

LYNNWOOD HEARING EXAMINER

AGENDA

Thursday, January 10, 2013 – Council Chambers – 2:00 PM

Lynnwood Civic Center
19100 44th Avenue West
Lynnwood, Washington

PUBLIC HEARINGS

1. Williams Northwest Pipeline Pig Receiver/Launcher Planned Unit Development (PUD) – 2012RZN0002

The applicant, Clay Gustaves, representing Williams Northwest Pipeline GP, is requesting approval for a Planned Unit Development (PUD) to allow for a pig (pipeline inspection gauge) receiver/launcher. The inspection facility will be used for pipeline inspections to be conducted approximately every 5 to 7 years as required by the U.S. Department of Transportation. The applicant is seeking approval for a PUD for the site because Public Utilities Facilities are not permitted in the B-2 zoning district. The PUD would allow the applicant to construct the proposed pig inspection facility at the proposed location and enable the applicant to develop a site that blends into the public realm while maintaining its private access. Additionally, because the site is not publicly accessed, the applicant is proposing 8-foot tall fences in order to provide security and screening from the general public. A heavily-reinforced CMU wall will be constructed to provide further protection. Landscaping will be provided around the perimeter of the fencing to further enhance the appearance of site.

Associated permits under separate approval processes include Project Design Review (12PDR0007) and Environmental Review (12ERC0014).

2. Belterra Preliminary Plat Subdivision – 2012PLT0001

The applicant, Pacific Ridge Homes, representing Louis Hendricks, is requesting subdivision approval for residential lot development. If approved, the application would allow subdivision of a two acre site located at approximately 17101 36th Avenue W. into eight lots. The property is zoned RS-8 (single-family minimum 8,400 sq. ft. lot size) and is designated SF-1 (Single-Family Low-Density) under the Comprehensive Plan. All lots will meet the City code and will be accessed off a right-of-way on the north side of the site between 36th Avenue W. and 171st Street SW. The proposed extension will have full concrete curb, gutter, and sidewalk and will be designed to meet minimum standards for vehicular, pedestrian, and fire safety standards.

An associated permit under separate approval process includes Environmental Review. On November 9, 2012, the City of Lynnwood SEPA Responsible Official issued a Determination of Non-significance (DNS) for the proposal (2012ERC0018).



STAFF REPORT TO THE HEARING EXAMINER

WILLIAMS NORTHWEST PIPELINE PIG RECEIVER/LAUNCHER PLANNED UNIT DEVELOPMENT (PUD) (2012RZN0002) Thursday, January 10, 2013 – Council Chambers – 2:00 PM

I. Application Name and Number

File Name: Williams Northwest Pipeline Pig Receiver/Launcher Planned Unit Development (PUD)

File Numbers: 2012RZN0002

Related Files: 2012ERC0014
2012PDR0007

Date of Hearing: January 10, 2013

Applicant: Clay Gustaves
Williams Northwest Pipeline GP
22909 NE Redmond-Fall City Rd.
Redmond, WA 98053
clay.gustaves@williams.com

Contact: Same as applicant

Staff Contact: Todd Hall, Associate Planner 
(425) 670-5407, thall@ci.lynnwood.wa.us

Assessor Parcel Number(s): 27041500101400 and 27041500101500

Current Use: Vacant

Lot Size(s): 19,451 square feet

Current Zoning: B-2 (Limited Business)

Comprehensive Plan Designation: RC (Regional Commercial)

II. Proposal

The applicant, Clay Gustaves, representing Williams Northwest Pipeline GP, has submitted an application for a Planned Unit Development (PUD) to allow for a pipeline inspection gauge (“pig”) receiver/launcher facility to be constructed at the northeast corner of 36th Avenue W and 188th Street SW (Assessor Parcel Nos. 27041500101400 and 27041500101500).

III. Exhibits

- 1.1 Staff Report to the Hearing Examiner
- 1.2 Land Use Application Cover Sheet, received August 9, 2012
- 1.3 Legal Description, received August 9, 2012
- 1.4 Waiver request, received August 9, 2012
- 1.5 Planned Unit Development (PUD) Application, received August 9, 2012
- 1.6 Complete set of revised site plans (6 pages), received November 20, 2012
- 1.7 Revised Landscape Plans, (4 pages) received November 20, 2012
- 1.8 Notice of Application and Impending Decision, issued August 27, 2012
- 1.9 Fence Details, submitted September 14, 2012
- 1.10 Removable Canopy Details, submitted September 14, 2012
- 1.11 Pig Receiver Operation Statement, received September 14, 2012
- 1.12 Comprehensive Plan Statement of Consistency, submitted September 14, 2012
- 1.13 Determination of Nonsignificance (2012ERC0014), issued September 19, 2012
- 1.14 Notice of Environmental Decision, issued September 19, 2012
- 1.15 Referral Summary and Summary Letter, dated September 20, 2012
- 1.16 Notice of Environmental Decision Comment Period Extension, issued October 8, 2012.
- 1.17 Zoning Map
- 1.18 Future Land Use Map (Comprehensive Plan)
- 1.19 Aerial Photo
- 1.20 Proposed Zoning Map with PUD designation
- 1.21 Director Decision, Staff Report for Project Design Review (2012PDR0007), December 10, 2012
- 1.22 Notice of Public Hearing, issued December 7, 2012
- 1.23 Affidavits
- 1.24 Public Notice Mailing List (7 pages)
- 1.25 Parties of Record

IV. Noticing

A Notice of Application and Impending Decision was posted at the City of Lynnwood official posting sites and on site on August 27, 2012, and was published in the Herald newspaper on August 27, 2012 (Exhibit 1.8)

A Notice of Public Hearing was posted at the City of Lynnwood official posting sites and on site on December 7, 2012, and was published in the Herald newspaper on December 7, 2012 (Exhibit 1.22)

Owners of property and tenants within a 600-foot radius of the subject property were also mailed a Notice of Application and Impending Decision and a Notice of Public Hearing.

V. Background

Williams Northwest Pipeline GP has submitted an application for a PUD to construct a pig receiver/launcher located at the northeast corner of 36th Avenue W. and 188th Street SW. The property is 19,451 sq. ft. (0.45 acres) and is undeveloped. There are no known environmentally sensitive areas and the project site slopes slightly from the northwest to the southeast. The site is bordered by commercial development to the east and multi-family to the north. Across 36th Avenue W. to the west is an assisted living facility. Across 188th Street SW to the south is commercial/office. The site is zoned Limited Business (B-2) and is designated Regional Commercial (RC) on the City's Comprehensive Plan Future Land Use Map.

The "pig" is an automated inspection device. Increased mandatory pipeline inspections are being required to insure that public safety is adequately protected. The location of the station is dictated by the fact that it is the point at which the interstate pipeline ends and the local distribution system begins plus technical factors related to differing pipe dimensions and turns in the lines. According to the applicant, the proposed site location is ideal for the applicant because it is located at the end of a lateral and loop line. Installing facilities at the end of the line ensures that the entire lateral and loop can be assessed by in-line inspection tools. Additionally, according to the current Federal testing regimen, the site will be utilized approximately every 5 to 7 years by authorized personnel to perform pipeline inspections.

In addition to the PUD application, the applicant has also applied for Project Design Review (PDR) approval (2012PDR0014) and Environmental (SEPA) Review (2012ERC0014). These are administrative decisions and unless there is an appeal filed, no action on these applications by the hearing examiner is required. The applicant is seeking approval for a PUD for the site because Public Utilities Facilities are not permitted in the B-2 zoning district (Table 21.46.12). The PUD would allow the applicant to construct the proposed pig inspection facility at the proposed location and enable the applicant to develop a site that blends into the public realm while maintaining its private access. Additionally, because the site is not publicly accessed, the applicant is proposing 8-foot tall fences in order to provide security and screening from the general public. Landscaping will be provided around the perimeter of the fencing to further enhance the appearance of site.

Per LMC 21.30.300, a PUD is subject approval by the City of Lynnwood Hearing Examiner.

VI. Relevant Legal Citations

A. Comprehensive Plan

The property is designated on the Comprehensive Plan Future Land Use Plan Map as “Regional Commercial” (RC). The Land Use Element describes the “Regional Commercial” land use category as follows:

Purpose: This Plan category is intended to provide the opportunity for the development of a wide range of commercial services at a high level of development intensity (more than Community Commercial but less than City Center intensity).

Principal Use: Personal, professional, and public services and offices, retail sales of goods for the region, including the local community and surrounding communities, hotels, motels, and entertainment businesses.

Locational Criteria: Commercial areas of this type must be located in areas having arterial street access and transit service.

Site Design: Substantial landscaping shall be planted along street frontages and within parking areas. Landscaping shall also be planted at other property lines and near buildings (as part of an integrated design plan). Parking for customers and employees will generally be located in either open parking lots or well-designed parking garages. Shared parking between adjacent uses will be encouraged. The overall design of the site should closely follow the principles of good modern urban design.

Building Design: Retail uses in this category will generally be low-rise structures, with other uses occupying multi-story structures.

Performance Standards: On-site activities shall not significantly impact adjoining properties in a negative way.”

The following objectives and policies from the Comprehensive Plan are most relevant to this application:

- **Land Use Policy LU-1.7:** “Applications for planned unit developments, which may allow relaxation of City development regulations, shall be evaluated to ensure that the design and development of the development will further the goals, objectives and policies of this Comprehensive Plan.”

- Land Use Policy LU-8.4: “Provide adequate setbacks, buffers, landscaping, visual screens, and appropriate building scale and architecture to make development compatible with nearby residential and other land uses.”
- Land Use Policy LU-8.19: “Screening of elements such as recycling and waste collection areas, compactors and dumpsters, loading and service areas, and mechanical equipment shall be required so that these elements do not create a negative impact to the streetscape and nearby residential areas.
- Transportation Objective T-23: “Control the location and spacing of commercial driveways and the design of parking lots to avoid traffic and pedestrian conflicts and confusing circulation patterns.”
- Transportation Policy T-23.1: “Driveways shall be located to provide adequate sight distance for all traffic movements and not interfere with traffic operations at intersections.”
- Transportation Policy T-26.1: “Require the construction and operation of transportation facilities and services to meet the standards of the Americans with Disabilities Act (ADA).”
- Environmental Resources Policy ER-9.3: “Design and construct night lighting to minimize excessive glare. Night lighting should not spill over onto nearby properties.”

B. City of Lynnwood Municipal Code – Title 1

Planned Unit Development

LMC 21.30.100 states the purpose of a Planned Unit Development. “A Planned Unit Development is a mechanism by which the City may permit variety in the type, design, and arrangement of structures; and enable the coordination of project characteristics with features of a particular site in a manner consistent with the public health, safety, and welfare. A Planned Unit Development allows for innovations and special features in site development, including the location of structures, conservation of natural land features, conservation of energy, and efficient utilization of open space.”

LMC 21.30.300 states, “Before approval of any plan, the hearing examiner shall determine that such plans comply with the development policies of the comprehensive plan, the purpose(s) of this title, and provisions of this chapter.”

VII. Referrals

A 14-day referral comment period on the proposal ended on September 11, 2012 (comments in Exhibit 1.15). Comments were received from the City of Lynnwood Building Official and Fire Marshall.

Departments and agencies typically only provide written comment on issues that go beyond code requirements, or that are of particular interest to the development in

question. The fact that a reviewing agency has not commented on a code requirement does not mean it (the code requirement) does not apply to the project. This project will be required to conform to all applicable codes and statutes whether or not the reviewing agency has chosen to comment on them.

VIII. Public Comment

A 14-day public comment period on the proposal ended on September 11, 2012. The City received one inquiry by a nearby resident regarding the height of the inspection facility and the height and design of the fences. Staff provided fence specifications and color details to the resident. No other comments from the public were received.

IX. Environmental Review

The Community Development Director issued a Determination of Nonsignificance (File No. 2012ERC0014, Exhibit 1.13) for this project on September 19, 2012. A Notice of Comment Period Extension was issued on October 8, 2012. The comment period ended October 22, 2012. No comments were received during the public comment period. The appeal period ended November 5, 2012. No appeal of this Determination was filed.

X. Analysis

A. Comprehensive Plan

The future land use designation for the site on the Comprehensive Plan Map is Regional Commercial (RC). This proposal does not directly fall within the list of principal uses for this future land use designation. However, the proposed use serves as an inspection site for an existing regional public utility (natural gas provider). Exhibit 1.12, Section C, describes the necessity to locate the proposed facility on this parcel. In addition, natural gas serves to regional commercial services and housing located in the immediate vicinity. Therefore, the use is consistent, albeit indirectly, with the Comprehensive Plan.

One of the criteria in approving the PUD application is that the project complies with the policies of the Comprehensive Plan.

In Section VI, staff identified one Comprehensive Plan objective and six Comprehensive Plan policies that apply to this development. The following is staff's analysis of these factors:

- Land Use Policy LU-1.7 is met because by allowing the siting of the pig inspection facility, which is ideal for the applicant because it is located at the end of a lateral and loop line, it would ensure that the entire lateral and loop can be assessed by in-line inspection tools. This would in turn benefit public health, safety and welfare, which also furthers the goals, objectives and policies of the Comprehensive Plan.

- LU-8.4 and LU-8.18 are met through compliance with zoning regulations and the Citywide Design Guidelines.
- LU-8.19 is met by the proposed 8-foot CMU fence and StoneLook™ fence which will screen all pipeline inspection equipment from public view. Also, a removable canopy will be constructed to screen the equipment from public view.
- T-23 and T-23.1 are met by providing only one entrance per right-of-way and spaced far enough from the intersection as to not create conflicts or sight distance issues that would interfere with traffic. Additionally, the driveways will only be accessible by authorized vehicles during inspection periods, so these access points will be used infrequently.
- T-26.1 is met through requirements to make curb cuts ADA compliant and by compliance with any applicable building code ADA requirements during building permit review.
- ER-9.3 is met by requiring that lighting on the site, if proposed, meets the current recommended best practices as prepared by the Illuminating Engineering Society of North America. The applicant may provide security lighting.

Based on this analysis, staff finds that the proposed pig receiver/launcher complies with the development policies of the Comprehensive Plan and therefore supports approval for the PUD.

B. Lynnwood Municipal Code

The applicant proposes to develop the project as a PUD in order to request flexibility in the application of the City's Zoning Code development standards for:

1. Permitted Use – Table 21.46.12 excludes Public Utilities Facilities from B-2 zones. Allowing the proposed pig facility within the B-2 zone would be consistent with the scale, height and compatibility with other uses in the vicinity. As previously noted, the proposed site location is ideal for the applicant because it is located at the end of a lateral and loop line. Installing pig facility at the end of the line ensures that the entire lateral and loop can be assessed by in-line inspection tools. A facility at the proposed location would also be in a manner consistent with the public health, safety, and welfare (LMC 21.30.100), as natural gas lines are facilities which serve a regional purpose.
2. Fence Location/Details – The proposed fences comply with LMC 21.10.100.B.2 for height in side and rear yards (up to 8 feet). However, the fence location along the street is closer than allowed per the above code, which is not nearer to any public street than a point equal to the closest part of any building to the street. The proposed removable canopy has been defined as a “structure” per the building official. Therefore, applicant has applied for a Planned Unit Development (PUD) approval to allow for greater flexibility in design and construction.

Because of the non-public nature of the site, the applicant has proposed 8-foot fences surrounding the pig launcher/receiver in order to keep the general public out and to create a visual barrier. The proposed location of the fences, which are setback 15 feet from all property lines, provide the necessary screening the applicant desires as well as meet the minimum sight distance requirements at the intersection. In addition, the proposed fences are aesthetically pleasing and landscaping is proposed around the entire perimeter of the site to further screen the facility from public view, all of which comply with the City's design guidelines. The Fire Department is also requiring the west fence to be heavily reinforced for blast protection. Specific plans will be submitted at building permit submittal for review and approval.

Based on the above analysis, staff finds that the proposed pig receiver/launcher complies with applicable development regulations of the LMC and therefore supports approval for the PUD.

XI. Conclusions and Recommendation

A. Conclusion

Staff concludes that, subject to the following recommended conditions, the proposed project meets all conditions for Planned Unit Developments (PUD) pursuant to regulations in Chapter 21.30 LMC.

B. Recommendation

Staff recommends that the Hearing Examiner recommend approval of the Planned Unit Development (PUD) with the following conditions:

1. The Property described on Exhibit 1.3 (the "Property"), shall be rezoned from Limited Business (B-2) to Planned Unit Development (PUD) in accordance with the provisions of Chapter 21.30 of the Lynnwood Municipal Code.
2. The official zoning map of the City of Lynnwood is hereby revised and amended to show the rezone to Planned Unit Development.
3. The site plan submitted with the application for Planned Unit Development is hereby adopted as the preliminary and final development plan for the Property; provided that the development plan is subject to minor adjustments as provided in sections 21.30.300 of the Lynnwood Municipal Code, subject to the following conditions:
 - a. In order to provide greater protection during inspection periods, a heavily reinforced CMU fence for blast protection is required along the western

- portion of the fence. Plans shall be submitted at building permit submittal for review and approval.
- b. In order to detect the presence of natural gas, a fragrance shall be added prior to gas blow-off to avoid the acrid smell.
 - c. To ensure City of Lynnwood Fire Department has access to the site, a keybox shall be provided to the Department.
 - d. At least 24 hours before pigging operations begin, SNOCOM 911 Center, Lynnwood Fire Department and Snohomish County Fire District 1 shall be provided written notice of the general scope and schedule of the work to be performed at the site.
4. The permitted uses and development of the planned unit development shall be subject to any subsequently adopted Findings of Fact and Conclusions of Law and in accordance with provisions of Chapter 21.30 of the Lynnwood Municipal Code.



Land Use Application Cover Sheet

File Name: WILLIAMS PIPELINE

File City: Lynnwood

File Number:

File Number: 12R2N0002 - PUD

Instructions for Applicants

Please read and follow all instructions on your application carefully. If you have any questions about the process or your project, it is strongly recommended that you speak with staff prior to submitting your application to help ensure that processing can advance in a timely manner. Every application must include this cover sheet, the application/checklist and all required items, and a notarized affidavit of ownership (if applicable).

Specific Type of Land Use Application to be submitted (check all that apply):

- Accessory Dwelling Unit
- Appeal
- Binding Site Plan
- Boundary Line Adjustment/ Lot Combination
- Conditional Use Permit
- Environmental Review (SEPA)
- Project Design Review
- Rezone PUD
- Short Subdivision (Short Plat)
- Subdivision (Long Plat)
- Variance
- Wireless Communication Facility
- Other (please specify): AUG 09 2012
- Comprehensive Plan Amendment
- Comprehensive Plan Suggestion
- Comprehensive Plan Amendment

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Please Print or Type Legibly

Applicant: Clay Gustaves (Williams Land Use Representative)			Phone: 425-868-1010
Address: 22909 NE Redmond Fall City Rd.			Cell: 425-301-1068
City: Redmond	State: WA	Zip: 98053	Fax:
E-Mail: clay.gustaves@williams.com			
Contact Person, if different: Same as above.			Phone:
Address:			Cell:
City:	State:	Zip:	Fax:
E-Mail:			
Property Owner(s), if different: Williams Pipeline GP			Phone: 801-584-6702
Address: 295 Chipeta Way			Cell:
City: Salt Lake City	State: UT	Zip: 84150	Fax:
E-Mail:			
Site Address(es): 18719 and 18727 36 th Avenue West			Zoning: B2
Assessor Parcel Number(s) – (APNs): 27041500101400 and 27041500101500			Comp. Plan Designation: RC
Description of Proposal: Northwest currently has pig launchers/receivers located at Milepost (MP) 10.4 on the North Seattle Lateral and Loop lines that must be excavated, removed, and re-installed at MP 11.1 (this site).			
I/We certify that the information provided in this application, including all submittals and attachments, is true and correct to the best of my/our knowledge.			
Signature of Applicant/Agent: <u>Clay Gustaves</u>			Date: <u>8/9/2012</u>
Signature of Property Owner: <u>Clay Gustaves</u>			Date: <u>8/9/2012</u>

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CITY OF LYNNWOOD
PERMIT CENTER**LEGAL DESCRIPTIONS:****PARCEL A:**

THE EAST 160 FEET OF THE WEST 190 FEET OF THE NORTH 80 FEET OF THE SOUTH 165 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 27 NORTH, RANGE 4 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON;

ALSO THE EAST 78.40 FEET OF THE WEST 190.00 FEET OF THE NORTH 2.50 FEET OF THE SOUTH 85 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 27 NORTH, RANGE 4 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON;
EXCEPT THAT PORTION THEREOF, DESCRIBED AS FOLLOWS:.

THE EAST 61.60 FEET OF THE WEST 91.60 FEET OF THE NORTH 5 FEET OF THE SOUTH 90 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 27 NORTH, RANGE 4 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON;
EXCEPT ANY PORTION THEREOF LYING WITHIN 36TH AVENUE WEST.

PARCEL A1:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER THE EAST 15.00 FEET OF THE EAST 160.00 FEET OF THE WEST 100 FEET OF THE SOUTH 82.50 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 27 NORTH, RANGE 4 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON;

PARCEL B:

THE EAST 160 FEET OF THE WEST 190 FEET OF THE SOUTH 90 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 27 NORTH, RANGE 4 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON;
EXCEPT THE NORTH 5 FEET OF THE EAST 98.40 FEET THEREOF; AND
EXCEPT THE EAST 78.40 FEET OF THE SOUTH 2.50 FEET OF THE NORTH 7.50 FEET THEREOF; AND
EXCEPT THAT PORTION CONVEYED TO THE CITY OF LYNNWOOD BY DEEDS RECORDED UNDER RECORDING NUMBERS 7810190238 AND 7810190239.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

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WAIVER REQUESTS

PROJECT DESIGN REVIEW APPLICANT CHECKLIST -
COMMERCIAL/PUBLIC DISTRICTS

<u>SITE GUIDELINES</u>	<u>Items Requesting Variance</u>
Access Driveways	1 and 2
Sidewalks and Street Trees	None requested
Site Furnishings	1, 2, and 3
Plazas and Other Open Spaces	1 and 2
Consolidated (Shared) Spaces	1 and 2
<u>BUILDING GUIDELINES</u>	<u>Items Requesting Variance</u>
Relationship to Public Streets	2 and 3
Overall Massing, Bulk and Articulation	1, 2, and 3
Distance from the Street	1
Ground Floor Transparency	1, 2, 3, and 4
Opaque Walls	None
Weather Protection	2
Ground Level Expression	1 and 2
Roof Expression	1 and 2
Colors	1 and 2

PROJECT DESIGN REVIEW APPLICANT CHECKLIST – ALL DISTRICTS

<u>SITE GUIDELINES</u>	<u>Items Requesting Variance</u>
Location of Parking Lots	1, 2, 3, 4, 6, and 7
Parking Lot Landscaping	1, 2, 3, 4, and 5
Site Landscaping	1, 5, 7, and 10
Lighting	1, 2, 3, 4, 5, and 6
Pedestrian Connections	1, 2, 3, and 4
Walls and Fences	4
Marking Gateways and Prominent Intersections	1, 2, and 3
Natural Features and Green Corridors	1, 3, and 4
<u>BUILDING GUIDELINES</u>	<u>Items Requesting Variance</u>
Prominent Entrance	1, 2
Screening Rooftop Equipment	1 and 2
Treating Blank Walls	1
Minor Accessory Structures	1
Marking Gateways	1 and 2
Materials	1 and 3
<u>SIGN GUIDELINES</u>	<u>Items Requesting Variance</u>
Integration with Architectural	1 and 2
Creative/Artistic Elements	1, 2, and 3

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known to the applicant at the time of submittal.

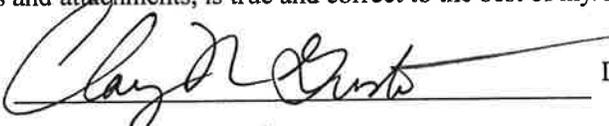
- 11. A list of permits that are to be processed concurrently with this application.
- 12. A completed SEPA application, unless the project is categorically exempt from SEPA review.
- 13. A complete, notarized Affidavit of Ownership for all property owner(s) of the involved property, with original signatures.
- 14. Application fee(s).

For Staff Use ONLY	
Verified	Waived
✓	
✓	
✓	

FEES See LMC 3.104 or contact our office for current fee information.

- NOTES**
1. The approval of a Planned Unit Development Application does not in any way replace, modify or waive any requirement for the compliance of the proposal with other applicable codes, standards, or regulations including, but not necessarily limited to, those of the Building, Fire or Public Works Departments. You are advised to contact these departments concerning such requirements.
 2. It is the responsibility of the owners, applicants and agents to become aware of the requirements of Title 21-Zoning of the Lynnwood Municipal Code. It is strongly encouraged that a pre-application conference with the City staff be scheduled prior to submittal of an application.
 3. An application may be amended only in writing.
 4. Submittal of this application grants the appropriate city officials the right of entry to the project site during a reasonable hour and, upon proper identification, to the building, structure and/or premise, which is directly related to this application.
 5. In each application the burden of proof rests with the applicant, petitioner or proponent.
 6. Items with any typewritten information must be 10-point font or larger to ensure legibility of scanned documents.

I/We NORTHWEST PIPELINE GP, owner(s) of the property commonly known as _____, do hereby apply for approval of a Planned Unit Development for the above-referenced property. I/We certify that the information provided in this application, including all submittals and attachments, is true and correct to the best of my/our knowledge.

