch | connect trails to the beach |
| Event Outreach | Meadowdale Neighborhood | more ziplines |
| Event Outreach | General | ice cream trucks at all parks |
| Event Outreach | Scriber Lake | please fix the park |
| Event Outreach | Lynndale | add pickleball nets and lines |
| Event Outreach | Lynndale | drug use at the skatepark restroom |
| Event Outreach | General | need more dog parks |
| Event Outreach | Daleway & Gold | concerns about homeless and drug users |
| Event Outreach | Bulgarians | National Day of Culture & Literacy May 24th / March 3rd Independence Day |
| Event Outreach | Golf Course Trail | Need 196th St ped crossing between 76th & 68th |
| Event Outreach | Daleway | need habitat restoration |
| Event Outreach | Lynndale | dog poop is a problem |
| Event Outreach | Spruce | need merry go round and seesaw |
| Event Outreach | Spruce | add water bottle fountain |
| Event Outreach | Spruce | dog water fountain |
| Event Outreach | Spruce | bucket swing for littles |
| Event Outreach | Spruce | dog fountain |
| Event Outreach | Civic Campus | turn lawn into low maintenance meadow |
| Event Outreach | Wilcox | add spray park or water feature, more benches |
| Event Outreach | Wilcox | add fence around basketball court |
| Event Outreach | Wilcox | needs water feature |
| Event Outreach | Wilcox | more parking |

| Comment | Location | Text |
|----------------|-----------------------|--|
| Event Outreach | North | better/wider paths |
| Event Outreach | North | bigger spray park - move to rock area |
| Event Outreach | General | gaga ball pit |
| Event Outreach | Golf Course Trail | likes mini golf |
| Event Outreach | Lynndale | more play |
| Event Outreach | Lynndale | update bathrooms |
| Event Outreach | General | giant/wide roller slide |
| Event Outreach | Lynndale | love this park |
| Event Outreach | Lynndale | want ice cream truck |
| Event Outreach | General | no crumb rubber |
| Event Outreach | General | integrated stormwater |
| Event Outreach | General | forest preservation - utilize partnerships to help get forest stewardship projects |
| Event Outreach | Daleway | lots of bad activity in eastern forest |
| Event Outreach | Daleway | want a little kids toy playground |
| Event Outreach | Daleway | renovate the spray pad |
| Event Outreach | Daleway | add lighting |
| Event Outreach | Lynndale Park | improve skate park |
| Event Outreach | Lynndale | more lighting |
| Event Outreach | Meadowdale Playfields | Graffiti and middle school hang out on SW corner |
| Event Outreach | Meadowdale Playfields | MOER SWINGS (even after improvement) |
| Event Outreach | Meadowdale Playfields | one of the swings needs straps |
| Event Outreach | Mesika Forest | needs garbage bins |
| Event Outreach | Mesika Forest | needs poop bag station |
| Event Outreach | Wilcox | multipurpose sport court |
| Public Comment | Not Specified | <p>"Such a sophisticated undertaking, inclusive, community focused goal setting; useful and meaningful prioritization tools, realist asset assessment to inform decision making in a coordinated/efficient plan.</p> <p>A great document for the whole of the City staff and representatives to understand and use in decision making concerning future funding and the issues around population growth and new development patterns. "</p> |
| Public Comment | Not Specified | <p>I appreciate the focus of this plan on equity, accessibility, heat islands, and environmental resiliency. I find Lynnwood's parks and diversity to be two of its great strengths. I just want to ensure that plans for bicycle infrastructure are not only considered as part of recreational plans. Recreational cycling on multiuse trails is very different than an effective network of infrastructure for using bikes as transportation to places where people work and shop. Ebikes are making cycling more accessible. Traveling by bike is economical. Cycling for transportation can also contribute to community and environmental health when there are direct cycling routes with safe bike parking available. If it was easier to bike places, we wouldn't have to put so many resources towards more space for cars. The park plan is probably not the plan to address this. I just want to make sure it is not the only plan that is thinking about how people will bike in and around Lynnwood.</p> |