Signature of Owner:  Date: 8/9/2012
Please print name: CLAY R GUSTAVES

NORTH SEATTLE PIG RECEIVER SITE

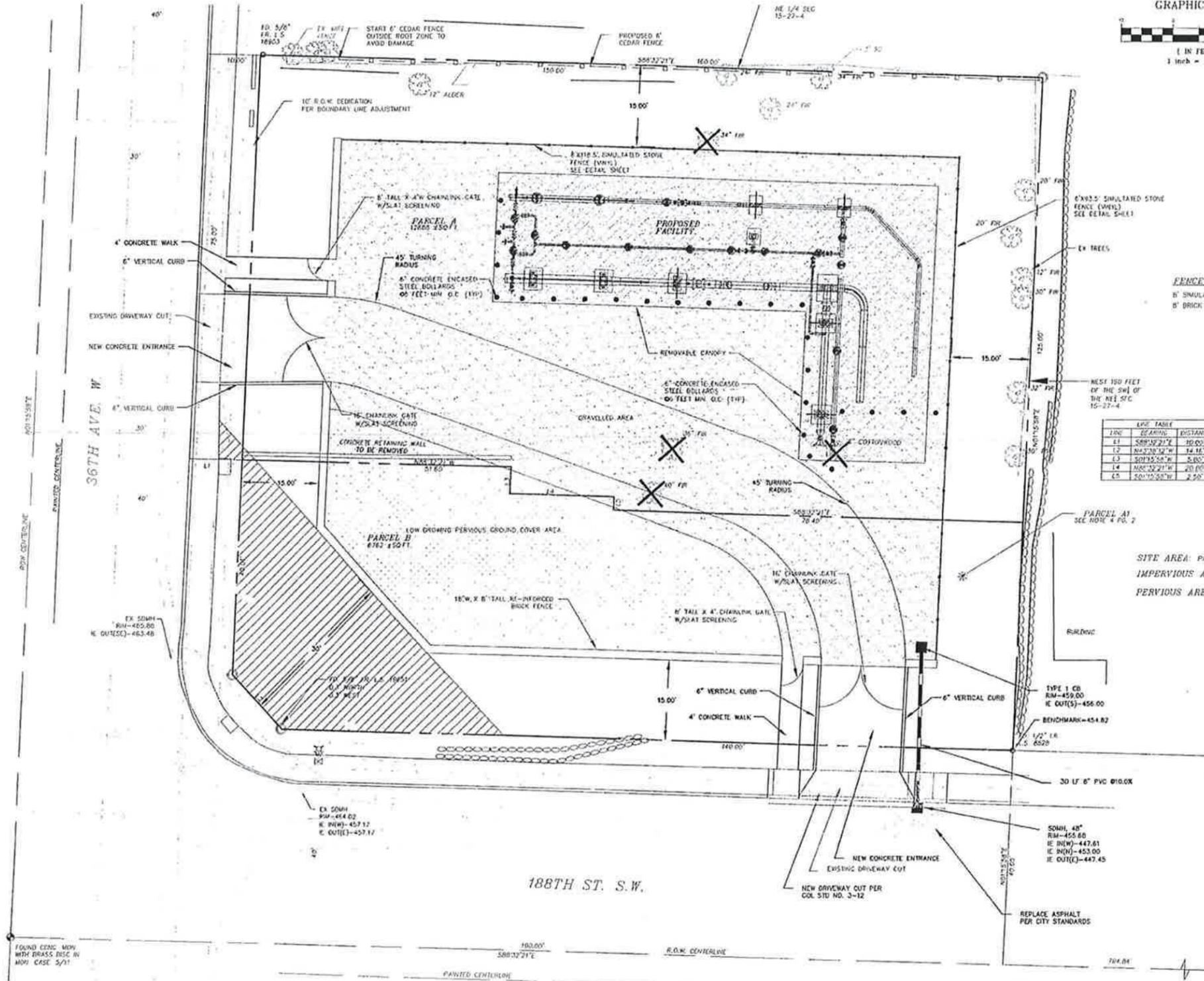
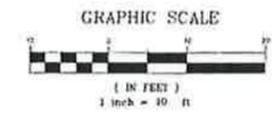
CONCEPTUAL LANDSCAPE, GRADING, DRAINAGE, AND TESC PLANS

SEC. 15, T.27N., R.4E., W.M.

SNOHOMISH COUNTY, WASHINGTON



VICINITY MAP



FENCE LENGTHS:
 8' SIMULATED STONE FENCE (EVEN) 212 LF
 8' BRICK FENCE 143 LF

LINE	BEARING	DISTANCE
1	S89°32'21"E	10.00'
2	N4°30'12"W	14.16'
3	S01°35'54"W	2.60'
4	N00°32'21"W	20.00'
5	S00°10'50"W	2.50'

SITE AREA: PARCEL A AND B: 16,691 SF OR 0.429 ACRES
IMPERVIOUS AREA: 9,471 SF OR 0.217 ACRES
PERVIOUS AREA: 9,220 SF OR 0.212 ACRES

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SHEET INDEX		PG
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5	SCREENING WALL DETAILS	5
6	STANDARD NOTES	6
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L2	CONCEPTUAL LANDSCAPE PLAN	L2
L3	CONCEPTUAL LANDSCAPE PLAN	L3
L4	CONCEPTUAL LANDSCAPE PLAN	L4

SURVEY NOTES:

1. BASIS OF BEARING IS THE WASHINGTON STATE PLANE COORDINATE SYSTEM, NAD 83/91 NORTH ZONE, BASED ON FIELD TIES TO WASHINGTON DOT MONUMENTS. ALL DISTANCES SHOWN ARE GRID DISTANCES USING A CORRECTED PROJECT SCALE FACTOR OF 0.99933619.
2. FIELD WORK WAS DONE IN MAY OF 2011 THROUGH NOVEMBER OF 2011 USING A TRIMBLE 4400/5700 GPS SYSTEM AND A MIRON APL-352 THREE SECOND TOTAL STATION WITH CLOSED TRAVERSE METHODS IN ACCORDANCE WITH W.A.C. 332-130.
3. THE PURPOSE OF THIS SURVEY IS TO CONSOLIDATE THE TWO PARCELS AND ELIMINATE THE INGRESS AND EGRESS EASEMENT CREATED IN DECEMBER OF 1953 UNDER RECORDING NUMBER 1048316.
4. PARCEL 1A IS A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS CREATED UNDER RECORDING NUMBER 1048316 AND WAS FOR THE BENEFIT OF PARCEL A. THIS EASEMENT SHALL BE RELINQUISHED UPON RECORDING OF THIS BOUNDARY LINE ADJUSTMENT.
5. THE LEGAL DESCRIPTION AND MATTERS OF RECORD ARE BASED ON STEWART TITLE GUARANTY COMPANY POLICY NO. 0-2301-001953130.
6. REFERENCE IS MADE TO THE FOLLOWING DOCUMENTS WHICH WERE USED TO CALCULATE AND/OR ASCERTAIN THE BOUNDARY AS SHOWN HEREON:
 SNOHOMISH COUNTY ASSESSORS-MAP
 RECORD OF SURVEY RECORDED PER NO. 200610175105

LEGAL DESCRIPTIONS:

PARCEL A:
 THE EAST 160 FEET OF THE WEST 150 FEET OF THE NORTH 80 FEET OF THE SOUTH 165 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 27 NORTH, RANGE 4 EAST, WM., IN SNOHOMISH COUNTY, WASHINGTON.

ALSO THE EAST 78.40 FEET OF THE WEST 190.00 FEET OF THE NORTH 2.50 FEET OF THE SOUTH 85 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 27 NORTH, RANGE 4 EAST, WM., IN SNOHOMISH COUNTY, WASHINGTON, EXCEPT THAT PORTION THEREOF, DESCRIBED AS FOLLOWS:

THE EAST 61.60 FEET OF THE WEST 91.60 FEET OF THE NORTH 5 FEET OF THE SOUTH 90 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 27 NORTH, RANGE 4 EAST, WM., IN SNOHOMISH COUNTY, WASHINGTON, EXCEPT ANY PORTION THEREOF LYING WITHIN 36TH AVENUE WEST

PARCEL A1:
 A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER THE EAST 15.00 FEET OF THE EAST 160.00 FEET OF THE WEST 100 FEET OF THE SOUTH 82.50 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 27 NORTH, RANGE 4 EAST, WM., IN SNOHOMISH COUNTY, WASHINGTON.

PARCEL B:
 THE EAST 160 FEET OF THE WEST 180 FEET OF THE SOUTH 80 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 27 NORTH, RANGE 4 EAST, WM., IN SNOHOMISH COUNTY, WASHINGTON, EXCEPT THE NORTH 5 FEET OF THE EAST 98.40 FEET THEREOF, AND EXCEPT THE EAST 28.40 FEET OF THE SOUTH 2.50 FEET OF THE NORTH 7.50 FEET THEREOF, AND EXCEPT THAT PORTION CONVEYED TO THE CITY OF LYNNWOOD BY DEEDS RECORDED UNDER RECORDING NUMBERS 7818190238 AND 7818190239

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON



APPLICANT:
 WILLIAMS NORTHWEST PIPELINE
 ATTN: CLAY GUSTAVES
 22900 NE REDMOND FALL CITY RD
 REDMOND WA 98053
 PH:425/868-1010 EXT 2065

ENGINEERS - SURVEYORS
EASTSIDE CONSULTANTS, INC.
 1320 N.W. MALL ST., SUITE B
 ISSAQUAH, WASHINGTON 98027
 PH:(425)302-5351 FAX:392-4616

NO.	DATE	BY	DESCRIPTION	APPROVED BY	DATE
1	11/20/12	BT	REVISION MAP		
1	11/19/12	BT	REV PER CITY COMMENT		
1	11/19/12	BT	REV PER ROW DED.		

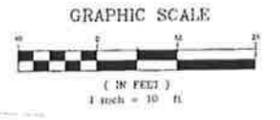
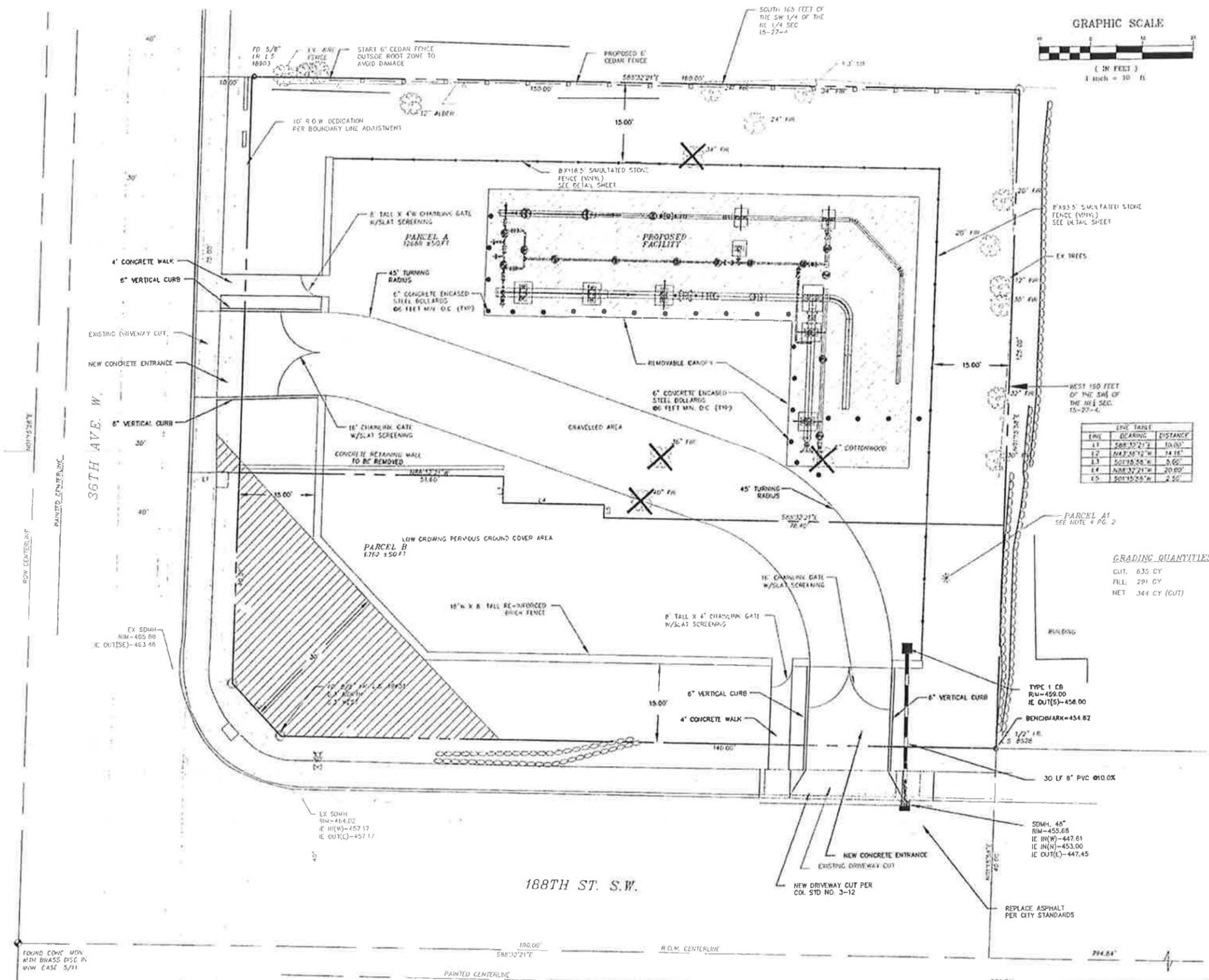
WEST

NORTH SEATTLE PIG RECEIVER SITE

CONCEPTUAL LANDSCAPE, GRADING, DRAINAGE, AND TESC PLANS

SEC. 15, T.27N., R.4E., W.M.

SNOHOMISH COUNTY, WASHINGTON



- SURVEY NOTES:**
1. BASIS OF BEARING IS THE WASHINGTON STATE PLANE COORDINATE SYSTEM, N.A.D. 83/91 NORTH ZONE, BASED ON FIELD TIES TO WASHINGTON DCI MONUMENTS. ALL DISTANCES SHOWN ARE GRID DISTANCES USING A CORRECTED PROJECT SCALE FACTOR OF 0.99993649.
 2. FIELD WORK WAS DONE IN MAY OF 2011 THROUGH NOVEMBER OF 2011 USING A TRIMBLE 4100/5700 GPS SYSTEM AND A NIKON NTL-352 THREE SECOND TOTAL STATION WITH CLOSED TRAVERSE METHODS IN ACCORDANCE WITH W.A.C. 332-130.
 3. THE PURPOSE OF THIS SURVEY IS TO CONSOLIDATE THE TWO PARCELS AND ELIMINATE THE INGRESS AND EGRESS EASEMENT CREATED IN DECEMBER OF 1957 UNDER RECORDING NUMBER 1048316.
 4. PARCEL 1A IS A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS CREATED UNDER RECORDING NUMBER 1048316 AND WAS FOR THE BENEFIT OF PARCEL A. THIS EASEMENT SHALL BE RELINQUISHED UPON RECORDING OF THIS BOUNDARY LINE ADJUSTMENT.
 5. THE LEGAL DESCRIPTION AND MATTERS OF RECORD ARE BASED ON STEWART TITLE GUARANTY COMPANY POLICY NO. 0-9301-001853138.
 6. REFERENCE IS MADE TO THE FOLLOWING DOCUMENTS WHICH WERE USED TO CALCULATE AND/OR ASCERTAIN THE BOUNDARY AS SHOWN HEREOF: SNOHOMISH COUNTY ASSESSORS MAP RECORD OF SURVEY RECORDED FROM NO. 200610175106.

LEVY TABLE

LEVY	BEARING	DISTANCE
L1	S88°32'21"E	10.00'
L2	N43°45'12"W	14.18'
L3	S22°15'58"W	5.00'
L4	N48°32'21"W	20.00'
L5	S01°15'45"W	2.50'

GRADING QUANTITIES:

CUT: 635 CY
 FILL: 291 CY
 NET: 344 CY (CUT)

- LEGAL DESCRIPTIONS:**
- PARCEL A:**
 THE EAST 160 FEET OF THE WEST 160 FEET OF THE NORTH 80 FEET OF THE SOUTH 165 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 27 NORTH, RANGE 4 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON.
- ALSO THE EAST 26.40 FEET OF THE WEST 100.00 FEET OF THE NORTH 2.50 FEET OF THE SOUTH 85 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 27 NORTH, RANGE 4 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON; EXCEPT THAT PORTION THEREOF, DESCRIBED AS FOLLOWS:
- THE EAST 81.80 FEET OF THE WEST 160 FEET OF THE NORTH 5 FEET OF THE SOUTH 80 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 27 NORTH, RANGE 4 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON; EXCEPT ANY PORTION THEREOF LYING WITHIN 36TH AVENUE WEST.
- PARCEL A1:**
 A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER THE EAST 15.00 FEET OF THE EAST 160.00 FEET OF THE WEST 100 FEET OF THE SOUTH 85.00 FEET OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 27 NORTH, RANGE 4 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON.
- PARCEL B:**
 THE EAST 160 FEET OF THE WEST 100 FEET OF THE SOUTH 90 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 27 NORTH, RANGE 4 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON; EXCEPT THE NORTH 5 FEET OF THE EAST 98.40 FEET THEREOF, AND EXCEPT THE EAST 78.40 FEET OF THE SOUTH 2.50 FEET OF THE NORTH 7.50 FEET THEREOF; AND EXCEPT THAT PORTION CONVEYED TO THE CITY OF LYNNWOOD BY DEEDS RECORDED UNDER RECORDING NUMBERS 7810190236 AND 7810190239.
- SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON



ENGINEERS - SURVEYORS
EASTSIDE CONSULTANTS, INC.

1320 N.W. MALL ST., SUITE B
 ISSAQUAH, WASHINGTON 98027
 PH: (425) 392-5351 FAX: (425) 392-4676

NO.	DATE	BY	REVISION/DESCRIPTION	APPROVED BY	DATE
1	11/20/12	RT	REV. PER CITY COMMENT		
2	11/19/12	RT	REV. PER ROW DEED		

NORTHWEST PIPELINE CORPORATION
 NORTH SEATTLE PIG RECEIVER SITE
 CONCEPTUAL GRADING AND DRAINAGE PLAN
 SEC. 15, T.27N., R.4E., W.M.
 SNOHOMISH COUNTY, WA

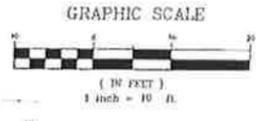
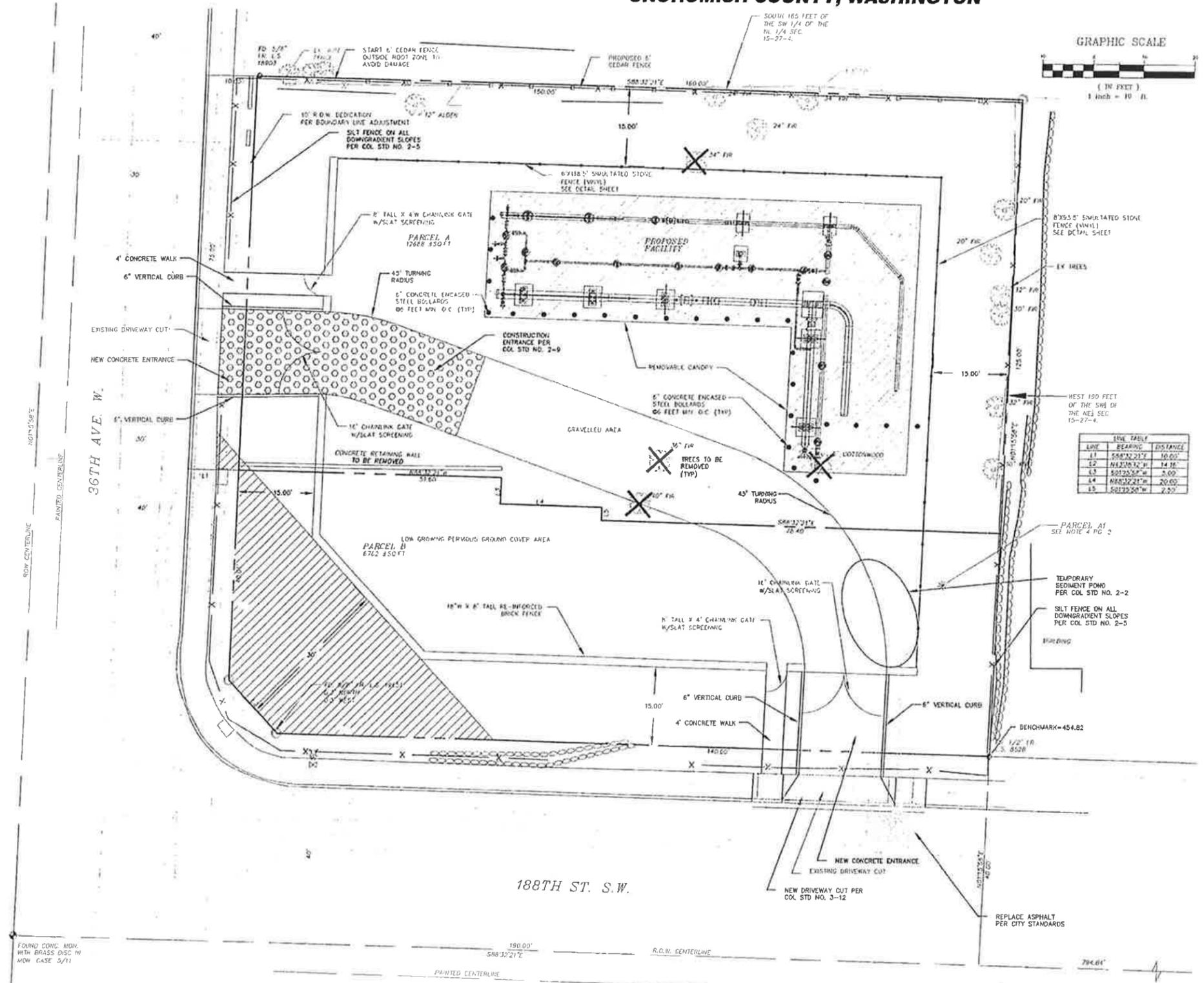
APPLICANT:
 WILLIAMS NORTHWEST PIPELINE
 ATTN: CLAY GUSTAVES
 22905 NE REDMOND TALL CITY RD.
 REDMOND WA 98053
 PH: (425) 868-1010 EXT. 2065

NORTH SEATTLE PIG RECEIVER SITE

CONCEPTUAL LANDSCAPE, GRADING, DRAINAGE, AND TESC PLANS

SEC. 15, T.27N., R.4E., W.M.

SNOHOMISH COUNTY, WASHINGTON



LINE	BEARING	DISTANCE
11	S88°22'21"W	160.00'
12	N43°28'52"W	14.76'
13	S01°22'52"W	5.00'
14	N88°22'21"W	20.00'
15	S01°22'52"W	2.50'

SURVEY NOTES:

1. BASIS OF BEARING IS THE WASHINGTON STATE PLANE COORDINATE SYSTEM, NAD 83/91 NORTH ZONE, BASED ON FIELD TIES TO WASHINGTON DOT MONUMENTS. ALL DISTANCES SHOWN ARE GRID DISTANCES USING A COMBINED PROJECT SCALE FACTOR OF 0.99993649.
2. FIELD WORK WAS DONE IN MAY OF 2011 THROUGH NOVEMBER OF 2011 USING A TRIMBLE 4400/5700 GPS SYSTEM AND A NIKON NPL-352 THREE SECOND TOTAL STATION WITH CLOSED TRAVERSE METHODS IN ACCORDANCE WITH W.A.C. 332-130.
3. THE PURPOSE OF THIS SURVEY IS TO CONSOLIDATE THE TWO PARCELS AND ELIMINATE THE INGRESS AND EGRESS EASEMENT CREATED IN DECEMBER OF 1952 UNDER RECORDING NUMBER 1048316.
4. PARCEL 1A IS A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS CREATED UNDER RECORDING NUMBER 1048316 AND WAS FOR THE BENEFIT OF PARCEL A. THIS EASEMENT SHALL BE RELINQUISHED UPON RECORDING OF THIS BOUNDARY LINE ADJUSTMENT.
5. THE LEGAL DESCRIPTION AND MATTERS OF RECORD ARE BASED ON STEWART TITLE GUARANTY COMPANY POLICY NO. 0-9301-001853136.
6. REFERENCE IS MADE TO THE FOLLOWING DOCUMENTS WHICH WERE USED TO CALCULATE AND/OR ASCERTAIN THE BOUNDARY AS SHOWN HEREON: SNOHOMISH COUNTY ASSESSORS MAP RECORD OF SURVEY RECORDED PER NO. 200610175100.

LEGAL DESCRIPTIONS:

PARCEL A:
 THE EAST 160 FEET OF THE WEST 180 FEET OF THE NORTH 80 FEET OF THE SOUTH 165 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 27 NORTH, RANGE 4 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON;
 ALSO THE EAST 78.40 FEET OF THE WEST 180.00 FEET OF THE NORTH 2.50 FEET OF THE SOUTH 85 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 27 NORTH, RANGE 4 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON;
 EXCEPT THAT PORTION THEREOF, DESCRIBED AS FOLLOWS:
 THE EAST 61.60 FEET OF THE WEST 91.60 FEET OF THE NORTH 5 FEET OF THE SOUTH 90 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 27 NORTH, RANGE 4 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON,
 EXCEPT ANY PORTION THEREOF LYING WITHIN 36TH AVENUE WEST

PARCEL A1:
 A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER THE EAST 15.00 FEET OF THE EAST 160.00 FEET OF THE WEST 100 FEET OF THE SOUTH 82.50 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 27 NORTH, RANGE 4 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON;

PARCEL B:
 THE EAST 160 FEET OF THE WEST 180 FEET OF THE SOUTH 90 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 27 NORTH, RANGE 4 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON;
 EXCEPT THE NORTH 5 FEET OF THE EAST 98.40 FEET THEREOF, AND EXCEPT THE EAST 78.40 FEET OF THE SOUTH 2.50 FEET OF THE NORTH 7.50 FEET THEREOF; AND
 EXCEPT THAT PORTION CONVEYED TO THE CITY OF LYNNWOOD BY DEEDS RECORDED UNDER RECORDING NUMBERS 7010190238 AND 7010190239.
 SITUATE IN THE COUNTY OF SNOHOMISH STATE OF WASHINGTON



APPLICANT:
 WILLIAMS NORTH-WEST PIPELINE
 ATTN: CLAY GUSTAVES
 22909 NE REDMOND FALL CITY RD
 REDMOND WA 98053
 PH: (425) 868-1010 EXT. 2065

ENGINEERS - SURVEYORS
EASTSIDE CONSULTANTS, INC.
 1320 N.W. MALL ST., SUITE B
 ISSAQUAH, WASHINGTON 98027
 PH: (425) 392-5351 FAX: 392-4676

NO.	DATE	BY	REVISIONS
1	11/27/12	WJ	REV. PER CITY COMMENT
2	11/15/12	WJ	REV. PER ROW DEED

DRAWN BY: WJ
 CHECKED BY: WJ
 APPROVED BY: WJ

PROJECT: NORTH SEATTLE PIG RECEIVER SITE
 SHEET: 1 OF 1

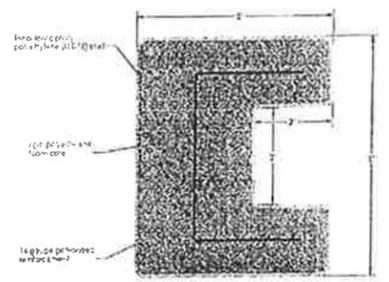
NORTH SEATTLE PIG RECEIVER SITE

CONCEPTUAL LANDSCAPE, GRADING, DRAINAGE, AND TESC PLANS

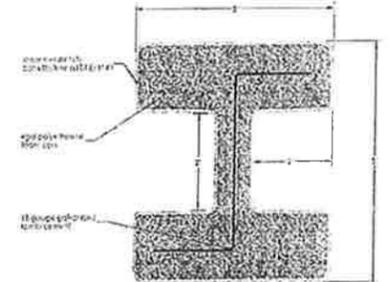
SEC. 15, T.27N., R.4E., W.M.

SNOHOMISH COUNTY, WASHINGTON

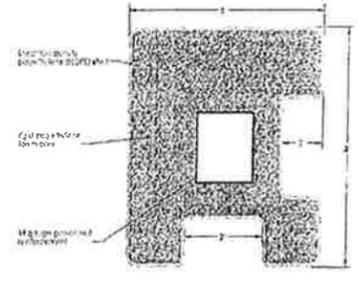
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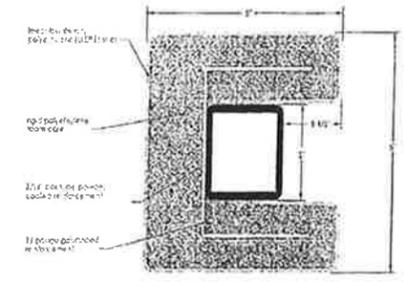
Stone Look™ Specifications
LINE-POST



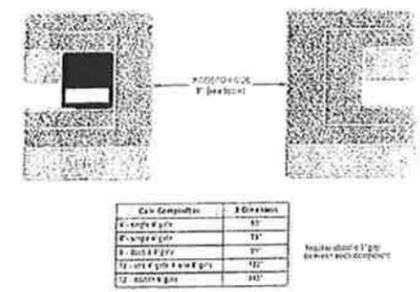
Stone Look™ Specifications
CORNER-POST



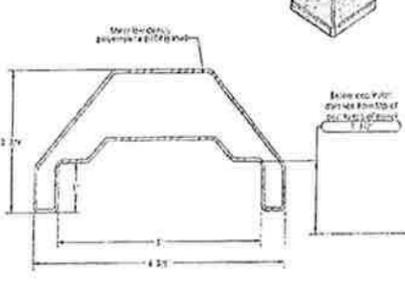
Stone Look™ Specifications
GATE-POST



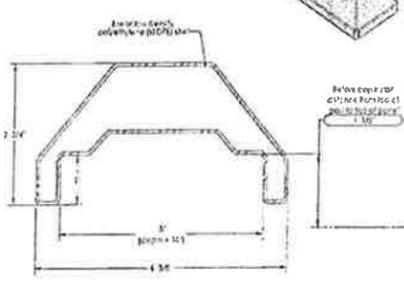
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GATE POST OPENING



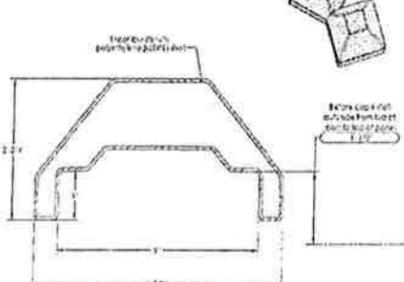
Stone Look™ Specifications
SINGLE CAP



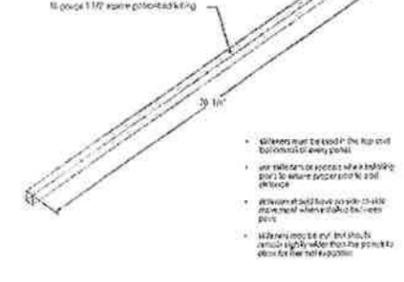
Stone Look™ Specifications
DOUBLE CAP



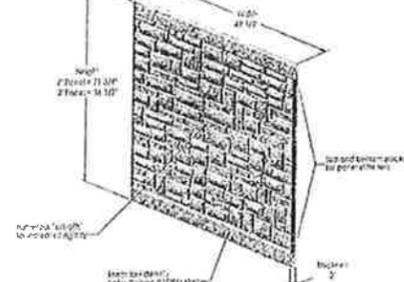
Stone Look™ Specifications
DOUBLE ANGLE CAP



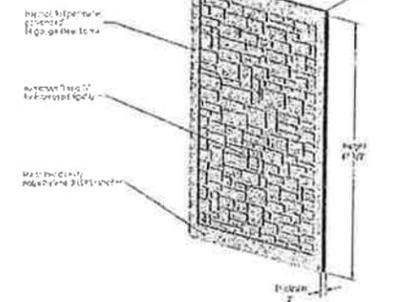
Stone Look™ Specifications
PANEL STIFFENER



Stone Look™ Specifications
Panels



Stone Look™ Specifications
Gates



APPLICANT:
WILLIAMS NORTHWEST PIPELINE
ATTN: CLAY GUSTAVES
2709 NE REDMOND FALL CITY RD
REDMOND WA 98053
PH(425)868-1010 EXT.2065



ENGINEERS - SURVEYORS
EASTSIDE CONSULTANTS, INC.

1320 N.W. MALL ST., SUITE B
ISSAQUAH, WASHINGTON 98027
PH(425)392-5351 FAX(425)392-4676

NO.	DATE	BY	REVISION	APPROVED BY	DATE
1	11/26/12	RF	REV FOR CITY COMMENT		
2	11/19/12	RF	REV FOR NWA DEU		

PROJECT NO.	DATE	PROJECT	SCALE
1213	12/12	SCREENING WALL DETAILS	AS SHOWN

NORTHWEST PIPELINE CORPORATION
NORTH SEATTLE PIG RECEIVER SITE
SCREENING WALL DETAILS
SEC. 15, T.27N., R.4E., W.M.
SNOHOMISH COUNTY, WA



NORTH SEATTLE PIG RECEIVER SITE

CONCEPTUAL LANDSCAPE, GRADING, DRAINAGE, AND TESC PLANS

SEC. 15, T.27N., R.4E., W.M.

SNOHOMISH COUNTY, WASHINGTON

GENERAL NOTES
(Revised June 2011)

1. All work and materials shall be according to the latest edition of "Standard Specifications for Municipal Public Works Construction" prepared by Washington State chapter, American Public Works Association (APWA), Washington State Department of Transportation (WSDOT), City of Lynnwood Standard Plans and Plan Notes, Specifications and any conditions of approval. It shall be the sole responsibility of the applicant and the Professional Engineer of Record to correct any error, omissions, or variation from the above requirements found in these plans. All corrections shall be at no additional cost or liability to the City of Lynnwood.
2. All construction is subject to inspection by the City of Lynnwood. The contractor shall notify the City of their schedule in sufficient time to permit inspection prior to and during work. 24 hours notification is required for all inspections. Call 425-670-5201 for inspection requests.
3. Before issuance of permits, construction or any development activity, a preconstruction meeting is required between the City of Lynnwood Inspector, the Applicant and the Applicant's construction representative. Request a preconstruction meeting on the City of Lynnwood Public Works Inspection Line at 425-670-5201.
4. All work within the site and City of Lynnwood right of way shall be subject to inspection by the City's Inspector. The contractor shall notify the City Inspector in sufficient time to permit inspection prior to and during work.
5. Conflicts shall be brought to the attention of the developer's engineer and permitting agency and shall be resolved prior to proceeding with construction.
6. Work not ready for a requested inspection upon the arrival of the City of Lynnwood inspector must be rescheduled for inspection and a re-inspection fee may be imposed.
7. The contractor shall keep 3 sets of plans on site at all times for recording "As-Built" information. One set shall be submitted to the developer's engineer and one set to the City of Lynnwood at the completion of construction. In addition, a survey shall be provided as necessary.
8. The City of Lynnwood shall be provided, "As-Built" plans as required at the completion of construction stamped and signed by a licensed surveyor and/or the design engineer, verifying the information as provided by the contractor and/or the surveyor upon completion of the project. As Built shall be provided in the following forms: 1 set of prints and electronic copy (CAD and pdf).
9. The location of utilities is approximate. The contractor shall be responsible for verifying the location of existing utilities prior to construction. Utilities shown here are for the purpose of assisting the contractor in locating said utilities. The contractor shall contact the underground utilities location center (1-800-424-5555) 48 hours minimum prior to the beginning of construction and obtain on-site utilities locations. Conflicts shall be brought to the attention of the engineer and shall be resolved prior to proceeding with construction.
10. The contractor shall be responsible for obtaining all applicable permits and easements as required by the City of Lynnwood Public Works Department.
11. Construction noise shall be limited as per Lynnwood Municipal Code (Section 10.12.300) from 7am to 6pm (M-F). Weekend work prohibited unless approved per LMC10.12.300.
12. Datum shall be City of Lynnwood (NAVD88) unless otherwise approved by the Director of Public Works. The Benchmark shall tie to the City of Lynnwood Benchmark list.
13. Approval must be obtained from the Department of Public Works before any structures, fill or obstructions, including fences, are located within any drainage easement, flood plain or Native Growth Protection Easement. Structures shall not be permitted within 15 feet of the top of bank of any channel or pond (LMC13.40.070).
14. Where construction is carried out in areas not specified on the plans and which have existing improvements, appropriate measures shall be taken to restore such areas to conditions existing prior to construction or as required by The City of Lynnwood Department of Public Works.
15. Off site premise staging or storage areas shall require a written release from the affected property owner. In addition, a release from the City shall be required designating that damage to City property is negligible or non-existent.
16. The contractor shall take all necessary precautions for the safety of employees on the project and shall comply with all applicable provisions of federal, state, and municipal safety laws and building codes. The contractor shall erect and properly maintain, at all times, as required by the conditions and progress of the work, all necessary safeguards for protection of workers and the public; shall post danger signs warning against known or unusual hazards; and shall designate a responsible member of their organization on the construction site whose duty shall be the prevention of accidents.
17. The developer shall provide street name and traffic control signs (e.g. stop or dead end). All traffic markings and signage to be per the current Manual on Uniform Traffic Control Devices and City of Lynnwood current standards. Signs are to be installed by the developer prior to any building construction within the project site.

TEMPORARY EROSION AND SEDIMENT CONTROL STANDARD NOTES

1. Refer to GENERAL PLAN NOTES for additional requirements.
2. Approval of this erosion/sedimentation control (ESC) plan does not constitute an approval of permanent road or drainage design (e.g. size and location of roads, pipes, restrictors, channels, retention facilities, utilities, etc.).
3. The implementation of these ESC plans and the construction, maintenance, replacement, and upgrading of these ESC facilities is the responsibility of the applicant/contractor until all construction is approved, and the potential for on-site erosion has passed.
4. The boundaries of the clearing limits shown on this plan (including individual trees to be saved) shall be clearly flagged in the field prior to construction. During the construction period, no disturbance beyond the flagged clearing limits shall be permitted. The flagging shall be maintained by the applicant/contractor for the duration of construction.
5. The ESC facilities shown on this plan must be constructed as outlined on the typical construction sequence and in such a manner as to insure that sediment laden water does not enter the drainage system or violate applicable water standards.
6. The ESC facilities shown on this plan are the minimum requirements for anticipated site conditions. During the construction period, these ESC facilities shall be upgraded (e.g. additional sumps, relocation of ditches and silt fences, etc.) as needed for unexpected storm events.
7. Construction access to the site shall be only as shown on the approved plans. All vehicles leaving the site, onto public rights of way, shall be cleaned to prevent "tracking" of mud, dirt or other debris.
8. The Contractor shall sweep access streets and right-of-way at least daily or more frequently as may be necessary and so directed by the City.
9. Clean or remove and replace inlet protection devices when sediment has filled one-third of the available storage. All catch basins and conveyance lines shall be cleaned prior to paving. The cleaning operation shall not flush sediment laden water into the downstream system.
10. Stockpiles are to be located in safe areas and adequately protected by temporary secured plastic cover, seeding or mulching. Hydroseeding is preferred.
11. Where straw mulch for temporary erosion control is required, it shall be applied at a minimum thickness of two inches.
12. Any area stripped of vegetation, including roadway embankments, where no further work is anticipated for a period of 2 days during the wet season or 7 days during the dry, shall be immediately stabilized with the approved ESC methods (e.g. seeding, mulching, netting, erosion blankets, etc.).
13. Vegetation shall be established on areas disturbed or on areas of construction as necessary to minimize erosion. Areas to be rough graded with finished grading to follow near project completion are to be seeded with annual, perennial or hybrid rye grass. This also includes perimeter dikes and the sediment basin embankment. Hydroseeding is preferred.
14. Immediately following finish grading, permanent vegetation will be applied as approved per the approved plans, current WSDOT standards and specifications and the City of Lynnwood requirements.

STANDARD GRADING NOTES

1. Refer to GENERAL PLAN NOTES for further requirements.
2. Grading shall not result in any additional water to adjoining property. If additional water does result, the applicant will submit a plan of corrective action for City approval and will commence with that action immediately upon notice from City.
3. The Contractor shall obtain approval for all fill and road construction material within the City of Lynnwood right of way from the Director of Public Works prior to its use.
4. The Contractor shall be responsible for maintaining and repairing existing improvements, as required, until construction is approved by the City of Lynnwood Public Works Department.
5. The City shall verify and approve all backfill trenches and roadway subgrade prior to paving. The City of Lynnwood is to be provided with the density report from a certified "Testing lab" showing satisfactory compaction per WSDOT 2-08.3(14)D. All subgrade preparatory requirements shall conform to section 2-06 of the Washington State Standard Specifications for Road, Bridge and Municipal Construction.
6. A preconstruction soils investigation shall be required as needed to evaluate soils stability.
7. The maximum cut/fill slope shall not exceed two feet horizontal to one foot vertical unless otherwise approved by the Director of Public Works. At no time shall the toe of any fill slope be nearer to the property line than 1/2 the fill height with a minimum of 2 feet. Cut slopes shall not be nearer to a property line than 1/5 the height of the cut with a minimum of 2 feet.
8. All retaining structures four (4) feet in height or carrying a surcharge shall be designed by a Professional Engineer experienced in soils mechanics.
9. A performance bond is required for concurrently reviewed early grade permits. The bond shall be received prior to the issuance of the early grade permit and shall not be released until approved by the City of Lynnwood Director of Public Works.
10. All native growth protection areas shall be left in a substantially natural state. No clearing, grading, filling, building construction or placement, fence construction, or road construction of any kind shall occur within these areas; provided that underground utility lines and drainage discharge swales may cross such areas utilizing the shortest alignment possible if, and only if, no feasible alignment is available which would avoid such a crossing. Removal of vegetation by the property owner shall be limited to that which is dead, diseased or hazardous, and then only with the permission of the City of Lynnwood Department of Public Works.
11. Special inspection by an approved geotechnical firm is required as directed by the City of Lynnwood Director of Public Works. Inspection reports shall be submitted to the City of Lynnwood for review, comment and approval prior to Public Works final approval of the work.

STORM DRAINAGE NOTES

1. See GENERAL PLAN NOTES for additional requirements.
2. All required storm water retention/detention facilities shall be constructed and operable prior to paving and building construction unless otherwise approved by Lynnwood Department of Public Works.
3. All pipes within the public right-of-way shall meet current WSDOT/APWA standards and specifications and/or as approved by the Director of Public Works and shall be installed per WSDOT section 7-08.
4. Backfill shall be placed equally on both sides of the pipe or pipe-arch in layers with a loose average depth of 6 inches, compacted to a density of 95%. Refer to WSDOT Sid. Spec. 7-08 3(3) and Std. Spec. 2-03 3(14)C, Method B & C.
5. Where shown on the plans or where directed by the Engineer or Director of Public Works, the existing manholes, catch basins, or inlets shall be adjusted to the grade as staked. All pipe and structures shall be staked to survey line and grade prior to the start of construction. All conflicts shall be brought to the attention of the Engineer and Director of Public Works prior to commencing construction.
6. All storm catch basins with a depth over 5 feet to flow line shall be Type 2 structures per current WSDOT/APWA standards. All Type 1 and 2 structures shall be provided with locking bolts. Ladder access is required on all Type 2 structures when 4 feet or greater in depth as measured to the inside finish floor or as approved by the Director of Public Works.
7. Developer to provide a certified electronic video record of storm drainage construction after final cleaning. Final cleaning as required Per WSDOT Spec 7-04 3(1) and as directed by the City of Lynnwood Public Works Inspector.
8. Drainage outlets (stub-outs) shall be provided for each individual lot, unless otherwise approved by the City of Lynnwood. Stub-outs shall conform to the following:
 - a) Each outlet shall be suitably located at the lowest elevation on the lot, so as to service all future roof downspouts and footing drains, driveways, yard drains, and any other surface or subsurface drains necessary to render the lots suitable for their intended use.
 - b) Each outlet shall have free flowing, positive drainage to an approved storm water conveyance system or an approved outfall location.
 - c) Outlets on each lot shall be located with a pressure treated 2"x4". Each marker board shall be clearly identifiable, protected and stubbed 5 feet above the finish grade.
 - d) All pipe material shall conform to the approved plans and/or current WSDOT/APWA standards and specifications. All substitutions are subject to approval by the Engineer and City of Lynnwood Director of Public Works prior to construction.
 - e) 12 to 14 gauge tracer wire or locating tape shall be installed as required by the City of Lynnwood Public Works Inspector.
 - f) Drainage easements are required for drainage systems designed to convey flows through individual lots. Verification and approval is required prior to construction.
 - g) The applicant/contractor is responsible for coordinating the locations of all stub-out conveyance lines with respect to the utilities (e.g. power, gas, telephone, television).
 - h) All individual stub-outs shall be privately owned and maintained by the lot home owner, shall be a minimum of 4 inch diameter, and shall be provided with backflow protection as required.

APPLICANT:
WILLIAMS NORTHWEST PIPELINE
ATTN: CLAY GUSTAVES
22609 NE REDMOND FALL CITY RD.
REDMOND WA 98053
PH:425J856-1010 EXT.2065



ENGINEERS - SURVEYORS
EASTSIDE CONSULTANTS, INC.

1320 N.W. MALL ST., SUITE B
ISSAQUAH, WASHINGTON 98027
PH: (425) 352-5351 FAX: 352-4676

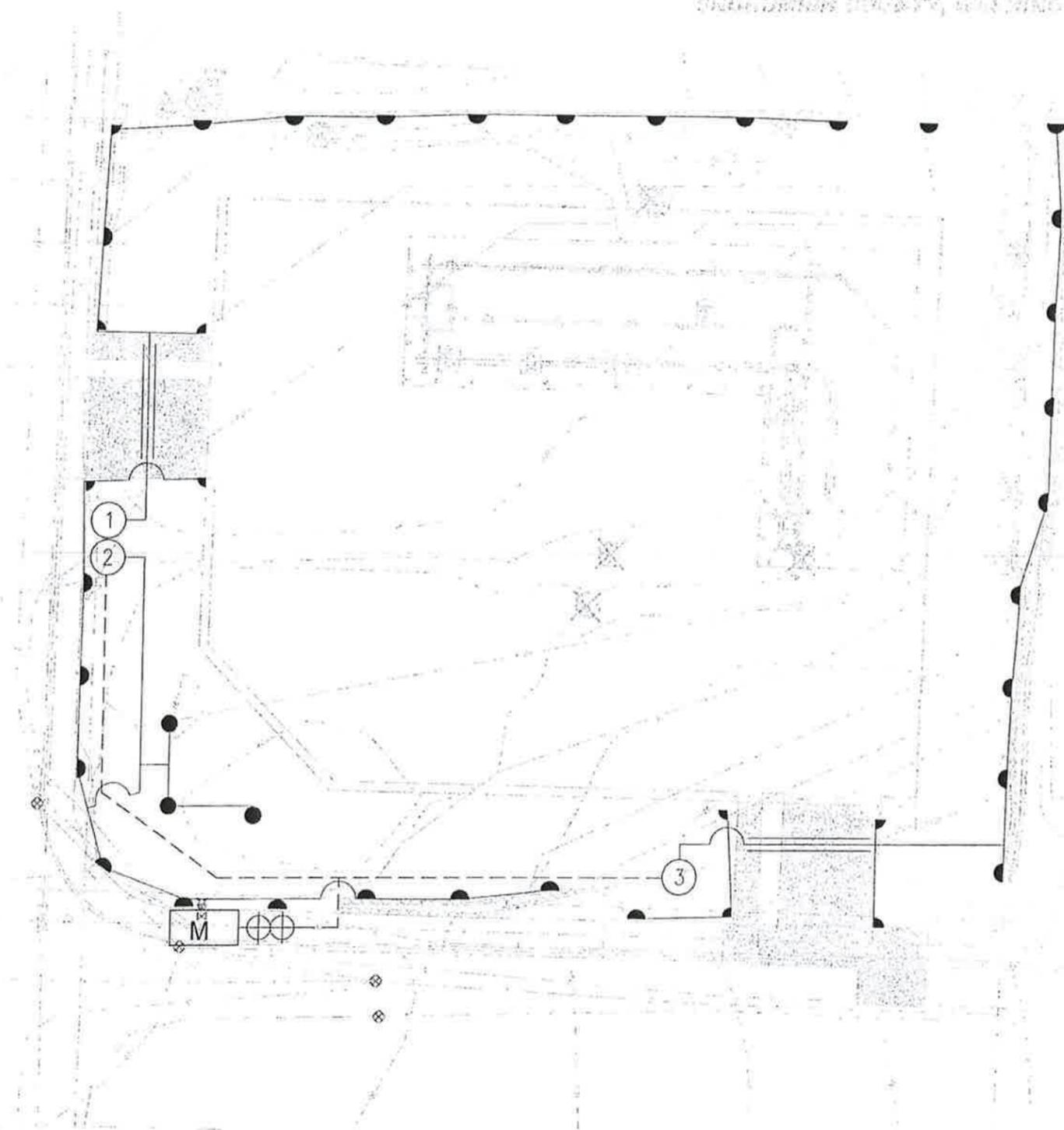
DATE		BY		REVISION	
11/18/12	11/18/12	REV	REV	REV	REV
11/18/12	11/18/12	REV	REV	REV	REV

NORTHWEST PIPELINE CORPORATION
NORTH SEATTLE PIG RECEIVER SITE
STANDARD NOTES
SEC. 15, T.27N., R.4E., W.M.
SNOHOMISH COUNTY, WA

Williams

NORTH BEATTLE PARK RECREATION SITE
 CONCEPTUAL LANDSCAPE DESIGN, IRRIGATION, MAINTENANCE AND TRENCHING
 SEC. 15, T. 10N., R. 10E., S.W. 1/4
 SHELTON COUNTY, WASH. COUNTY

EXHIBIT 1.7



EQUIPMENT SCHEDULE

SYMBOL	CATALOG NUMBER	DESCRIPTION	PSI	RAD
• • •	MPR40-06-CV-MP2000	Hunter Pop-up w/ MP Rotor Nozzles	30	15'
⊙	150 - PGA	HUNTER AUTOELECTRIC CONTROL VALVES		
⊙	ESP-SMT-16	HUNTER X-CORE SOLAR SYNC CONTROL CLOCK		
⊙		NEW IRRIGATION DEDUCT METER		
⊙	44-DC	RAINBIRD 440C QUICK COUPLER ASSEMBLY		
⊙		RED-WHITE VALVE CORPORATION BALL VALVES		
---	SCH 40	SOLVENT WELD PVC MAINLINE, SIZE AS SHOWN		
---	CLASS 200	SOLVENT WELD PVC LATERAL LINE, SIZE AS SHOWN		
		RAIN SENSOR TO BE INSTALLED ON ROOF OF CLERGY OFFICE		

VALVE SCHEDULE

VALVE NO.	SIZE	GPM	DESCRIPTION
1	1"	21.22	SHRUB ZONE
2	1"	21.22	SHRUB ZONE
3	1"	21.22	SHRUB ZONE
4-B	NA	NA	EMPTY SPARE

GENERAL NOTES

1. ALL PIPING IS DIAGRAMATIC IN NATURE. PIPES SHALL SHARE TRENCHES WHERE POSSIBLE, AND SEPARATE COMMON PIPING BY 6" MINIMUM.
2. ADJUST SPRAY PATTERNS FOR MAXIMUM COVERAGE AND MINIMUM OVERSPRAY.
3. IRRIGATION CONTRACTOR TO PROVIDE IRRIGATION CLOCK/CONTROLLER, AND INSTALLATION.
4. GENERAL CONTRACTOR TO PROVIDE AND INSTALL ALL CONDUIT TO CLOCK LOCATION FROM POLE MOUNTED TRANSFORMER. COORDINATE WITH OWNER AND PSE FOR HOOK UP. CONTRACTOR RESPONSIBLE FOR ELECTRICAL PERMIT FOR CONNECTION TO POWER. CONTRACTOR SHALL SET SUB PANEL FOR POWER IN ADJACENT STAINLESS STEEL PEDESTAL MOUNT.
5. GENERAL CONTRACTOR SHALL PROVIDE POWER SOURCE FOR CLOCK AND WIRED BY ELECTRICAL CONTRACTOR PER ELECTRICAL CODE REQUIREMENTS.
6. IRRIGATION CONTRACTOR TO PROVIDE AND INSTALL ALL REQUIRED PLUMBING SLEEVES UNDER ALL HARD SURFACES, SUCH AS ASPHALT, CONCRETE SIDEWALKS, AND ANY OTHER HARD SURFACE.
7. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PUBLIC UTILITIES AND PRIVATE UTILITIES ON SITE PRIOR TO CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT OF ALL DISCREPANCIES.
8. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND APPROPRIATE SAFETY REGULATIONS.

SUGGESTED SCHEDULE FOR PIPE SIZE

1. CONTRACTOR TO SIZE ALL LATERAL PIPES PER VOLUMES INDICATED BELOW. SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
 2. ALL LATERAL LINES SHALL BE CLASS 200 PVC, WITH MANUFACTURERS LABEL, DATE OF PRODUCTION, AND CLASS OF PIPE.
 3. ALL FITTING TO BE PVC SCHEDULE 40.
 4. ALL THREADED FITTINGS SHALL BE TAPED WITH TEFLON TAPE.
- | | |
|------------|-----------|
| 3/4" PVC | 0-5 GPM |
| 1" PVC | 6-13 GPM |
| 1 1/4" PVC | 14-23 GPM |
| 1 1/2" PVC | 24-33 GPM |
| 2" PVC | 34-48 GPM |
| 2 1/2" PVC | 45-80 GPM |

IRRIGATION PLAN
 SCALE: 1" = 30'-0"

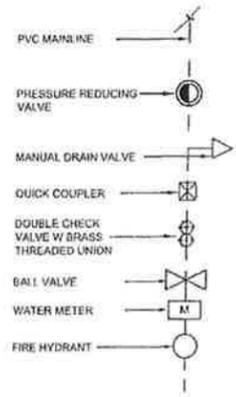


ERIC J. SWEET
 LICENSE NO. 856
 EXPIRES 1/23/2014

ENGINEERS - SURVEYORS
EASTSIDE CONSULTANTS, INC.
 1320 N.W. MALL ST., SUITE D
 ISSAQUAH, WASHINGTON 98027
 PH: (425) 952-5351 FAX: (425) 952-4676

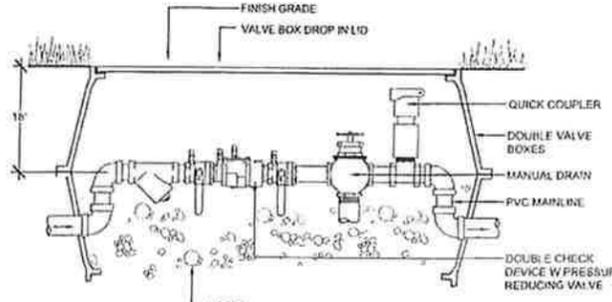
DATE: 11/11/13	PROJECT: NORTH BEATTLE PARK RECREATION SITE	CLIENT: SHELTON COUNTY
DRAWN BY: [Name]	CHECKED BY: [Name]	DATE: 11/11/13
DESIGNED BY: [Name]	DATE: 11/11/13	SCALE: AS SHOWN

NORTH SEATTLE PUD RECEIVERN SITE
 CONCEPTUAL LANDSCAPE, GRADING, DRAINAGE AND IRRIGATION
 SEP. 15, 2010, 11 AM, 11:15
 5100004, 1000 1, 100000, 1000000000



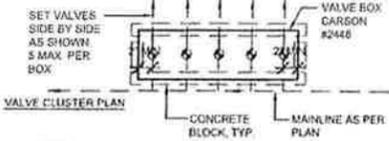
NOTE: ALL FITTINGS AND PIPE BETWEEN HYDRANT AND PRESSURE REDUCING VALVE SHALL BE OF BRASS MATERIALS

1 POINT OF CONNECTION
NOT TO SCALE



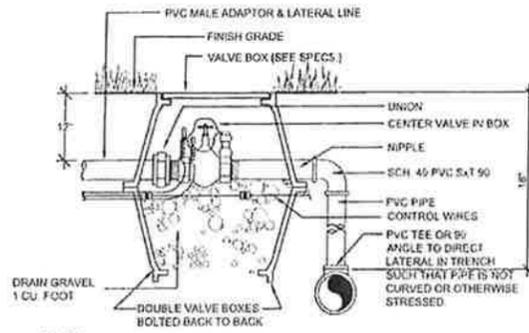
NOTES:
 1. USE TEFLON TAPE FOR ALL THREADED PIPE CONNECTIONS
 2. ALL PIPING BETWEEN 2" PRESSURE REDUCER AND METER SHALL BE BRASS

2 DOUBLE CHECK DEVICE
NOT TO SCALE



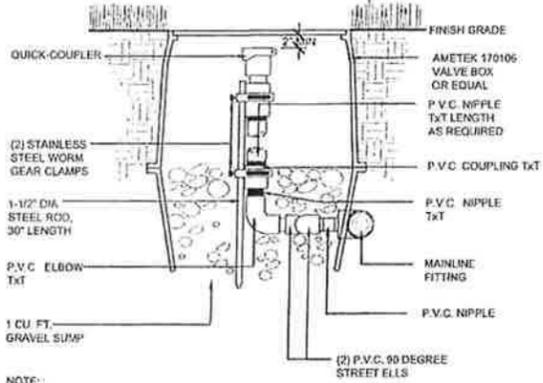
NOTES:
 1. USE TEFLON TAPE FOR ALL THREADED PIPE CONNECTIONS
 2. ALL WIRES TO BE INSTALLED AS PER LOCAL CODES. NO "IN-LINE" WIRE SPLICES WILL BE ALLOWED.

3 CONTROL VALVE CLUSTER
NOT TO SCALE



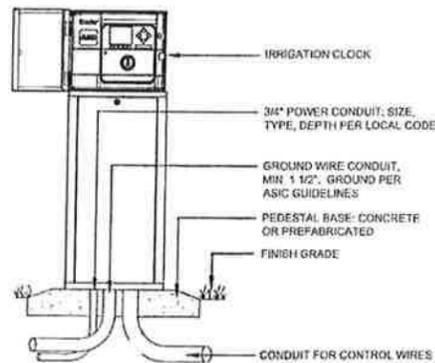
NOTES:
 1. USE TEFLON TAPE FOR ALL THREADED PIPE CONNECTIONS
 2. ALL WIRES TO BE INSTALLED AS PER LOCAL CODES. NO "IN-LINE" WIRE SPLICES WILL BE ALLOWED.

4 ELECTRIC CONTROL VALVE
NOT TO SCALE

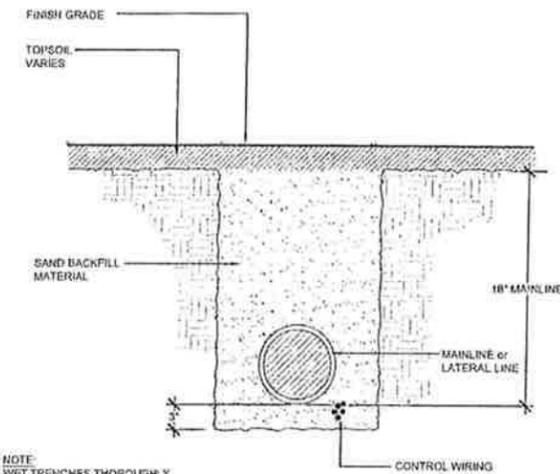


NOTE:
 1. USE TEFLON TAPE ON ALL THREADED CONNECTIONS

5 QUICK COUPLER VALVE
NOT TO SCALE

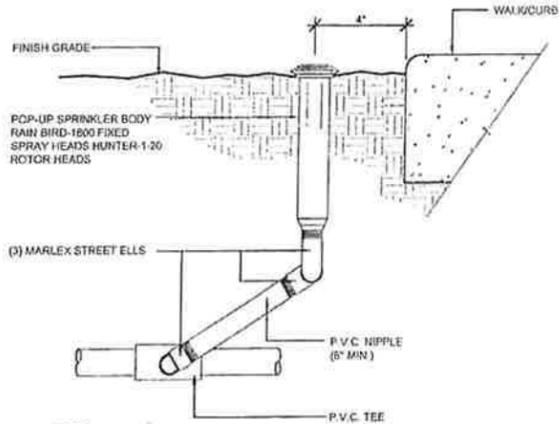


6 PEDESTAL CONTROLLER
NOT TO SCALE



NOTE:
 WET TRENCHES THOROUGHLY FOLLOWING BACKFILL PROCEDURE BACKFILL TO PREVENT FUTURE VALVE BOXES BOLTED BACK TO BACK

7 MAINLINE BEDDING
NOT TO SCALE



NOTES:
 1. NIPPLE AND STREET ELL DIAMETERS SHALL EQUAL INLET SIZE SPRAY BODY

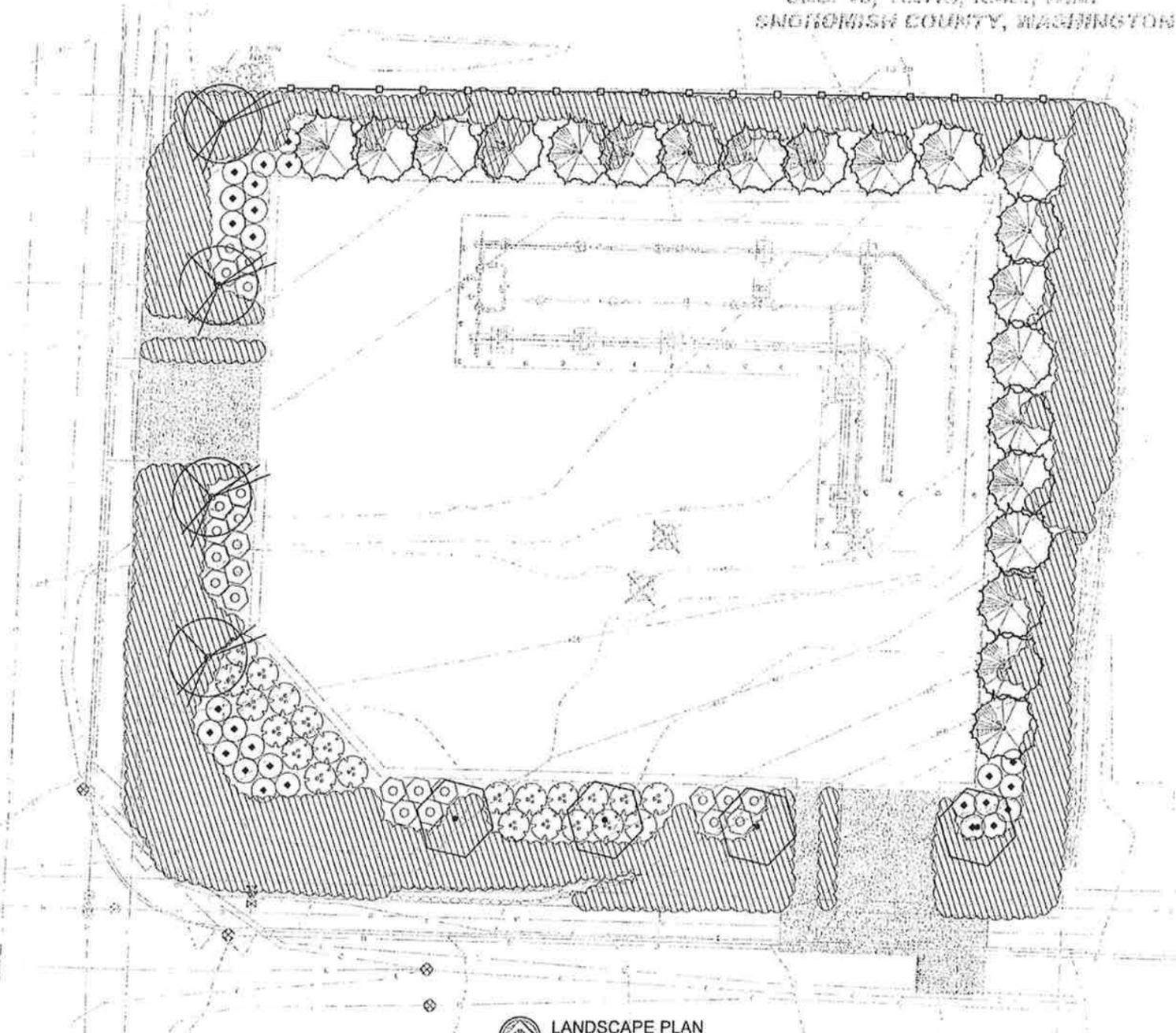
8 POPUP SPRINKLER BODY
NOT TO SCALE



ERIK J. SWEET
 LICENSE NO. 858
 EXPIRES 1/23/2014

<p align="center">ENGINEERS - SURVEYORS EASTSIDE CONSULTANTS, INC. 1320 N.W. MALL ST., SUITE B ISSAQUAH, WASHINGTON 98027 PH(425)392-5551 FAX(425)392-4676</p>		<p>PROJECT: NORTH SEATTLE PUD RECEIVERN SITE DRAWING NO: 1000 1 DATE: 09/15/10 SHEET NO: 11 OF 12</p>	<p>REGISTERED PROFESSIONAL CORPORATION 4000 15TH AVENUE S.W. SEATTLE, WASHINGTON 98148 TEL: 206.461.1000 FAX: 206.461.1001</p>	
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NORTH SEATTLE PIG RECEIVER SITE
 CONCEPTUAL LANDSCAPE, GRADING, HIGHWAY, AND TSSG PLANS
 SEC. 15, T.27N., R.4E., W.1W.
 SNOHOMISH COUNTY, WASHINGTON



PLANT LEGEND

BOTANICAL NAME	COMMON NAME	SIZE & SPACING
TREES		
<i>Acer circinatum</i> "Red Sunset"	Red Sunset Maple	12-15'-Ft Ht., 2.5" Caliper Cont. or B&B
<i>Cornus nutalis</i>	Native Dogwood	8-10'-Ft Ht 2" Caliper Cont. or B&B
<i>Pseudotsuga mezeisii</i>	Douglas Fir	5-8'-Ft Ht., B&B
SHRUBS		
<i>Ribes sanguineum</i> "King Edward"	Flowering Currant	2 gal Cont @ 3-Ft O.C.
<i>Prunus laurocerasus</i> "Otto Luyken"	Otto Luyken Laurel	2 gal Cont. @ 5-Ft O.C.
<i>Spiraea japonica</i> "Lime Mound"	Spiraea	1 Gal @ 5-Ft O.C. - full seasons growth in container
GROUND COVERS & VINES		
<i>Uva ursi</i> "Vancouver Jade"	Kinnikinnick	4" Cont. @ 2-Ft O.C., Straight Row, Triangular Spacing

—□— CEDAR FENCE INSTALLED ALONG PROPERTY LINE

NOTES:

1. ALL LANDSCAPE BED AREAS SHALL BE TILLED PRIOR TO PLACEMENT OF TOPSOIL.
2. BEDS SHALL BE AMENDED WITH 4" OF CEDAR GROVE COMPOST AND TILLED TO A DEPTH OF 6"-8" PRIOR TO TOPSOIL PLACEMENT.
3. TOPSOIL SHALL BE CEDAR GROVE MIX OF LOAM AND COMPOST. DEPTH SHALL BE 6" OF TOPSOIL IN ENTIRE BED.
4. ALL SHRUBS SHALL BE DELIVERED TO SITE AND INSPECTED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. CONTRACTOR IS RESPONSIBLE TO KEEP ALL PLANT MATERIALS PROPERLY CARED FOR PRIOR TO AND DURING CONSTRUCTION AND INSTALLATION OF PLANT MATERIALS.
6. ALL PLANT LOCATIONS WILL BE VERIFIED BY CITY LANDSCAPE ARCHITECT, OR REPRESENTATIVE PRIOR TO PLANTING.
7. ALL PLANTINGS WILL BE INSPECTED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
8. CONTRACTOR SHALL INCLUDE ALL TOPSOIL AND ITS PLACEMENT, PREPARATION, AND ALL SEEDING AND PLANTING IN THEIR CONTRACT.
9. AFTER ALL PLANTING, CONTRACTOR SHALL APPLY ORGANIC WHITNEY FARMS STARTER FERTILIZER TO ALL PLANTS.
10. AFTER PLANTING, MAKE ALL BEDS SMOOTH AND REMOVE ANY WOODY DEBRIS, ROCKS, AND TRASH FROM SITE LARGER THAN 1/2" IN SIZE.
11. AFTER BED FINAL RAKE AND CLEAN UP, CONTRACTOR SHALL PLACE 2" DEPTH OF BARK 1/2" BARK MULCH TO ALL BEDS AND PLANTING AREAS.
12. CONTRACTOR SHALL SWEEP AND CLEAN ALL SIDEWALKS, PAVED AREAS, AND CLEANUP SITE AFTER ALL PLANTING AND IRRIGATION IS COMPLETED.

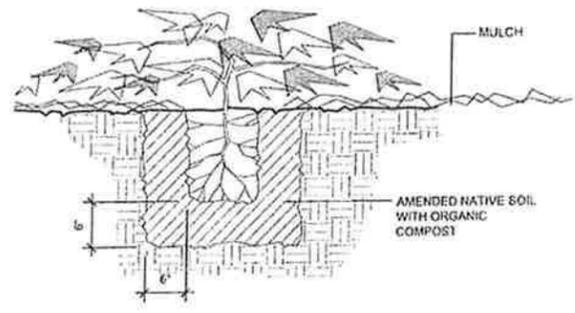
LANDSCAPE PLAN
 SCALE: 1" = 30'-0"



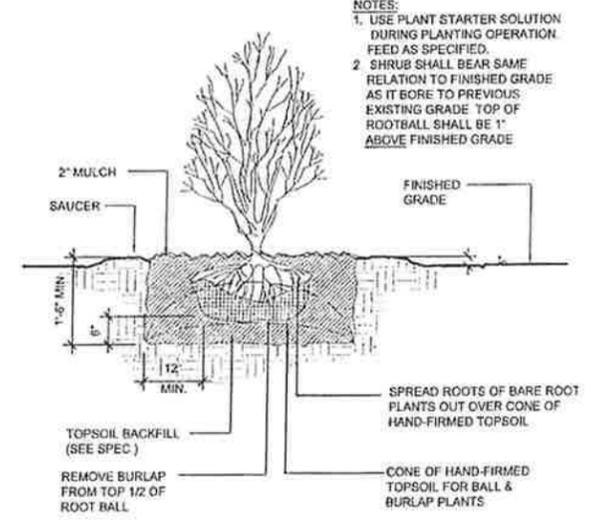
ERIK J. SWEET
 LICENSE NO. 858
 EXPIRES 1/23/2014

<p>ENGINEERS - SURVEYORS EASTSIDE CONSULTANTS, INC. 1320 N.W. HALL ST., SUITE B ISSAQUAH, WASHINGTON 98027 PH: (425) 392-5351 FAX: (425) 487-6876</p>		<p>PROFESSIONAL SEAL</p> <p>NO. DATE EX. REVISIONS</p> <p>DATE: 11/15/13</p> <p>PROJECT: NORTH SEATTLE PIG RECEIVER SITE</p> <p>SCALE: 1" = 30'-0"</p> <p>DATE: 11/15/13</p> <p>PROJECT: NORTH SEATTLE PIG RECEIVER SITE</p> <p>SCALE: 1" = 30'-0"</p> <p>DATE: 11/15/13</p> <p>PROJECT: NORTH SEATTLE PIG RECEIVER SITE</p> <p>SCALE: 1" = 30'-0"</p>	<p>APPROVED:</p> <p>DATE: 11/15/13</p> <p>PROJECT: NORTH SEATTLE PIG RECEIVER SITE</p> <p>SCALE: 1" = 30'-0"</p> <p>DATE: 11/15/13</p> <p>PROJECT: NORTH SEATTLE PIG RECEIVER SITE</p> <p>SCALE: 1" = 30'-0"</p>
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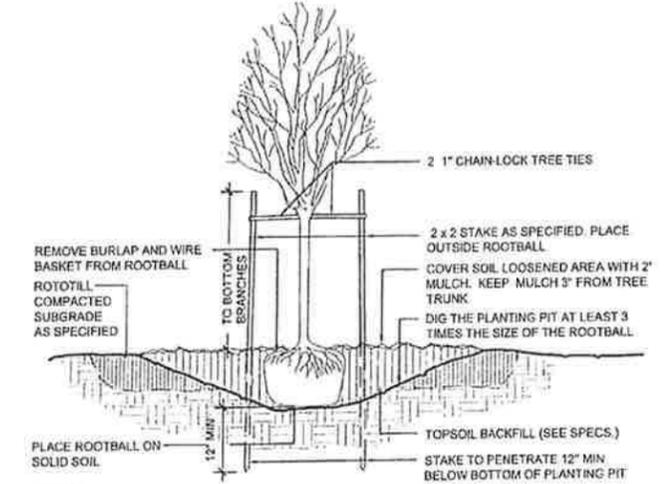
NORTH SEATTLE PIO RECEIVED SITE
 CONCEPTUAL LANDSCAPE, GRADING, DRAINAGE, AND TREE PLANTS
 SEC. 15, T.27N, R.4E, W.12E
 SNOHOMISH COUNTY, WASHINGTON



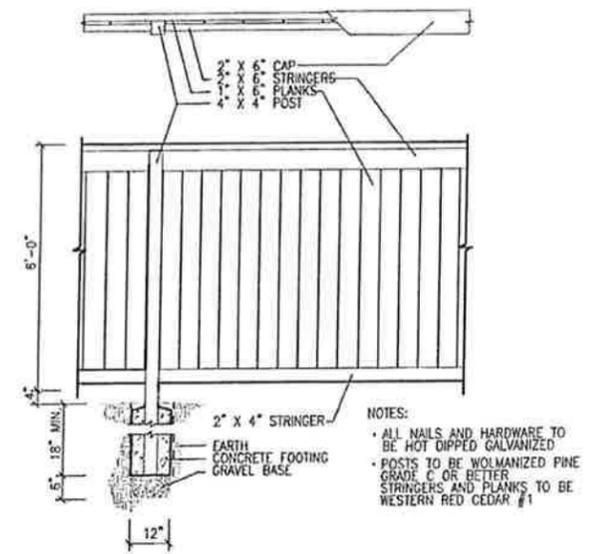
1 SMALL CONTAINER PLANTING
 NOT TO SCALE



2 B&B PLANTING DETAIL
 NOT TO SCALE



3 DECIDUOUS TREE PLANTING with STAKING
 NOT TO SCALE



NOTES:
 1. THIS DRAWING IS THE PROPERTY OF CADDETAILS.COM, LTD. AND HAS BEEN MADE AVAILABLE TO DESIGN PROFESSIONALS FOR INFORMATION PURPOSES ONLY.
 2. DUPLICATION AND DISTRIBUTION OF THIS DRAWING IS STRICTLY PROHIBITED.
 3. DO NOT SCALE DRAWINGS.
 4. DO NOT USE FOR CONSTRUCTION.
 5. FOR UPDATES AND ADDITIONAL INFORMATION VISIT www.CADdetails.com.

4 CEDAR FENCING DETAIL
 NOT TO SCALE



ERIK J. SWEET
 LICENSE NO. 858
 EXPIRES 1/23/2014

APPROVED BY:
 WILLIAMS ARCHITECTURE
 2207 NE REDWOOD ST. SUITE 200
 SEASIDE, WA 98138
 PH: 206.465.1111 FAX: 206.465.1111

<p align="center">ENGINEERS - SURVEYORS EASTSIDE CONSULTANTS, INC.</p> <p>1220 N.W. MALL ST., SUITE B SEASIDE, WASHINGTON 98137 PH: (206) 392-5351 FAX: 392-4676</p>		SHEET NO. 15		TOTAL SHEETS 15		PROJECT NO. 15		DATE 1/23/2014	
		CLIENT NORTHWEST PIPELINE COMPANY (NPI)		PROJECT NORTH SEATTLE PIO RECEIVED SITE		DRAWN BY EJS		CHECKED BY EJS	

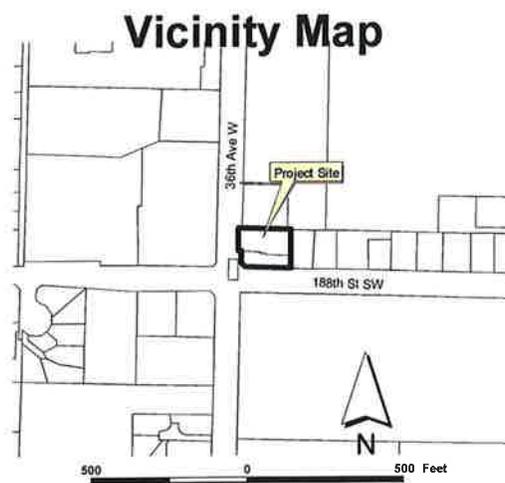


NOTICE OF APPLICATION AND IMPENDING DECISION

WILLIAMS NORTHWEST PIPELINE PIG LAUNCHER/RECEIVER (File Nos. 12PDR0007, 12RZN0002 and 12ERC0014)

Application and Project Description:

On August 9, 2012 applicant Clay Gustaves of Williams Northwest Pipeline GP submitted an application to the City of Lynnwood for Project Design Review (PDR), Planned Unit Development (PUD) and Environmental Review for properties located at the northeast corner of 36th Ave. W. and 188th St. SW. The application was deemed complete on August 20, 2012. Additional permits, including grading, building, and mechanical permits, will also be needed by the applicant. The proposal will be reviewed for compliance with City of Lynnwood and Washington State requirements for environmental review. A notice regarding the environmental determination will be distributed to property owners within 600 feet, posted at the site, published in the Everett Herald, and posted at each official posting place in the city. The applicant also proposes to develop the project as a PUD in order to request flexibility in the application of the City's Zoning Code development standards for a number of site and landscape requirements. The PUD will be reviewed by staff, presented at Planning Commission and approved by City Council. This will occur after the PDR is approved.



Williams Northwest currently has pig launcher/receivers located at Milepost (MP) 10.4 on the North Seattle Lateral and Loop lines that must be excavated, removed and reinstalled at MP 11.1 (proposed site). The existing pipelines will be excavated in the existing right-of-way (ROW) crossing the Fisher Building parking lot and 188th St. SW will have new pipe installed under the road boring. The newly installed pipe will be tied into the pig launcher/receivers installed at the proposed site. The U.S. Department of Transportation requires Williams Northwest Pipeline to inspect the pipeline every 5 to 7 years. An 8-foot tall fence and removable canopy are proposed to help screen equipment from public view. On-site landscaping is also proposed around the perimeter of the site to help screen the site from vehicular and pedestrian traffic. The property is zoned Limited Business (B2) and is designated Regional Commercial (RC) under the Comprehensive Plan.

Location:

Northeast corner of 36th Ave. W. and 188th St. SW. Parcel Numbers 27041500101400 and 27041500101500.

Project Design Review Approval:

Section 21.46.105.A of the Lynnwood Municipal Code (LMC) requires buildings constructed in Commercial zones to comply with Lynnwood Citywide Design Guidelines for All Districts and Commercial/Public Districts Design Guidelines. The Community Development Department Director will be making a decision on this application regarding compliance with applicable Lynnwood Citywide Design Guidelines no sooner than **September 11, 2012**.

Comments:

Comments concerning this project should be mailed to the City of Lynnwood, Community Development Department, PO Box 5008, Lynnwood, WA 98046 OR delivered to the Community Development Department office at 4114 198th St SW, Suite 7.

Contact:

The file on this project is maintained in the Community Development Department office and is available for review at the above listed address. If you have questions, please contact Todd Hall, Associate Planner, at (425) 670-5407 or thall@ci.lynnwood.wa.us. Please make reference to file numbers 12PDR0007, 12RZN0002 and 12ERC0014 when making contact.

Date of this Notice: August 27, 2012

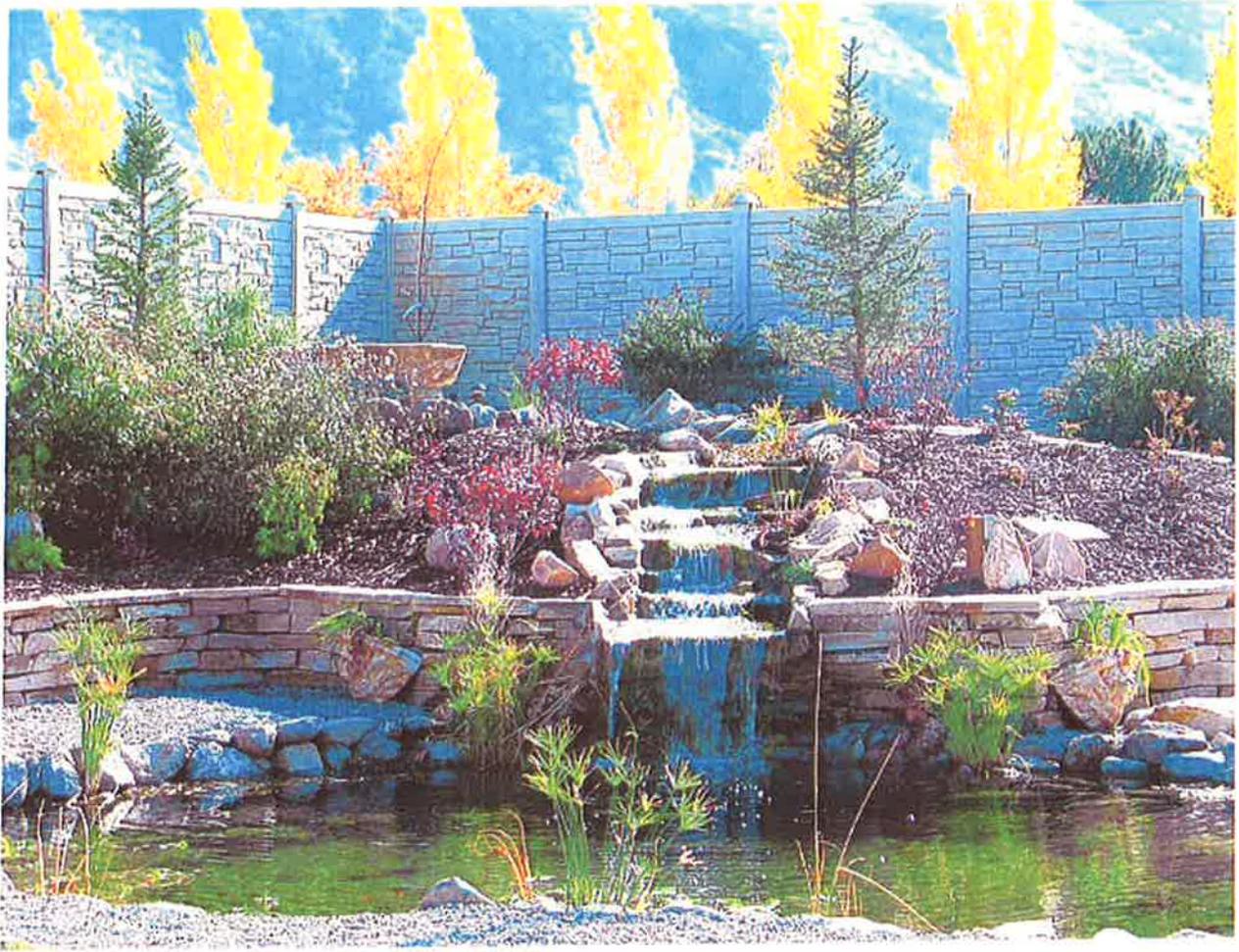
Comment Period Ends: September 11, 2012 / 4pm



RECEIVED

SEP 14 2012

CITY OF LYNNWOOD
PERMIT CENTER



RECEIVED

SEP 14 2012

CITY OF LYNNWOOD
PERMIT CENTER

RECEIVED

SEP 14 2012

CITY OF LYNNWOOD
PERMIT CENTER



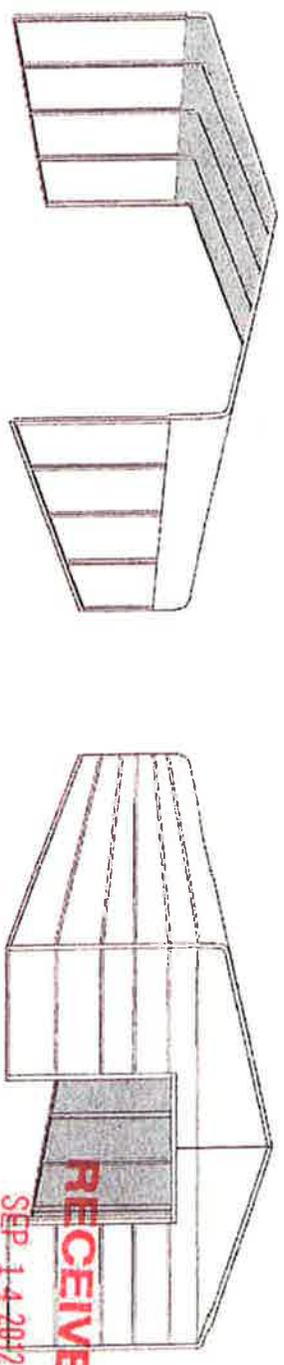
RECEIVED

SEP 14 2012

CITY OF LYNNWOOD
PERMIT CENTER



EXHIBIT L.10



REGULAR / A-FRAME - VERTICAL / HORIZ.

1 2 THRU 30 CARPORTS
(STATE OF WASHINGTON)
AS PER DESIGN CRITERIA

CITY OF LYNNWOOD
PERMIT CENTER

SEP 14 2012



A & A ENGINEERING
CIVIL • STRUCTURAL
SINCE 1996

5911 Renaissance Pl, Suite B
Toledo, Ohio 43623
Tel: (419) 292-1983
Fax: (419) 292-0955



22525 Interstate 40
Knoxville, AR 72845
Ph. # 1-866-267-3790
Fax. # 1-479-883-6021
Local # 1-479-883-1258

DESIGN NOTES

1. ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH IBC 2006, OSHA, AISC, ASCE7-05, AWS D 1.1 CODES AND ALL APPLICABLE LOCAL REQUIREMENTS.
2. SHELTER BASE CONNECTIONS SHALL BE PROVIDED AS SHOWN ON SHEET 9
3. ALL MATERIALS IDENTIFIED BY MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL
4. ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS.
5. ALL FIELD CONNECTIONS SHALL BE TERS #3 (1/4"x1/2")
6. STEEL SHEATHING SHALL BE 29GA. CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (FY=60KSI) OR EQ.
7. ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE GRADE 50 STEEL.

DESIGN CRITERIA

PREVAILING CODE: IBC 2006 / IBC 2009
 USE GROUP: U (CARPORTS, BARNIS)
 BASIC WIND VELOCITY: 90 TO 110 MPH (SEE SCHEDULE)
 ROOF DEAD LOAD: 2.0 PSF
 ROOF LIVE LOAD: AS PER GROUND SNOW
 MIN. 20 PSF / MAX. 30 PSF
 GROUND SNOW LOAD: 20 TO 40 PSF
 IMPORTANCE FACTOR = (SEE SCHEDULE)
 SNOW 0.5
 WIND 0.87
 SEISMIC 1.0
 SEISMIC DESIGN CATEGORY: D
 LOAD COMBINATIONS:
 DL+LL+0.6DL+WL
 DL+0.75LL+0.75WL

DRAWING INDEX

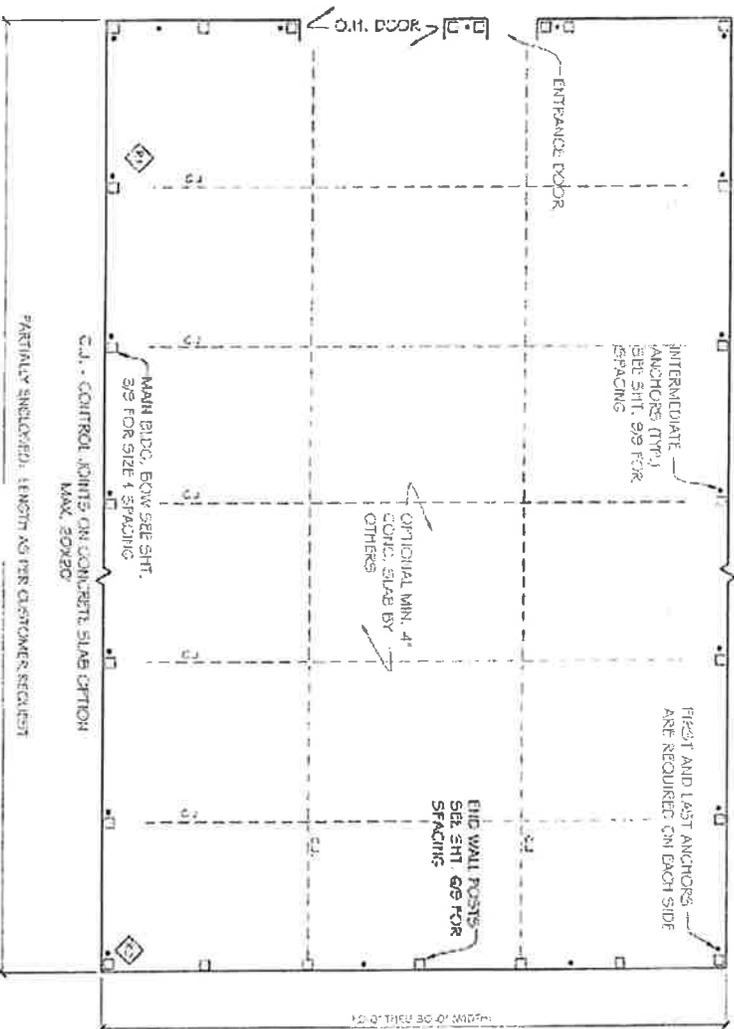
- 1.....COVER SHEET
- 2.....FLOOR PLAN
- 3.....REGULAR / A-FRAME BLDG. SECTIONS
- 4.....SIDE ELEVATIONS
- 5.....SECTION DETAILS
- 6.....END WALL DETAILS
- 7.....OPENING DETAILS
- 8.....LEAN-TO OPTION
- 9.....ANCHORAGE

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30%

Expires 11/09/2010
 LICENSE EXPIRES: 11/9/2010
 DATE SAVED: 4/19/2010

WINDOW/DOOR SIZES AND LOCATIONS
PER CUSTOMER REQUEST



FLOOR PLAN
(SCALE: NTS)

BASE ANCHOR
(SCALE: NTS)

ALTERNATE ANCHOR
(SCALE: NTS)

BASE CORNER ANCHOR
(SCALE: NTS)

ALTERNATE CORNER ANCHOR
(SCALE: NTS)

* ANCHOR SET OFF-ONES AND 5-ACROSS SHEET 3/0

* FIRST AND LAST ANCHORS ARE REQUIRED IN EACH SIDE

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CIVIL • STRUCTURAL
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5911 Remittance Pl., Suite B
Toldeo, Ohio 43023

Tel: (419) 292-1983
Fax: (419) 292-0955



COAST TO COAST
CARPORTS, INC.

22525 Interstate 40
Knoxville, AR 72845

Ph: 1-866-267-3790
Fax: 1-479-885-6021

OWNER:
COAST TO COAST

LOCATION: WASHINGTON

DESCRIPTION:
12 TO 30 A-FRAME W/LEAN-TO

DATE: 4/12/2010

PROJECT NUMBER:
031-10-0249

DRAWN BY: JMS

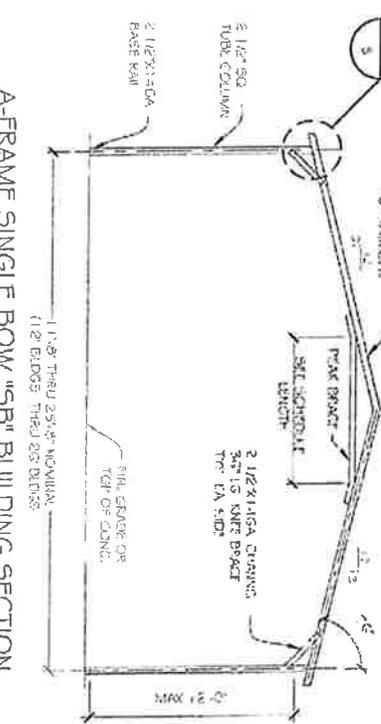
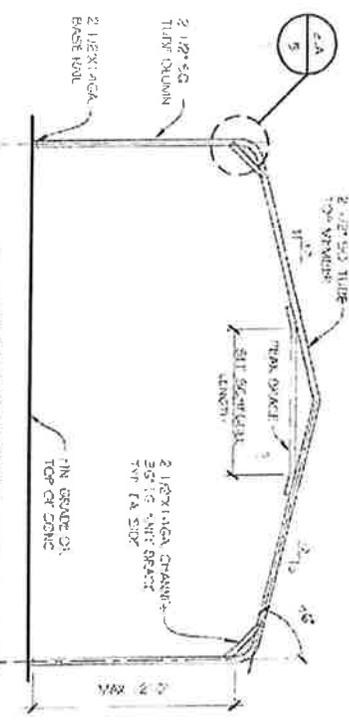
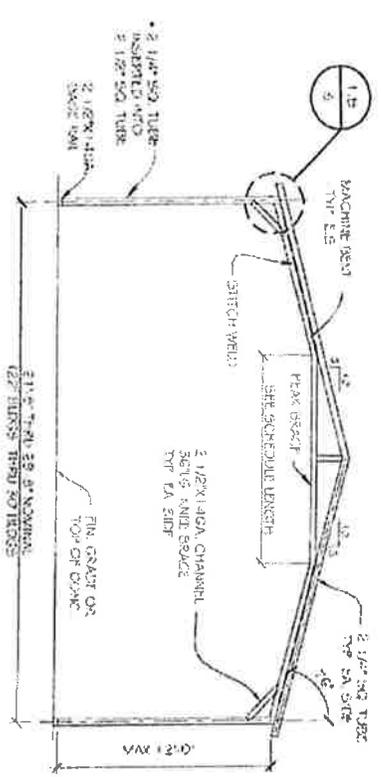
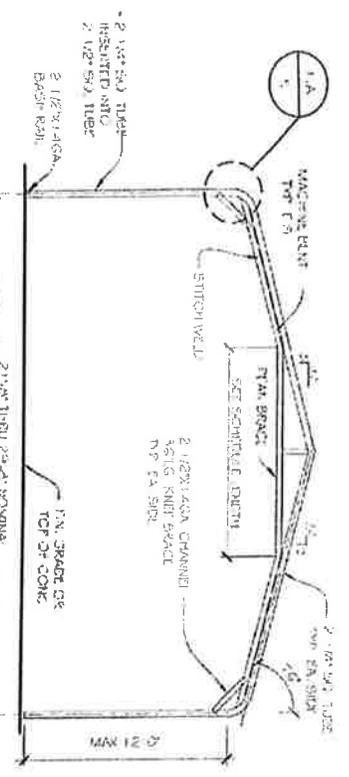
CHECKED BY: OA

DRAWING TITLE:
FLOOR PLAN

SHEET NO.: 9



DATE SIGNED: 4/19/2010



A-FRAME DOUBLE BOW "DB" BUILDING SECTION

A-FRAME SINGLE BOW "SB" BUILDING SECTION

BOW SCHEDULE (TOP & COLUMN MEMBERS GAUGE AND SPACING)

WIND (MPH) **90-100**

1:0

GS / LL	POST HT.	BLDG. & WIDTH				BLDG. & WIDTH			
		12-20	22-26	28-30	12-20	22-26	28-30		
20 / 20	5'-0" TO 8'-0"	F 14GA. 5.B. @ 60"	14GA. 5.B. @ 54"	14GA. 5.B. @ 60"					
	9'-0" TO 12'-0"	F 14GA. 5.B. @ 60"	14GA. 5.B. @ 54"	14GA. 5.B. @ 60"					
30 / 20	5'-0" TO 8'-0"	F 14GA. 5.B. @ 60"	14GA. 5.B. @ 54"	14GA. 5.B. @ 60"					
	9'-0" TO 12'-0"	F 14GA. 5.B. @ 60"	14GA. 5.B. @ 54"	14GA. 5.B. @ 60"					
40 / 30	5'-0" TO 8'-0"	F 14GA. 5.B. @ 54"							
	9'-0" TO 12'-0"	F 14GA. 5.B. @ 54"							

PEAK BRACE SCHEDULE

WIDTH	SIZE	LENGTH
12	2 1/2" X 1/4" CHANNEL	2'-0"
14	2 1/2" X 1/4" CHANNEL	4'-0"
16	2 1/2" X 1/4" CHANNEL	6'-0"
18	2 1/2" X 1/4" CHANNEL	6'-0"
20-22	2 X 1/4" GA. SQ. TUBE	10'-0"
24-26	2 X 1/4" GA. SQ. TUBE	14'-0"
28-30	2 X 1/4" GA. SQ. TUBE	16'-0"

S.B. = SINGLE BOW
D.B. = DOUBLE BOW

F = FULLY ENCLOSED (CLOSED)
P = PARTIALLY ENCLOSED (OPEN)

G.S. = GROUND SNOW
L.L. = LIVE LOAD

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COAST TO COAST
CARPORTS, INC.

22525 Interstate 40
Knorrville, AR 72845

Tel: # 1-866-267-3790
Fax: # 1-479-885-6021

OWNER:
COAST TO COAST

LOCATION: WASHINGTON

DESCRIPTION: 12 TO 30 A-FRAME W/ LEAN-TO

DATE: 4/12/2010

PROJECT NUMBER: 031-10-0249

DRAWN BY: JMS

CHECKED BY: OA

DRAWING TITLE: TYP BLDG. SECTION

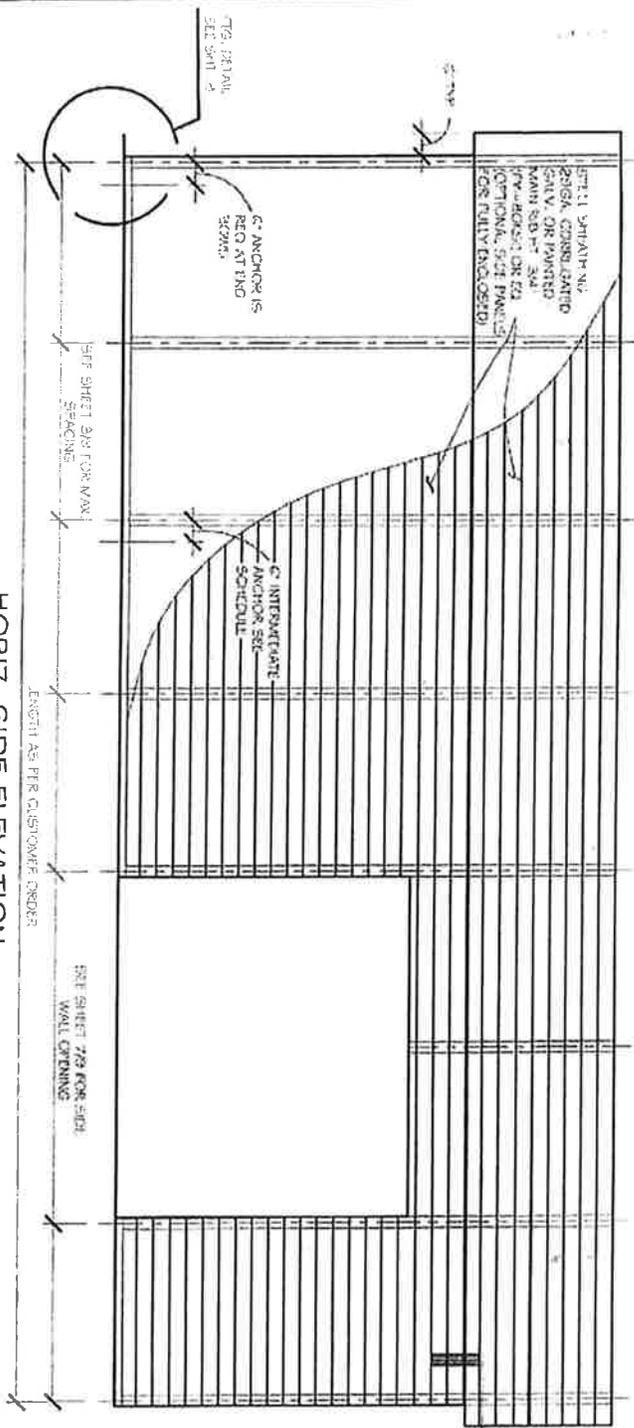
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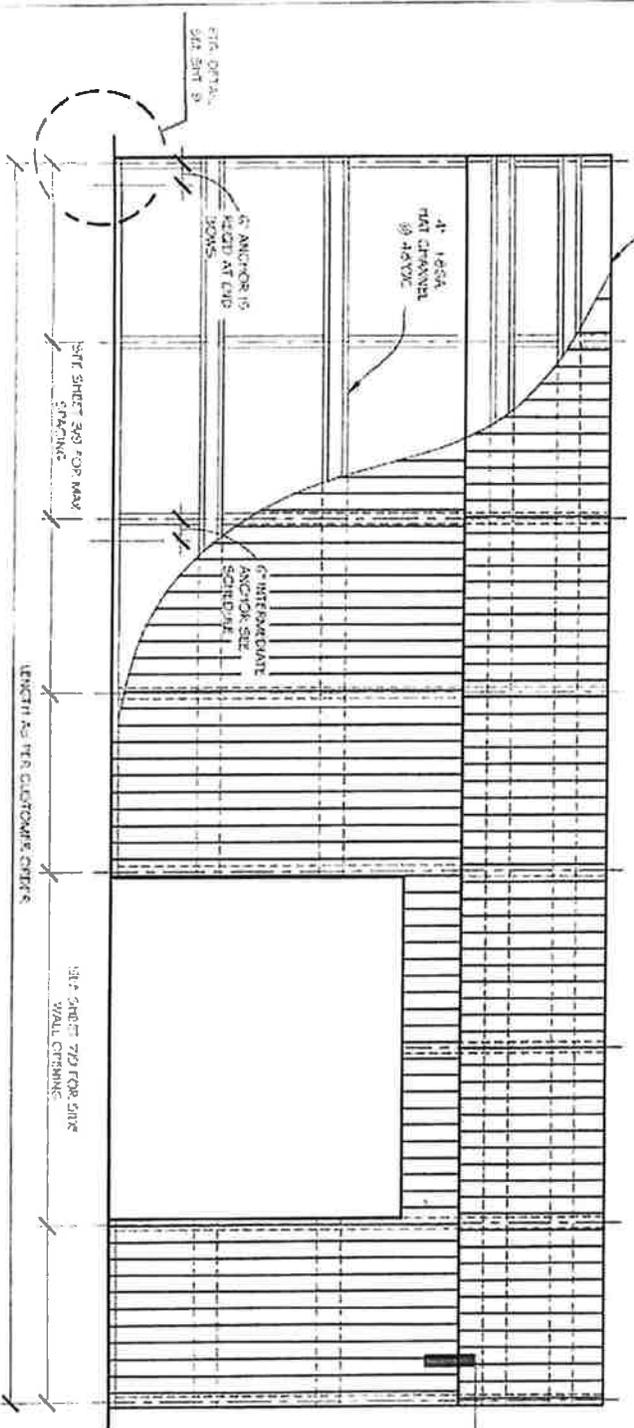
Expires 11/30/2010

DATE SIGNED: 4/19/2010

SECTION 11: SHIELDING
 2515A. CORRUGATED
 GALV. OR PAINTED
 MAIN SIDING
 2515B. ANCHOR OR 2x4
 JOINTS (SEE PANELS
 FOR FULLY ENCLOSED)



HORIZ. SIDE ELEVATION
 (SCALE: NTS)



VERTICAL SIDE ELEVATION
 (SCALE: NTS)

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 SPECIALTIES



22525 Interstate 40
 Knoxville, AR 72845
 Ph. # 1-866-267-3790
 Fax. # 1-479-885-6021

OWNER:
 COAST TO COAST

LOCATION: WASHINGTON

DESCRIPTION:
 12 TO 30 A-FRAME W/ LEAN-TO

DATE: 4/12/2010

PROJECT NUMBER:
 031-10-0249

DRAWN BY: JMS

CHECKED BY: OA

DRAWING TITLE:
 SIDE ELEVATIONS

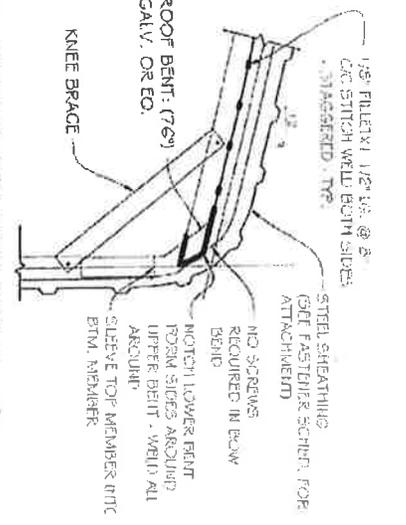
SHEET NO.: 2 OF 5
 SOU



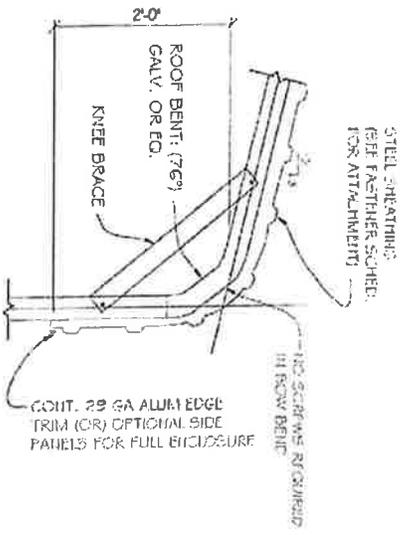
Expires 11/09/2010

DATE SIGNED:
 4/19/2010

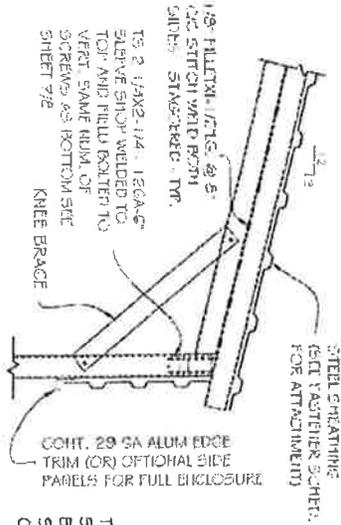
PURUN SCHD.		
SNOW LOAD	HAT CHANNEL SPACING	
20	48" C/C	
30	48" C/C	
40	36" C/C	



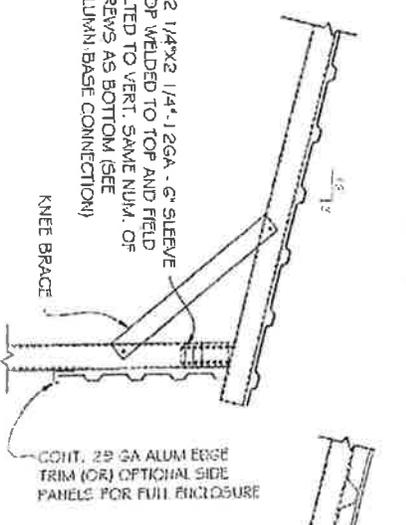
1.A
REGULAR DOUBLE BOW SECTION DETAIL
(SCALE: NTS)



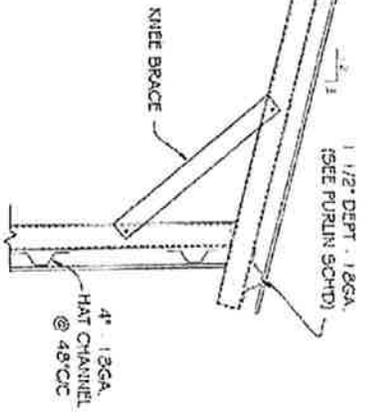
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REGULAR SINGLE BOW SECTION DETAIL
(SCALE: NTS)



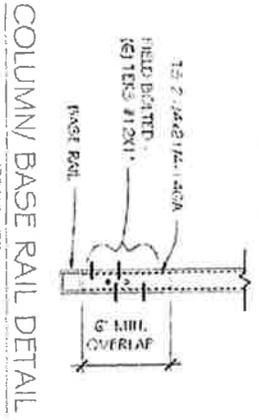
1.B
A-FRAME DOUBLE BOW SECTION DETAIL
(SCALE: NTS)



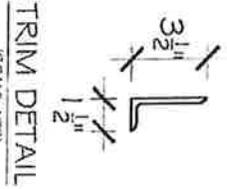
2.B
A-FRAME SINGLE BOW SECTION DETAIL
(SCALE: NTS)



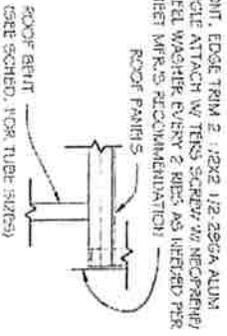
2
TYPICAL A-FRAME VERTICAL SECTION DETAIL
(SCALE: NTS)



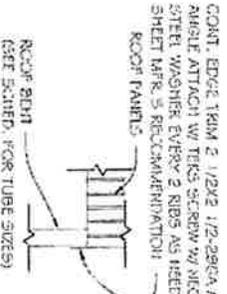
3
COLUMN/ BASE RAIL DETAIL
(SCALE: NTS)



4
TRIM DETAIL
(SCALE: NTS)



1
EDGE DETAIL
(SCALE: NTS)



2
EDGE DETAIL
(SCALE: NTS)

TYPE, TENS. #1 2X1" SCREWS W/ NEOPRENE/STEEL WASHER @ 6" O/C OF CORNER PANEL AND 8" O/C ELSEWHERE. MIN. ONE FAST. PER SPAN AT SIDE LAP PANELS. MIN. 4" O/C AT EDGE LAP PANELS W/ SILICON CAULK IN BETWEEN PANELS.

A & A ENGINEERING
(CIVIL • STRUCTURAL)
828 W. 10th

FOR: **COAST TO COAST CARPORTS, INC.**

22525 Interstate 40 Knoxville, AR 72845

Ph. # 1-866-267-3790 Fax. # 1-479-885-8021

5911 Remembrance Pl., Suite 111 Toledo, Ohio 43623

Tel. (419) 292-1983 Fax. (419) 292-4055

OWNER: **COAST TO COAST**

LOCATION: **WASHINGTON**

DESCRIPTION: **12 TO 30 A-FRAME W/LEAN-TO**

DATE: **4/12/2010**

PROJECT NUMBER: **031-10-0249**

DRAWN BY: **JMS**

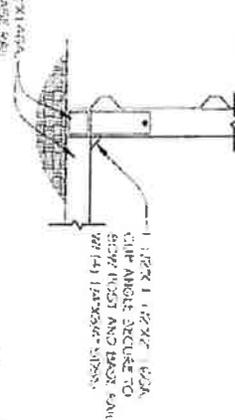
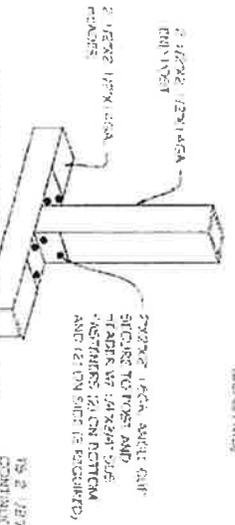
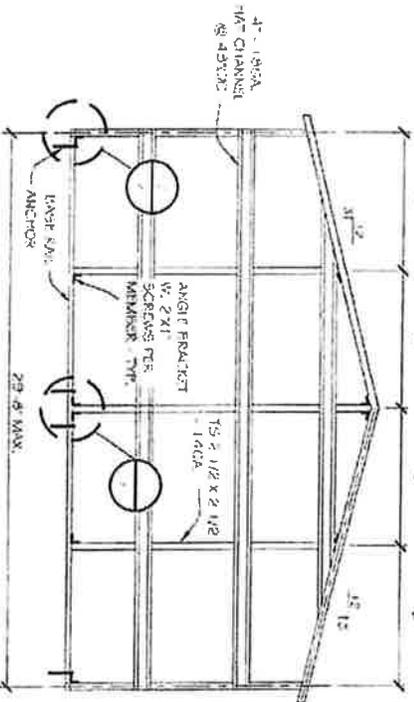
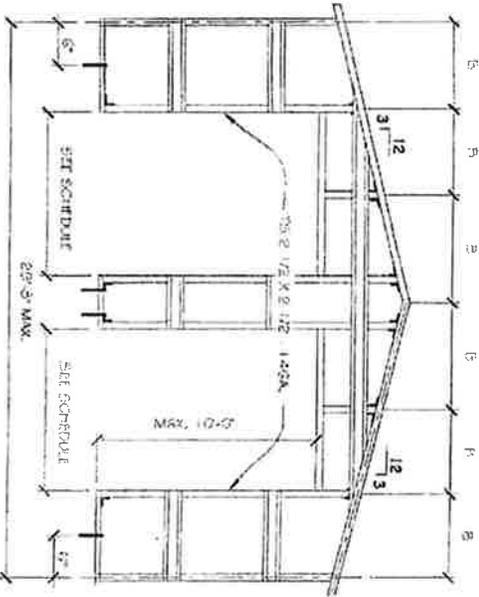
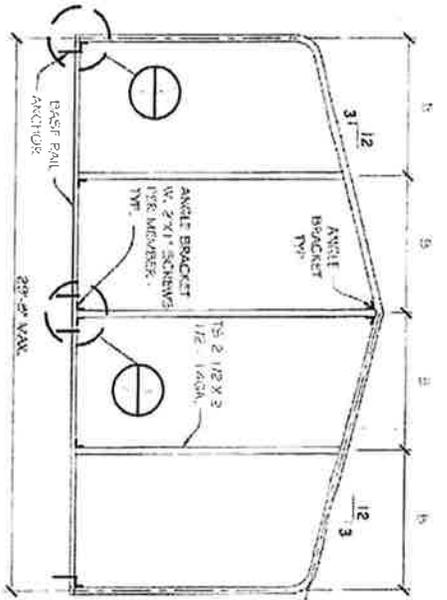
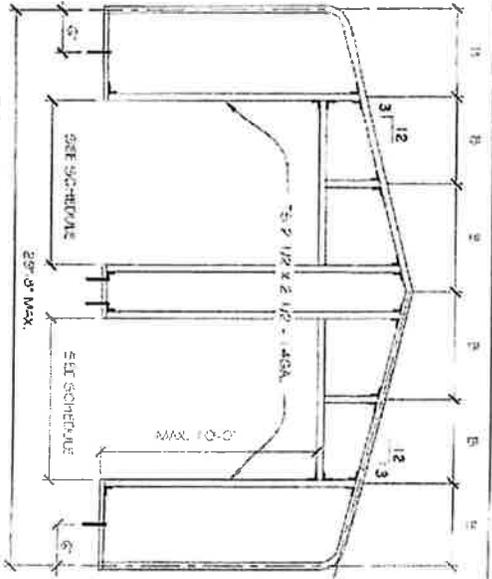
CHECKED BY: **OA**

DRAWING TITLE: **SECTION DETAILS**

SHEET NO.: **9**



Expires 11/09/2010
DATE SIGNED: 4/19/2010



CARPORIT WIDTH	MAX. DOOR WIDTH	HEADER SIZE
12'-6"	8'	TS 2 1/2 X 2 1/2 12GA
18'	10'	TS 2 1/2 X 2 1/2 12GA
20'-22"	12'	TS 2 1/2 X 2 1/2 12GA
24'-30"	14'	DHL TS 2 1/2 X 2 1/2 12GA

END POST TO HEADER/RAIL CONN. 1

END BOW/BASE RAIL CONNECTION 2

WIND	POST SPACING 'B'	ANCHORS
90-110	5'-0" O.C.	EVERY OTHER POST 'B'

MAX. POST SPACING 'B'

EXPRES 11/09/2010
DATE SIGNED: 4/19/2010



SHEET NO.:
DRAWING TITLE: END WALL DETAILS
PROJECT NUMBER: 031-10-0249
DATE: 4/12/2010
DESCRIPTION: 12 TO 30 A-FRAME W/ LEAN-TO
LOCATION: WASHINGTON
OWNER: COAST TO COAST
DRAWN BY: JMS
CHECKED BY: OA

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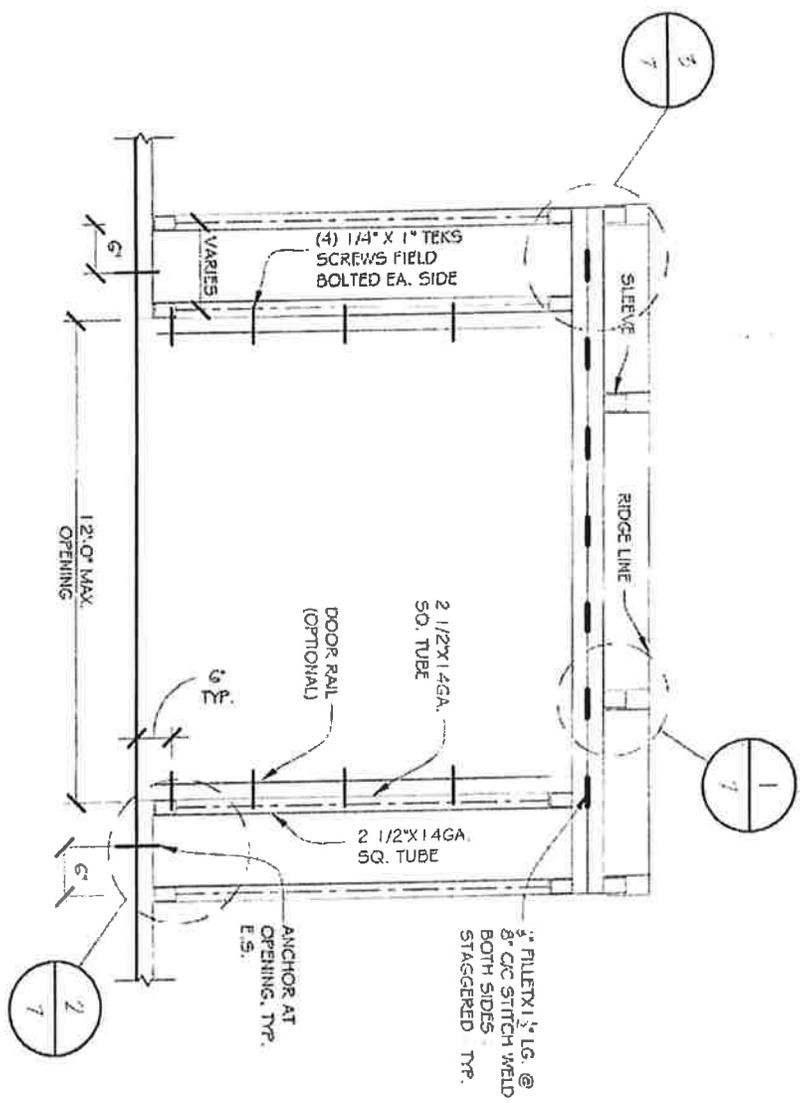
5911 Renaissance Pl., Suite B
Tolledo, Ohio 43623

Tel: (419) 292-1983
Fax: (419) 292-0955

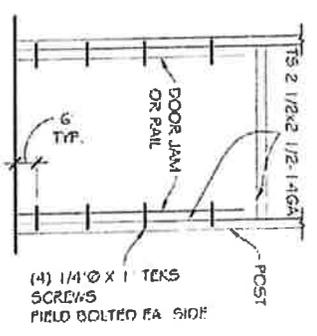
FOR: COAST TO COAST
CARPORTS, INC.

22525 Interstate 40
Knoxville, AR 72845

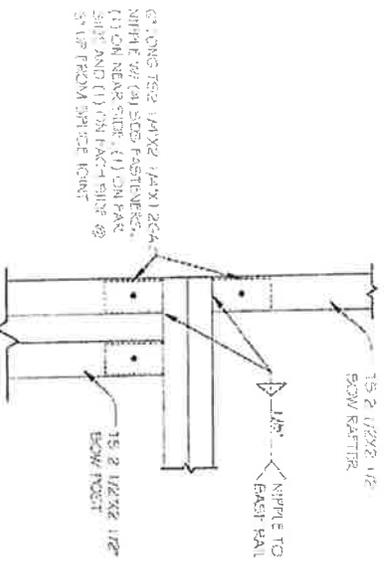
Ph: # 1-866-267-3790
Fax: # 1-479-885-6021



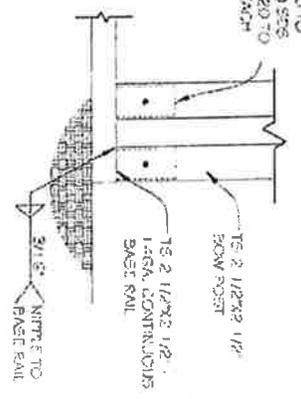
TYPICAL FRAMING AT SIDE OPENINGS
SCALE: 1/8" = 1'-0"



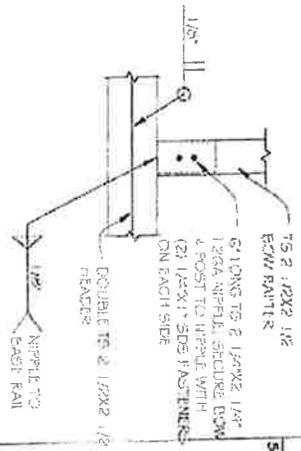
TYPICAL DOOR FRAMING
SCALE: 1/8" = 1'-0"



BOW/POST DETAIL
SCALE: 1/8" = 1'-0"



BOWBASE RAIL CONN. DETAIL
SCALE: 1/8" = 1'-0"



BOWHEADER DETAIL
SCALE: 1/8" = 1'-0"

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SINCE 1974

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Tel: (419) 292-1983
Fax: (419) 292-0955



COAST TO COAST
CARPORTS, INC.

22525 Interstate 40
Knoxville, AR 72845
Ph. # 1-866-267-3790
Fax. # 1-479-885-6021

OWNER:
COAST TO COAST

LOCATION: **WASHINGTON**

DESCRIPTION:
12 TO 30 A-FRAME W/ LEAN-TO

DATE: **4/12/2010**

PROJECT NUMBER:
031-10-0249

DRAWN BY: **JMS**

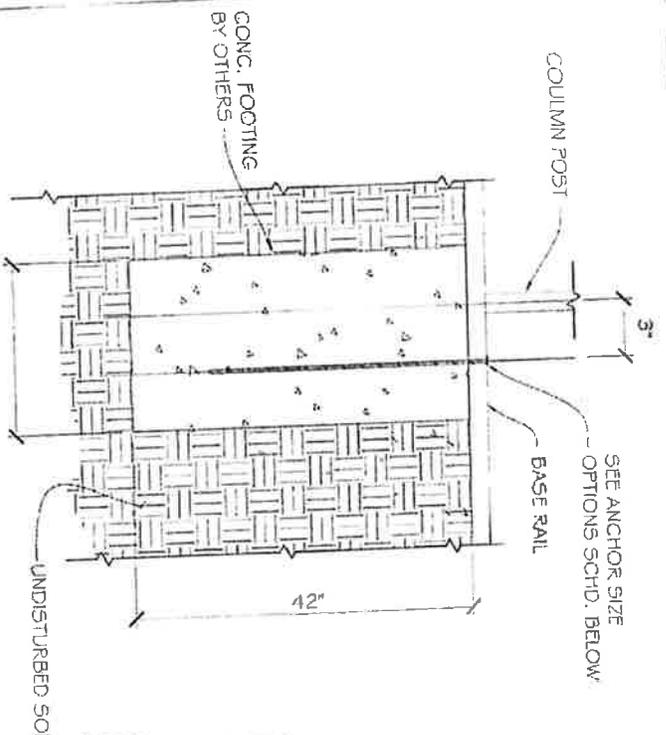
CHECKED BY: **OA**

DRAWING TITLE:
SIDE WALL OPENNING DETAILS

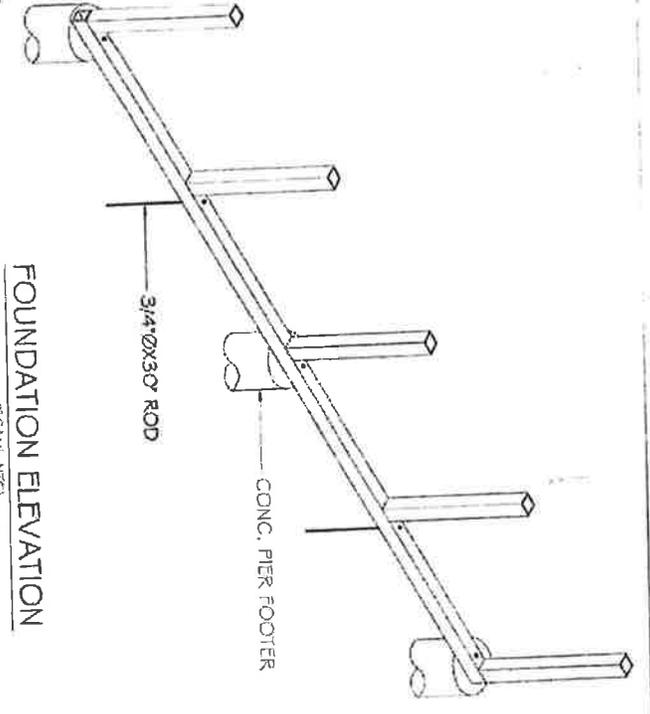
SHEET NO.: **1 OF 9**



DATE SIGNED: **4/19/2010**



SEE ANCHOR SIZE OPTIONS SCHED. BELOW



FOUNDATION ELEVATION
(SCALE: NTS)

1.8"Ø FOR 12' THRU 20' BLDG.
2.4"Ø FOR 22' THRU 30' BLDG.

PIN ANCHOR DETAIL ON CONCRETE PIER FOOTING
(SCALE: NTS)

NOTE:
ON LEVEL GRADE DIG A 1.8"Ø/2.4"Ø HOLE 42" DEEP AT EACH ANCHOR POINT. REPOSITION BASE RAILS OVER HOLES AND PROP A GROUND ANCHOR THROUGH EACH HOLE IN BASE RAILS. FILL EACH HOLE WITH 2500 PSI CONCRETE

NOTES:
1. CONCRETE PIERS SHALL BE REQUIRED AT ALL CORNER POSITS AND AT EVERY OTHER POST BUT SHALL NOT EXCEED 10.0' O/C SPACING IN ANY DIRECTION

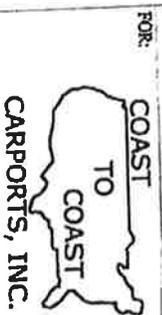
- 2. ALL OTHER POSITS WITH NO CONCRETE PIER ANCHOR SHALL BE ANCHORED TO THE GROUND WITH 3/4"ØX30"Ø. ROD. RODS SHALL HAVE A WELDED NUT AT TOP AND ONE COAT OF RUST PROVE PRIMER PAINT.
- 3. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. 1,500 PSF
- 4. CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI AT 28 DAYS

ANCHOR SIZE OPTIONS SCHEDULE

	WIND SPEED (M/PH)	REMARKS	CARPORT WIDTH
	90 - 110		
1	5/8"ØX20"	THRD. ROD EMBED IN CONC	ALL SIZES
2	5/8"ØX7"	INSERT W/ EPOXY IN CONC.	ALL SIZES
3	5/8"ØX7"	EXPANSION BOLTS	ALL SIZES
4	5/8"ØX7"	WEDGE ANCHORS IN CONC.	ALL SIZES

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5911 Revere Avenue, N. Suite 11
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Fax: (410) 292-1955



OWNER:
COAST TO COAST
WASHINGTON

DESCRIPTION:
12 TO 30 A-FRAME W/ LEAN-TO

DATE: 4/12/2010
PROJECT NUMBER: 031-10-0249

DRAWN BY: JMS
CHECKED BY: OA

DRAWING TITLE:
ANCHOR OPTION
PIER FOOTER

SHEET NO.: 1 OF 1
DATE SIGNED: 4/19/2010

OMAR ALI ABU-YASSIN
REGISTERED PROFESSIONAL ENGINEER
No. 51377
STATE OF WASHINGTON

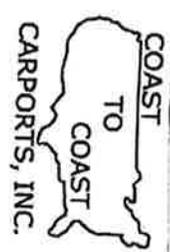
Expires 11/30/2010

DATE SIGNED: 4/19/2010



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 SINCE 1966

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 Toledo, Ohio 43623
 Tel: (419) 292-1983
 Fax: (419) 292-0955



FOR: COAST TO COAST CARPORTS, INC.

OWNER: COAST TO COAST

LOCATION: WASHINGTON

DESCRIPTION: 12 TO 30 A-FRAME W/ LEAN-TO

DATE: 4/12/2010

PROJECT NUMBER: 031-10-0249

DRAWN BY: JMS

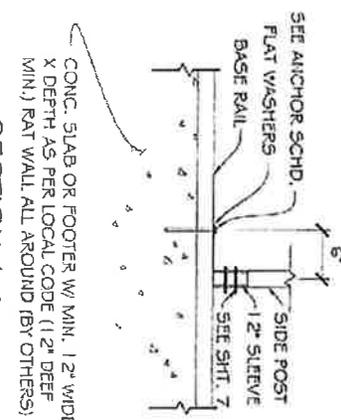
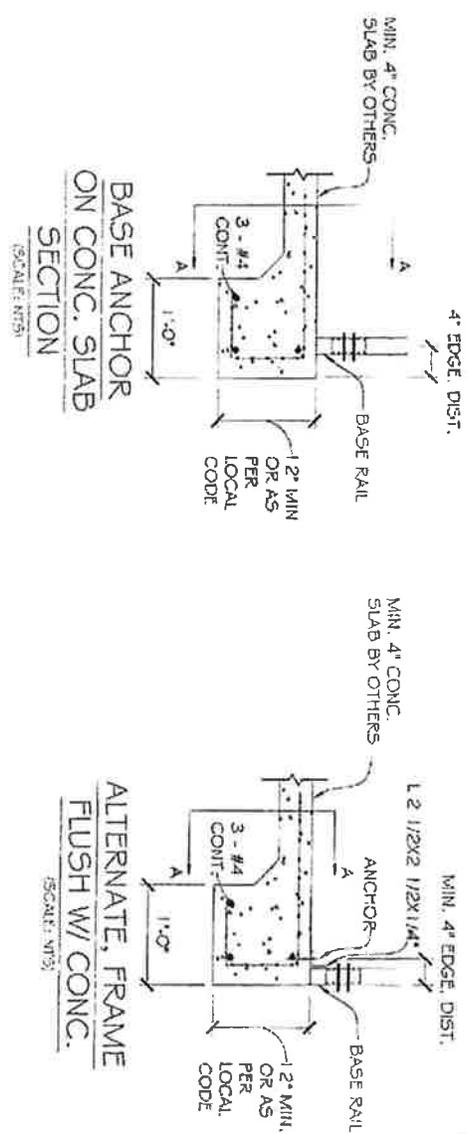
CHECKED BY: OA

DRAWING TITLE: CONC. SLAB ANCHORAGE

SHEET NO.: 9 OF 9



EXPIRES 11/09/2010
 DATE SIGNED: 4/19/2010

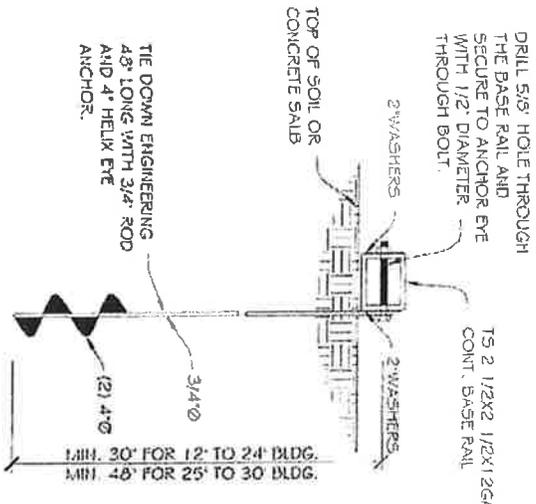


SECTION A-A
 (SCALE: NTS)

ANCHOR SIZE OPTIONS SCHEDULE

WIND SPEED (M/PH)	BASE ANCHOR	ALTERNATE ANCHOR	REMARKS	CARPORT WIDTH
90 - 110	20"	20"		
5/8"	20"	20"	THRD. ROD EMBED IN CONC.	ALL SIZES
5/8"	7"	5"	INSERT W/ EPOXY IN CONC.	ALL SIZES
5/8"	7"	5"	EXPANSION BOLTS	ALL SIZES
5/8"	7"	5"	WEDGE ANCHORS IN CONC.	ALL SIZES

- NOTE:**
1. PROVIDE A MIN. OF (1) ANCHOR AT ±6" FROM CENTER OF EACH POST
 2. ALL ANCHORS SHALL BE A307 OR BETTER
 3. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. 1500 PSF
 4. CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI AT 28 DAYS



OPTIONAL MOBILE HOME ANCHOR FOR SAND/CLAY
(SCALE: NTS)

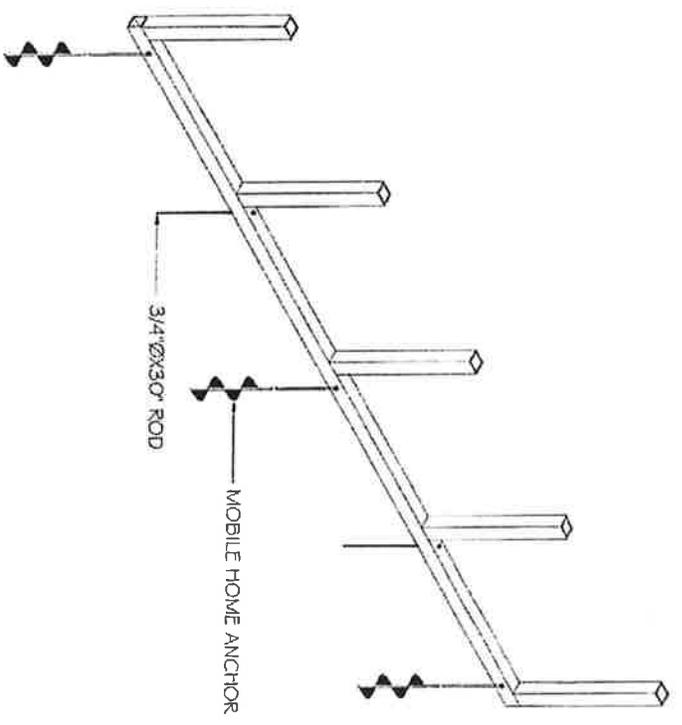
NOTE: HELICAL ANCHORS ARE NOT TO BE USED IF DRIVING TORQUE INTO GROUND IS LESS THAN 150 FT-LBS OR DON'T MEET ONE OF THE FOLLOWING SOIL CLASSIFICATIONS.

SOIL CLASSIFICATIONS:

- 1. SOIL CLASS SOIL DESCRIPTION
- 2. VERY DENSE #7 OR CEMENTED SANDS, COURSE GRAVEL AND COBBLES, COLLOID, PRELOADED SILT AND CLAYS
- 3. MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS
- 4. LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL AND VERY LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS, ALLUVIAL FILL

HELICAL ANCHOR SHALL BE APPROVED FOR USE IN SOIL CLASSIFICATIONS 2, 3, AND 4.

*TAKEN FROM HUD "STANDARD FOR INSTALLATION OF MOBILE HOMES"



FOUNDATION ELEVATION
(SCALE: NTS)

NOTE:

- 1. MOBILE HOME ANCHORS SHALL BE REQUIRED AT ALL CORNER POSTS AND AT EVERY OTHER POST BUT SHALL NOT EXCEED 10'-0" O.C SPACING IN ANY DIRECTION.
- 2. ALL OTHER POSTS WITH NO MOBILE HOME ANCHOR SHALL BE ANCHORED TO THE GROUND WITH 3/4"X30"IG. ROD. RODS SHALL HAVE A WELDED NUT AT TOP AND ONE COAT OF RUST PROVE PRIMER PAINT.
- 3. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. 1500 PSF
- 4. CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI AT 28 DAYS

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MEMPHIS

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Fax: (419) 292-1955

COAST TO COAST
CARPORTS, INC.

22525 Interstate 40 Pl. # 1-866-267-5790
Knoxville, AR 72845 Fax. # 1-479-885-6021

OWNER: **COAST TO COAST**

LOCATION: **WASHINGTON**

DESCRIPTION: **12 TO 30 A-FRAME W/ LEAN-TO**

DATE: **4/12/2010**

PROJECT NUMBER: **031-10-0249**

DRAWN BY: **JMS**

CHECKED BY: **OA**

DRAWING TITLE: **ANCHOR OPTION PIER FOOTER**

SHEET NO.: **9 OF 9**



Expires **11/09/2010**
DATE SIGNED: **4/19/2010**

Ron Frederiksen

From: Gustaves, Clay [Clay.Gustaves@Williams.com]

Sent: Wednesday, September 12, 2012 3:37 PM

To: Ron Frederiksen

Subject: PIG Reciever Operations Statement

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At a typical PIG receiver site, technicians wait a few hours (depending on the length of the run) until the device arrives and then safely remove it with a boom truck or a fork lift in a relatively short amount of time. There are a number of devices used for an inspection and there could be 3 to 5 runs over 3 to 5 days but activity is fairly limited beyond removing the devices from the pipelines. This takes place every 5 to 7 years per PHMSA requirements.

Clay R Gustaves

Land Department Representative
Williams Northwest Pipeline
22909 NE Redmond Fall City Rd.
Redmond, WA 98053
(425) 868-1010 ext. 2065
(425) 301-1068 mobile

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Williams Gas Pipeline Pig Receiver/Launcher
Project Design Review Decision Criteria/Statement of Consistency

SEP 14 2012

CITY OF LYNNWOOD
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Eastside Consultants, Inc., as representatives of the Williams Northwest Pipeline GP do hereby acknowledge and state to the best of our professional ability that the proposed design for the new Pig Receiver/Launcher is in compliance with the City of Lynnwood Comprehensive Plan, Lynnwood Municipal Code Section 21.25, and the applicable citywide design guidelines as they may pertain to the subject proposal.

A. Consistency with the Comprehensive Plan

This project is consistent with the vision and intent of the City of Lynnwood Comprehensive Plan in that it is a Regional Commercial Facility. This site is somewhat unique in that we are not constructing a building, but a piping facility, covered by a canopy and enclosed with an 8' tall perimeter fence. The site and structure design will support the basic concept of the Land Use Element of the Comprehensive Plan and the Design Review Checklist as we are either compliant with each issue or are requesting a waiver since most of these guidelines do not fall within our scope of work. We have tried following the Design Review guidelines to the best of our ability and those that we are not meeting we are requesting a waiver for.

As well, since the City relies on an assortment of land uses, building and environmental regulations that are codified in the Lynnwood Municipal Code to implement the Comprehensive Plan and since the Pig Facility is designed to be compatible with the regulations that are applicable to this project; there will be consistency with the Comprehensive Plan. Our use, the proposed project site development, and the proposed facility use and configuration have been developed with strict interpretation of the zoning codes relative to use, scale, height, compatibility to the district and neighboring existing community; respect to traffic patterns, adherence to sensitive aesthetic site development relative to landscaping and containment of impervious surfaces, and overall considerations for sustainable design standards. As stated above we have applied for many waivers from the Design Review Checklist. Not as an alternative from doing that portion of the project, but because this is a very unique project in that the majority of the Design Review Checklist items due not fall in the design parameters of this project as it is not a "so called building structure and layout".

B. Consistency with all provisions of LMC 21.25 Project Design Review

Eastside Consultants, Inc. acknowledges the project design review regulations contained in LMC 21.25 and understands the process and timelines by which the City will follow to conduct the design review for the proposed PIG receiver/launcher. In this regard, a completed Project Design Review Application together with all materials specified on the application form and filing fees are submitted, along with completed applications

and fees for a Planned Unit Development, Rezone, and SEPA Environmental Review. It is understood that that Williams Northwest Pipeline GP bares the responsibility of convincing the Community Development Director that it is entitled to a decision upon its design review application and that right of appeal to the Hearing Examiner are available within 14 days of the date of the director's decision.

C. Consistency with the All District and Commercial District Design Guidelines

The proposed PIG receiver/launcher facility and site solution has been designed to carefully represent the goals and needs of Williams Northwest Pipeline GP and the intent of the design guidelines. The proposed facility and site design while adhering to the checklists of the commercial design standards and all district standards were designed to meet Williams Northwest Pipeline GP needs to satisfy public health, safety, and welfare. The project modifies and adds facilities to the North Seattle Lateral natural gas transmission pipelines between MP 10.4 and MP 11.1 so they are capable of safely running in-line inspection (ILI) tools known as pigs and Williams Northwest Pipeline GP is able to assess the integrity of the pipelines in the Alderwood Mall high consequence area. Assessment of this segment is mandatory due to the High Consequence Area and project must be completed in 2012. Future assessments will take place every 5 to 7 years.

We believe that our site design meets all portions of the Design Checklists that are relevant to the project. Those that were not relevant due to our projects unique nature, have been requested a waiver. As stated earlier in this letter a majority of the Design Review Checklist items due not fall in the design parameters of this project as it is not a "so called building structure and layout".

Our site design has been implemented to actually detour pedestrian pathways, activity areas, etc. by building an 8 foot tall CMU fence on the sides facing the streets and an 8 foot tall simulated stone fence on the sides that don't face the streets. This is being constructed as a visual barrier to the piping facility and to keep pedestrians, etc. out. The walls will be constructed and colored with earthen tones to blend into the environment and be aesthetically pleasing. Our landscaping design has been developed to help make the wall aesthetically pleasing, incorporate tall trees to block the view from taller buildings nearby, and also enhance the intersection for visibility and viewing pleasure. It should be noted that sidewalks are on the streets for pedestrians, just not to be placed on the site.

The site is designed with two entrances with a through lane to accommodate the truck that hauls the pigging equipment from the site. There has to be two entrances/exits because the truck has to big of a turning radius for the site so therefore has to drive through the site. Parking is only needed for the truck during retrieval times and for a maintenance vehicle for its monthly site inspections. This can be on the access road since this is a private locked facility with no other access.

The Pigging facility itself will have a canopy to cover the piping from view from taller neighboring buildings and to meet the Lynnwood Municipal Code and Project Design Guidelines.

To summarize, the All District and Commercial Districts Review criteria are consistent with the design team's objectives for accomplishing a project that fits into the existing district context while trying to meet the future District's goals. The proposed solution fits within a commercial areas context and provides safety and security for the surrounding areas.



DETERMINATION OF NONSIGNIFICANCE
WILLIAMS NORTHWEST PIPELINE PIG LAUNCHER/RECEIVER
(File Nos. 2012ERC0014, 2012PDR0007 and 2012RZN0002)

DESCRIPTION OF PROPOSAL:

Williams Northwest Pipeline Pig Launcher/Receiver (2012ERC0014, 2012PDR0007, 2012RZN0002): This is a proposal to construct pig (pipeline inspection guage) launcher/receiver. Existing pipelines will be excavated in the existing right-of-way (ROW) crossing the Fisher Building parking lot and 188th St. SW will have new pipe installed under the road boring. The newly installed pipe will be tied into the pig launcher/receivers installed at the proposed site. The U.S. Department of Transportation requires Williams Northwest Pipeline to inspect the pipeline every 5 to 7 years. An 8-foot tall fence and removable canopy are proposed to help screen equipment from public view. On-site landscaping is also proposed around the perimeter of the site to help screen the site from vehicular and pedestrian traffic. Grading quantities include approximately 635 cubic yards of cut and 291 cubic yards of imported fill.

PROPONENT:

Williams Northwest Pipeline GP
ATTN: Clay Gustaves
22909 NE Redmond-Fall City Rd.
Redmond, WA 98053

(425) 868-1010

LOCATION OF PROPOSAL:

The project site is located at the northeast corner of 36th Ave. W and 188th St. SW. The Assessor's Parcel Numbers are 27041500101400 and 27041500101500.

LEAD AGENCY:

City of Lynnwood
Community Development Department
4114 198th Street SW, Suite 7
P.O. Box 5008
Lynnwood, WA 98046

Contact: (425) 670-5410

STAFF CONTACT:

For general information about the SEPA process, additional information about this determination or on the appeal process for this determination, please contact:

Todd Hall, Associate Planner
(425) 670-5407, thall@ci.lynnwood.wa.us

ACTIVITY NUMBERS:

2012PDR0007, 2012ERC0014, and 2012RZN0002

SITE DESCRIPTION:

The site is currently undeveloped and contains no critical areas. The site slopes gently from the northwest corner towards the southeast corner, and contains no slopes greater than 10%. There are no known endangered or threatened species occupying the site.

PERMITS REQUIRED:

Permits required, as known at the time of application:

- Project Design Review

- Planned Unit Development
- Clearing, Grading, and Utilities
- Right-of-Way Use Permit
- Building Permit (for fences and canopy)
- Concurrence of "No effect" from Washington Department of Fish and Wildlife, Washington Department of Archeological Preservation, and Washington Ecology Coast Zone Consistency

DETERMINATION:

The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist and other information on file with the lead agency. This information is available to the public on request. The determination that an environmental impact statement does not have to be filed does not mean there will be no adverse environmental impacts. City of Lynnwood codes governing noise control, land-use performance standards, construction and improvement of streets and roads, drainage control, fire protection and building practices will provide substantial mitigation of the aforementioned impacts.

This Determination of Nonsignificance (DNS) is issued under WAC 197-11-340(2). This determination is issued on the basis of compliance of the proposal with all applicable federal, state and local laws, regulations, and standards and does not modify or waive any such law, regulation or standard. This DNS is issued also on the basis of this proposal complying with all applicable Lynnwood Municipal Code (LMC) regulations and standards of the City.

COMMENT PERIOD:

If there is new information or changes to the proposal after issuance of the DNS and prior to issuance of any required permit or approval indicating that the proposal will have probable significant adverse impacts, a new threshold determination will be required.

The lead agency will not act on this proposal for 15 days from the date of issue. Comments must be submitted by **October 4, 2012 to the staff contact listed above**. This DNS becomes final at **4:00 PM on October 4, 2012**, unless the determination is withdrawn or amended by the City's SEPA Responsible Official (below).

APPEAL:

You may appeal this determination by submitting a letter stating the basis for the appeal to the City of Lynnwood Community Development Department at 4114 198th St SW, Suite 7, P.O. Box 5008 Lynnwood, WA 98046-5008. An appeal may be submitted only after the close of the comment period but no later than **4:00 PM on October 18, 2012**, which is 14 days from the end of the comment period. If you choose to appeal, you should be prepared to make specific factual objections to this determination. The fee for an appeal is as set forth in LMC 3.104.

Contact the City of Lynnwood Department of Community Development staff contact listed above to read or ask about the procedures for SEPA appeals.

RESPONSIBLE OFFICIAL: COMMUNITY DEVELOPMENT DIRECTOR

DATE OF ISSUE: September 19, 2012

DATE OF SIGNATURE: September 17, 2012



Paul Krauss, AICP

VOLUNTARY OFFERS AND APPLICABLE DOCUMENTS:

This threshold determination was reached on the basis of the plans, supporting documents, calculations and agreements contained in the voluntary submittals associated with activity number(s) 2012PDR0007, 2012ERC0014, 2012RZN0002 and SEPA review. Specifically:

1. Environmental Checklist prepared by Clay Gustaves, Williams Northwest Pipeline GP, dated August 9, 2012, submitted August 9, 2012
2. Preliminary Conceptual Site Plan, Conceptual Grading and Drainage, Conceptual TESC Plan, Details and Notes, prepared by Ron Frederiksen, P.E., Eastside Consultants, Inc., dated December 20, 2011, submitted August 9, 2012.
3. Preliminary Landscaping Plan prepared by Erik J. Sweet, SLA Landscape Architecture, dated July 25, 2012, submitted August 9, 2012.
4. Conceptual Structural Plans, Sections and Notes, prepared by Reid Middleton, Inc., dated July 27, 2012, submitted August 9, 2012.

The voluntary offers and environmental documents listed above were considered and evaluated as part of this threshold determination.

DISCLAIMER:

The determination that an environmental impact statement does not have to be filed does not mean there will be no adverse environmental impacts. City of Lynnwood codes governing traffic control, land-use performance standards, construction and improvement of streets and roads, drainage control, environmental protection, fire protection and building practices will provide substantial mitigation of the aforementioned impacts.

The issuance of this DNS should not be interpreted as acceptance or approval of this proposal as presented. The City of Lynnwood reserves the right to deny or approve said proposal subject to conditions if it is determined to be in the best interests of the City and/or necessary for the general health, safety and welfare of the public to do so.

Individual projects allowed under non-project actions will be reviewed in advance of planned construction to determine if SEPA review is required. Projects requiring SEPA review will be evaluated to identify any probable adverse environmental impacts and identify measures necessary to mitigate those impacts.

DISTRIBUTION LIST:

This DNS and SEPA checklist were distributed to the following:

- | | | |
|--|---|---|
| <input checked="" type="checkbox"/> Applicant | <input checked="" type="checkbox"/> Alderwood Water | <input checked="" type="checkbox"/> City of Bothell |
| <input type="checkbox"/> Parties of Record | <input checked="" type="checkbox"/> Community Transit | <input checked="" type="checkbox"/> City of Brier |
| <input checked="" type="checkbox"/> Public Works – A. Kay | <input checked="" type="checkbox"/> Edmonds School District #15 | <input checked="" type="checkbox"/> City of Edmonds |
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| | | <input checked="" type="checkbox"/> Army Corps |

Puget Sound Clean Air
 WSDOT

Muckleshoot Tribe
 Tulalip Tribe

Other:

PUBLISHING:
Everett Herald – September 19, 2012

TO BE COMPLETED BY APPLICANT (EVALUATION FOR AGENCY USE ONLY)

A. BACKGROUND

1. Name of proposed project, if applicable: North Seattle Facilities Modifications Project

2. Date checklist prepared: August 3, 2012

3. Agency requesting checklist: **City of Lynnwood**

4. Proposed timing or schedule (including phasing, if applicable):
Fall of 2012

5. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain:
No future expansion is planned. The facilities will be used to place in-line inspection tools ("pigs") into the Northwest Pipeline North Seattle Line (8-inch diameter line) and North Seattle Lop Line (16-inch diameter line) every 7 years as required by US Department of Transportation regulations.

6. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal. If yes, explain.
The site is Urban developed property, limited environmental investigation is necessary. A Critical Area Review will be done to evaluate any potential environmental issues.

7. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain.
The site only requires local approval or permits, the project falls under the Northwest Pipeline GP Blanket Certificate requirements. No other permits are necessary

8. List any government approvals or permits that will be needed for your proposal, if known.
Northwest will obtain concurrence of "No effect" for the project from Washington Department Fish and Wildlife Services, Wa Department of Archaeological Preservation, and WA Ecology Coastal Zone Consistency

9. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page.

Northwest currently has pig launchers/receivers located at Milepost (MP) 10.4 on the North Seattle Lateral and Loop lines that must be excavated, removed, and re-installed at MP 11.1(this site). The existing pipelines will be excavated in the existing right-of-way (ROW) crossing the Fisher Building parking lot and 188th Street SW will have new pipe installed under the road boring. The newly installed pipe will be tied into the pig launcher.receivers installed at MP 11.1

10. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist.

The project is located on two Tax Lots located on the NE corner of the intersection of 36th Avenue West and 188th Street SW. The addresses are 18719 and 18727 36th Avenue West. Located in Section 15, Township 27 North, Range 4 East, WM

B. ENVIRONMENTAL ELEMENTS

1. Earth

- A. General description of the site (check one):

Flat Rolling Hilly Steep slopes Mountainous

Other: Slightly sloping from the Northwest corner to the Southeast corner.

- B. What is the steepest slope on the site (approximate percent slope)?

8-10 percent

- C. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.

Urban site with sandy soil with debris from former structure. No agricultural soils, no prime farmland.

D. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

No

E. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill.

The site will be graded to facilitate the placement of underground steel pipe and surface pipe launcher/receivers. Some concrete supports will be installed. The source of fill will be material excavated from the trench used to install the pipe. Excess cut material will be hauled off-site to an approved City or County dump site if needed.

F. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

No, Best Management Practices (BMP's) eg. silt fence, bio bags, mulch, etc. will be utilized to prevent erosion from occurring during construction.

G. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

48 percent of the site.

H. Proposed measures to reduce or control erosion, or other impacts to the earth, if any.

Excavation will be limited to the extent necessary to install facilities. BMPs will be utilized to control erosion during construction. The site will be graded, and then underground piping installed. As quick as the underground piping is installed gravel will be placed in all areas where it is called out.

2. Air

A. What types of emissions to the air would result from the proposal (i.e., dust, automobile, odors, industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known.

There will be minor temporary emissions from the construction equipment and support vehicles during construction. There will be no emissions occurring from the facility post construction.

B. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

No

C. Proposed measures to reduce or control emissions or other impacts to air, if any.
During construction excavated areas will be watered to control dust.

3. Water

A. Surface

i. Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names, If appropriate, state what stream or river it flows into.

No water bodies or wetlands exist on or near the site.

ii. Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

No

iii. Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

N/A

iv. Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

No

v. Does the proposal lie within a 100-year floodplain? If yes, note location on the site plan.

No

vi. Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No

B. Ground

- i. Will ground water be withdrawn, or will water be discharged to ground water? Give general description, purpose, and approximate quantities if known.

No

- ii. Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: domestic sewage; industrial, containing the following chemicals; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

N/A

- iii. Water Runoff (including storm water):

- (1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

Only source of runoff would be stormwater. During Construction any stormwater runoff would be filtered through BMPs before being allowed to flow to existing stormwater drains. After construction the stormwater flows will be managed through BMP's as required by code before being allowed to flow to existing stormwater drains.

- (2) Could waste materials enter ground or surface waters? If so, generally describe.

No

- iv. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any.

Best Management Practices (BMPs) will be utilized to prevent erosion from occurring during construction.

4. Plants

- A. Check types of vegetation found on the site:

- i. Deciduous trees: Alder Maple Aspen

Other:

- ii. Evergreen trees: Fir Cedar Pine

Other:

iii. Shrubs: Sme shrubs and and ground cover

iv. Grass: Some areas of patchy grass

v. Pasture:

vi. Crop or grain:

vii. Wet soil plants: Cattail Buttercup Bulrush Skunk cabbage

Other:

viii. Water plants: Water lily Eelgrass Milfoil

Other:

ix. Other types of vegetation:

B. What kind and amount of vegetation will be removed or altered?

Approximately 2 or 3 trees will be removed. The remaining trees will remain and the site will be otherwise cleared and replaced with new trees, shrubs, bushes, grass, or impervious surface.

C. List threatened or endangered species known to be on or near the site.

None the project is in an urban setting

D. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any.

A landscaping plan has been completed. The existing trees will be left as much as possible. The existng site is a vacant lot with some uncontrolled vegetation (grass, weeds) and a few trees. The site will then be fully landscape in all pervious areas.

5. Animals

A. Check any birds and animals which have been observed on or near the site or are known to be on or near the site:

i. Birds: Hawk Heron Eagle Songbirds
 Other:

ii. Mammals: Deer Bear Elk Beaver
 Other:

iii. Fish: Bass Salmon Trout Herring Shellfish
 Other:

B. List any threatened or endangered species known to be on or near the site.

None

C. Is the site part of a migration route? If so, explain.

No

D. Proposed measures to preserve or enhance wildlife, if any.

None

6. Energy and Natural Resources

A. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.

None, the facility does not require utility services

B. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

No

C. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any:

The project facilities will utilize existing natural gas flows to move in-line inspection tools thereby conserving the gas in the system at the time of inspection.

7. Environmental Health

- A. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, which could occur as a result of this proposal? If so, describe.

No

- i. Describe special emergency services that might be required.

None

- ii. Proposed measures to reduce or control environmental health hazards, if any:

N/A

B. Noise

- i. What types of noise exist in the area, which may affect your project (for example, traffic, aircraft, equipment, operation, other)?

The project site is immediately adjacent to two city streets and associated traffic noises.

- ii. What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.

There will be some construction noise on a short term basis during construction. Post-construction there will be no noise generated by the facility. During in-line inspection events there will be some small equipment and support vehicles on a short term basis (approximately one week) and these events recur every 7 years

- iii. Proposed measures to reduce or control noise impacts, if any.

Noise impacts of the project are not expected due to the existing ambient traffic noise levels.

8. Land and Shoreline Use

- A. What is the current use of the site and adjacent properties?

Urban commercial or residential use.

- B. Has the site been used for agriculture? If so, describe.

No

C. Describe any structures on the site.

None on the vacant lot. Temporary work are (parking lot) has some curbed "islands" with associated greenery

D. Will any structures be demolished? If so, what?

No

E. What is the current zoning classification of the site?

B2

F. What is the current comprehensive plan designation of the site?

Regional Commercial

G. If applicable, what is the current shoreline master program designation of the site?

N/A

H. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify.

No.

I. Approximately how many people would reside or work in the completed project?

Occasional site visits by operation technician, approximately one visit per quarter.

J. Approximately how many people would the completed project displace?

None

K. Proposed measures to avoid or reduce displacement impacts, if any.

N/A

L. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any.

The site will be fenced to obscure facility piping from street level view.

9. Housing

A. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

N/A

B. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

N/A

C. Proposed measures to reduce or control housing impacts, if any:

N/A

10. Aesthetics

A. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

No buildings are proposed, site fencing would be approximately six to eight feet in height.

B. What views in the immediate vicinity would be altered or obstructed?

None

C. Proposed measures to reduce or control aesthetic impacts, if any.

Site would be fenced with obscuring components consistent with county code

11. Light and Glare

A. What type of light or glare will the proposal produce? What time of day would it mainly occur?

None

B. Could light or glare from the finished project be a safety hazard or interfere with views?

No

C. What existing off-site sources of light or glare may affect your proposal?

None

- D. Proposed measures to reduce or control light and glare impacts, if any.

Site will not be lighted

12. Recreation

- A. What designated and informal recreational opportunities are in the immediate vicinity?

Urban location, no recreational opportunities are immediately adjacent to the site.

- B. Would the proposed project displace any existing recreational uses? If so, describe.

No

- C. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any.

None

13. Historic and Cultural Preservation

- A. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe.

No

- B. Generally describe any landmarks or evidence of historic, archaeological, scientific, or cultural importance known to be on or next to the site.

None

- C. Proposed measures to reduce or control impacts, if any.

Site will be assessed by archaeological contractor to assure no cultural resources are present.

14. Transportation

- A. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any.

The project is located on properties on the northeast and southeast corners at the intersection of 36th Avenue W and 188th Street SW. Site access is currently in both places off of both streets.

B. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop?

N/A

C. How many parking spaces would the completed project have? How many would the project eliminate?

N/A. There will be temporary impact to an existing parking lot. All spaces will be restored at completion of construction.

D. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private).

No.

E. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

No.

F. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur.

At completion the project site will be visited only occasionally by one operations technician.

G. Proposed measures to reduce or control transportation impacts, if any.

N/A

15. Public Services

A. Would the project result in an increased need for public services (for example, fire protection, police protection, health care, schools, other)? If so, generally describe.

No

B. Proposed measures to reduce or control direct impacts on public services, if any.

N/A

16. Utilities

A. Check utilities currently available at the site:

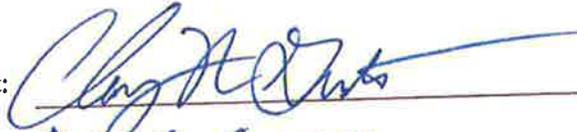
- Electricity Natural gas Water Refuse service Telephone
 Sanitary sewer Septic system
 Other:

B. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity, which might be needed.

No utilities are required

I/We certify that the information provided in this environmental checklist, including all submittals and attachments, is true and correct to the best of my/our knowledge. I understand that the lead agency is relying on them to make its decision.

Signature of Applicant/Agent:



Date: 8/9/2012

Please print name:

CLAY R. GUSTAVES



NOTICE OF ENVIRONMENTAL DECISION

WILLIAMS NORTHWEST PIPELINE PIG LAUNCHER/RECEIVER (File Nos. 2012ERC0014, 2012PDR0007 and 2012RZN0002)

NOTICE IS HEREBY GIVEN that the City of Lynnwood SEPA Responsible Official has issued a Determination of Nonsignificance (DNS) for the following proposal.

Project Description:

This is a proposal to construct a pipeline inspection gauge (PIG) launcher/receiver. Existing pipelines will be excavated in the existing right-of-way (ROW) crossing the Fisher Building parking lot and 188th St. SW will have new pipe installed under the road boring. The newly installed pipe will be tied into the pig launcher/receivers installed at the proposed site. The U.S. Department of Transportation requires Williams Northwest Pipeline to inspect the pipeline every 5 to 7 years. An 8-foot tall fence and removable canopy are proposed to help screen equipment from public view. On-site landscaping is also proposed around the perimeter of the site to help screen the site from vehicular and pedestrian traffic. Grading quantities include approximately 635 cubic yards of cut and 291 cubic yards of imported fill.

Location:

The project site is located at the northeast corner of 36th Ave. W and 188th St. SW. The Assessor's Parcel Numbers are 27041500101400 and 27041500101500.

Comments and Appeals:

This DNS is issued under WAC 197-11-340 (2)(c); the lead agency will not act on this proposal for 15 days from the date of issue. Comments must be submitted by October 4, 2012. This DNS becomes final at **4:00 PM on October 4, 2012**, unless the determination is withdrawn or amended by the City's SEPA Responsible Official.

You may appeal this determination by submitting an appeal to the Community Development Department at 4114 198th St SW, Suite 7, PO Box 5008, Lynnwood, WA 98046. An appeal may be submitted only after the close of the comment period but no later than **4:00 PM on October 18, 2012**, which is 14 days from the end of the comment period. Be prepared to make specific factual objections. The fee for an appeal is as set forth in LMC 3.104.

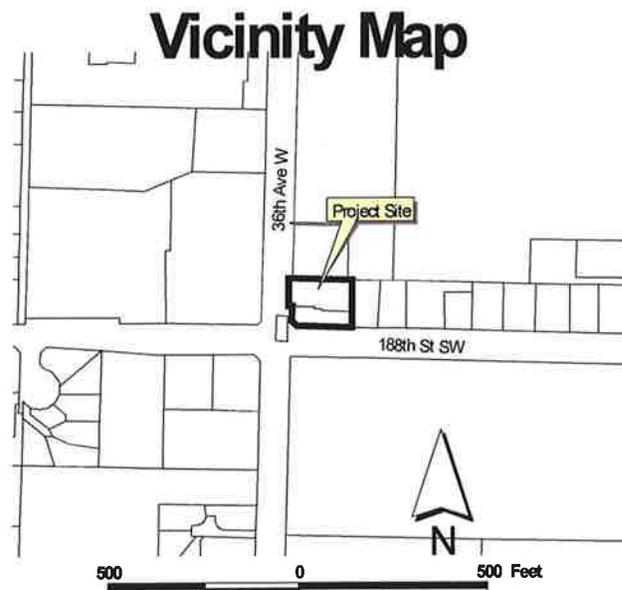
Contact:

The file on this project is maintained in the Community Development Department office and is available for review at the above listed address. If you have questions, please contact Todd Hall, Associate Planner, at (425) 670-5407 or thall@ci.lynnwood.wa.us. Please make reference to file number 2012ERC0014 when making contact.

Date of this Notice: September 19, 2012

Comment Period Ends: October 4, 2012

Appeal Period Ends: October 18, 2012





REFERRAL SUMMARY

September 20, 2012

RE: Referral Summary for Williams Northwest Pipeline Pig Receiver/Launcher – Project Design Review (2012PDR0007), Planned Unit Development (2012RZN0002) and Environmental Review (2012ERC0014)

City Departments	<p>09/12/12 – Arnold Kay, Development Services Supervisor, Public Works: No comment.</p> <p>09/12/12 – Sandra Howe, Project Manager, Public Works: No comment.</p> <p>09/12/12 – Paul Coffelt, Traffic Engineer, Public Works: No comment.</p> <p>09/12/12 – Steve Fisher, Recycling Coordinator, Public Works: No comment.</p> <p>08/28/12 – Stacy Criswell, Building Official, Building Division:</p> <ol style="list-style-type: none"> 1. The previous addresses of 18719 and 18727 36th Ave W have been retired. A new address for your project will be assigned by the Building Department at a later date. 2. Proper ADA egress hardware will be required on the two man gates for emergency egress. 3. See the Fire Marshal's Office for specifics on the fire lane and vehicle gate opening requirements. 4. If any structures are to be built, they will need to meet the State adopted Building Codes. 5. A building permit will be required for the CMU fencing, along with a State of Washington licensed Engineer stamp and calculations. <p>09/12/12 – T.J. Brooks, SOS Sergeant, Police: No comment.</p> <p>09/04/12 – Tod Gates, Fire Marshal:</p> <ol style="list-style-type: none"> 1. Fire alarm may be required if building structure required by Planning Department. 2. Need to address safety elements of this operation (mitigations, emergency procedures, etc.) Further discussion on shall be provided on plan submittal. 3. Ensure Fire Department access to the site. <p>08/28/12 – Laurie Cowan, Parks Planner: No comment.</p>
Outside Agencies	<p>09/12/12 – Dan Scheil, Engineering Services Supervisor, Alderwood Water & Wastewater District: No comment.</p> <p>09/12/12 – Mary Wicklund, Snohomish PUD: No comment.</p> <p>09/12/12 – Gayle Stacey, Snohomish PUD: No comment.</p> <p>09/12/12 – Darryl Eastin, Senior Planner, Snohomish County PDS: No comment.</p> <p>09/12/12 – Brian Harding, Director, Edmonds School District: No comment.</p>

- 09/12/12 – Kate Tourtellot, Senior Planner, Community Transit: No comment.**
- 09/12/12 – John Westfall, Deputy Chief, Fire District No. 1: No comment.**
- 09/12/12 – Karen Walter, Watersheds and Land Use Team Leader, Muckleshoot Indian Tribe: No comment.**
- 09/12/12 – Libby Nelson, Tulalip Tribes: No comment.**
- 09/12/12 – Candice Soine, Environmental Review Coordinator, Snohomish County Public Works: No comment.**
- 08/27/12 – Brent Raasina, Senior Wastewater Section, Snohomish Health District: No comment.**
- 09/12/12 – Cheryl Sullivan, Snohomish County Public Works: No comment.**
- 09/12/12 – Ramin Pazooki, Development Services, WSDOT: No comment.**
- 08/27/12 – David Lykken, Pipeline Safety Director, WUTC: No comment.**
- 09/12/12 – U.S. Department of Transportation PHMSA: No comment.**
-



NOTICE OF ENVIRONMENTAL DECISION – EXTENSION OF COMMENT PERIOD

WILLIAMS NORTHWEST PIPELINE PIG LAUNCHER/RECEIVER
(File Nos. 2012ERC0014, 2012PDR0007 and 2012RZN0002)

NOTICE IS HEREBY GIVEN that the City of Lynnwood SEPA Responsible Official has extended the comment period for a previously issued Determination of Nonsignificance (DNS) for the following proposal.

Project Description:

Williams Northwest Pipeline has submitted a proposal to construct a pipeline inspection gauge (PIG) launcher/receiver. Existing pipelines will be excavated in the existing right-of-way (ROW) crossing the Fisher Building parking lot and 188th St. SW will have new pipe installed under the road boring. The newly installed pipe will be tied into the pig launcher/receivers installed at the proposed site. The U.S. Department of Transportation requires Williams Northwest Pipeline to inspect the pipeline every 5 to 7 years. An 8-foot tall fence and removable canopy are proposed to help screen equipment from public view. On-site landscaping is also proposed around the perimeter of the site to help screen the site from vehicular and pedestrian traffic. Grading quantities include approximately 635 cubic yards of cut and 291 cubic yards of imported fill.

Location:

The project site is located at the northeast corner of 36th Ave. W and 188th St. SW. The Assessor's Parcel Numbers are 27041500101400 and 27041500101500.

Comments and Appeals:

This DNS was issued under WAC 197-11-340 (2)(c); the lead agency will not act on this proposal for 14 days from the comment period extension. Comments must be submitted by October 22, 2012. This DNS becomes final at **4:00 PM on October 22, 2012**, unless the determination is withdrawn or amended by the City's SEPA Responsible Official.

You may appeal this determination by submitting an appeal to the Community Development Department at 4114 198th St SW, Suite 7, PO Box 5008, Lynnwood, WA 98046. An appeal may be submitted only after the close of the comment period but no later than **4:00 PM on November 5, 2012**, which is 14 days from the end of the comment period. Be prepared to make specific factual objections. The fee for an appeal is as set forth in LMC 3.104.

Contact:

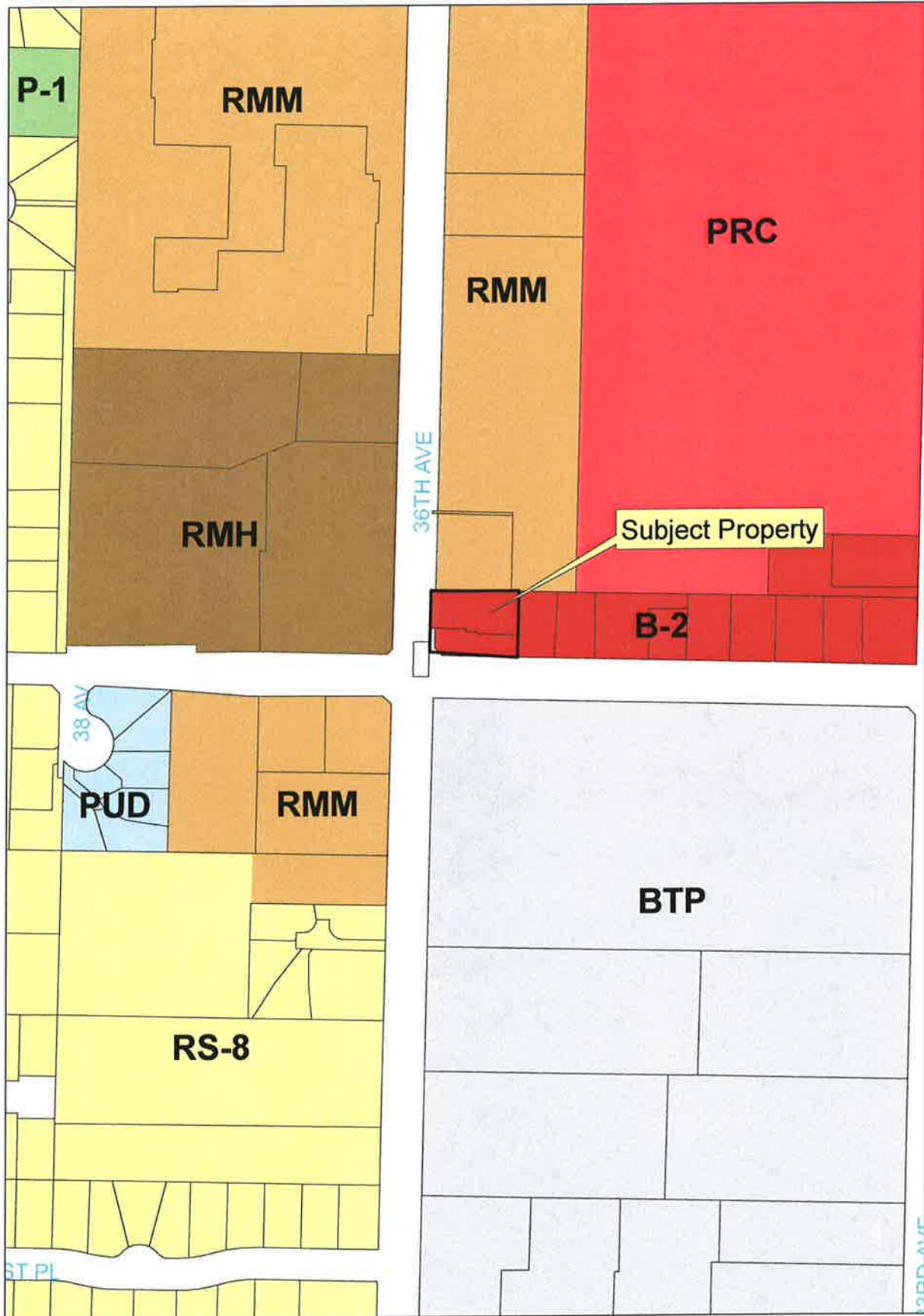
The file on this project is maintained in the Community Development Department office and is available for review at the above listed address. If you have questions, please contact Todd Hall, Associate Planner, at (425) 670-5407 or thall@ci.lynnwood.wa.us. Please make reference to file number 2012ERC0014 when making contact.

Date of this Notice: October 8, 2012

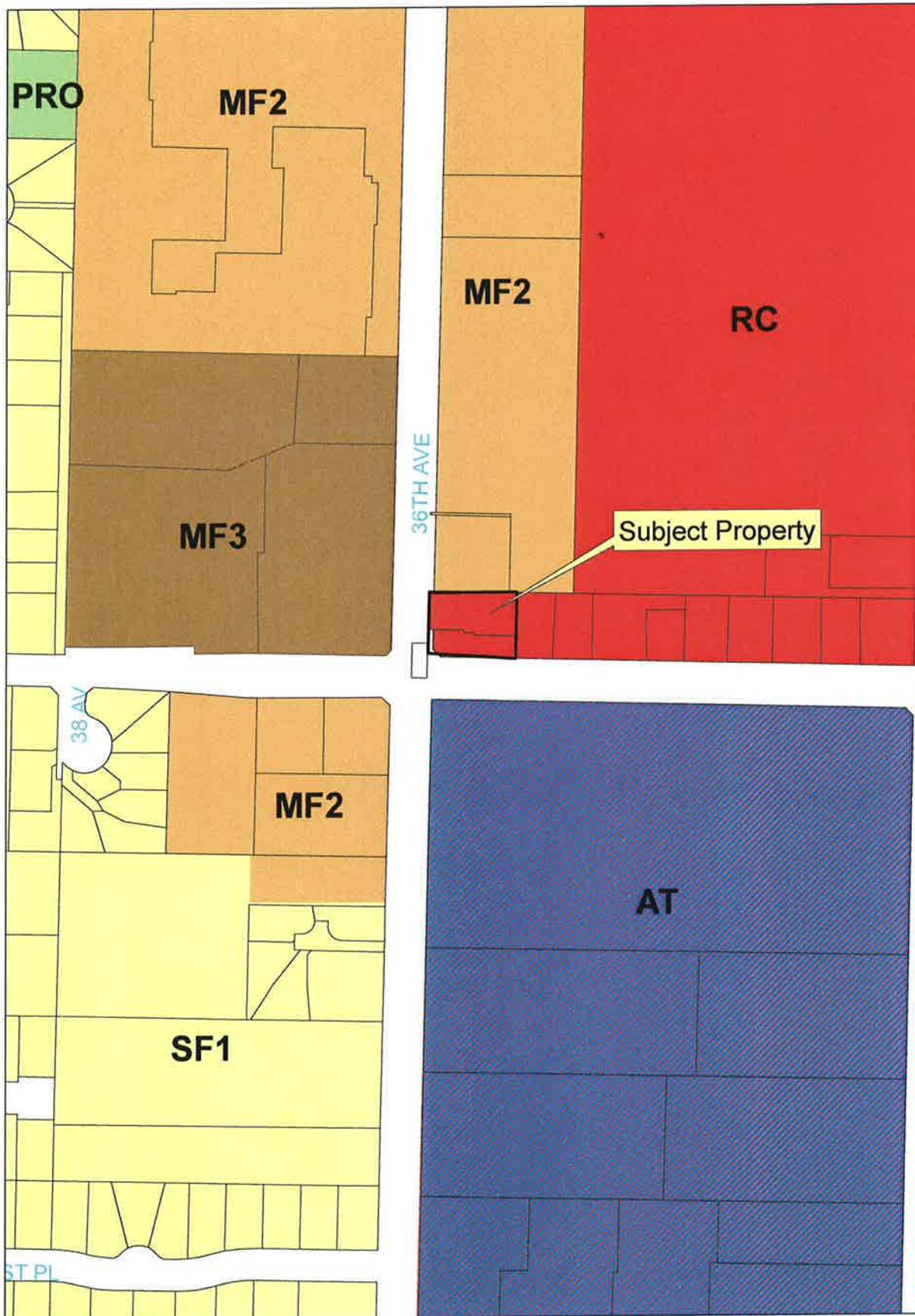
Comment Period Ends: October 22, 2012

Appeal Period Ends: November 5, 2012

12RZN0002 - Williams Pipeline Pig Receiver/Launcher Zoning



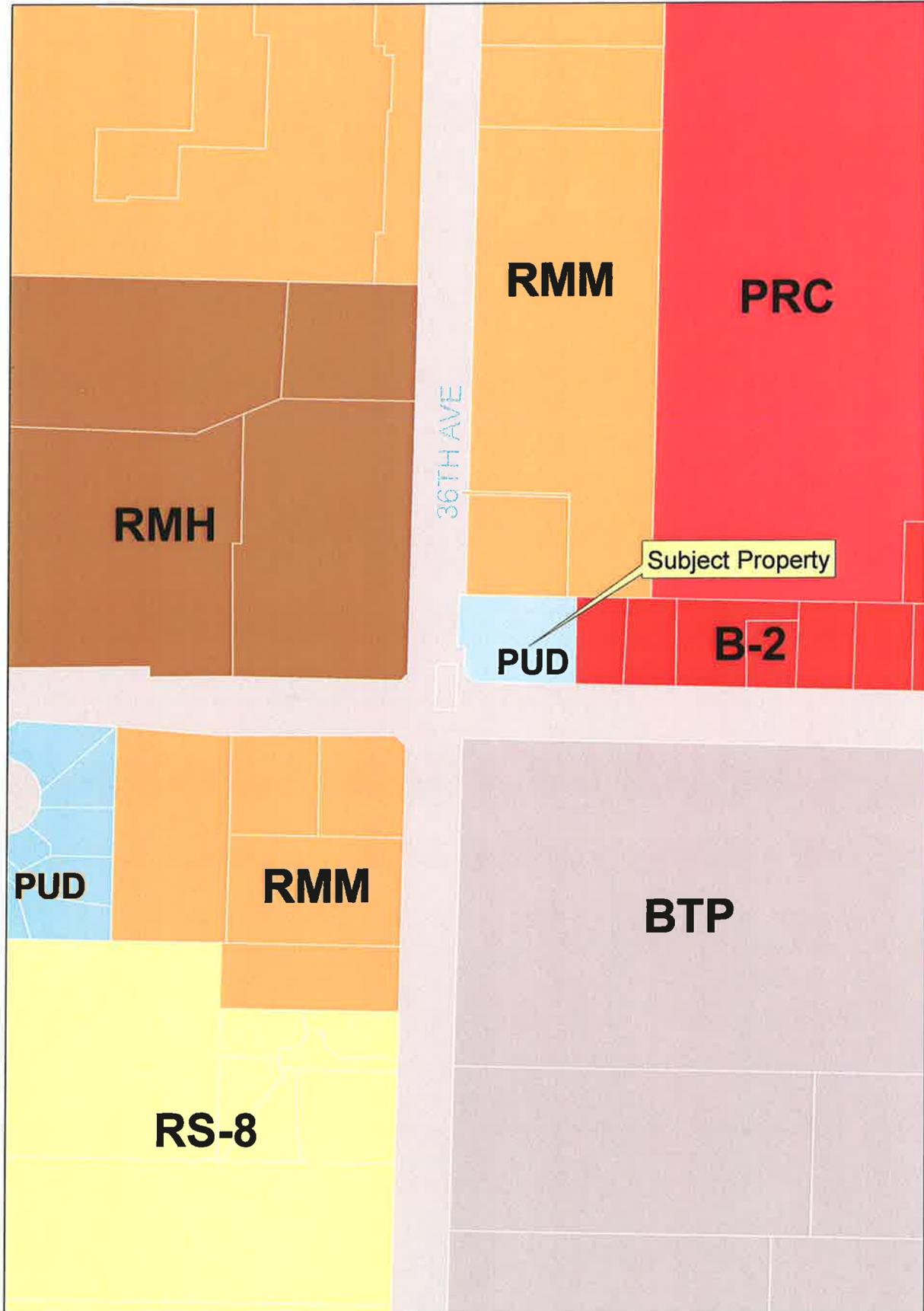
12RZN0002 - Williams Pipeline Pig Receiver/Launcher Future Land Use



12RZN0002 - Williams Pipeline Pig Receiver/Launcher



Proposed Zoning Map with PUD Designation





DIRECTOR'S DECISION

Staff Report for Project Design Review – 2012PDR0007 December 10, 2012

I. Application Name and Number

File Name: Williams Northwest Pipeline Pig Receiver/Launcher

File Number(s): 2012PDR0007

Applicant: Clay Gustaves
Williams Northwest Pipeline GP
22909 NE Redmond-Fall City Rd.
Redmond, WA 98053

Staff Reviewer: Todd Hall, Associate Planner 
425-670-5407, thall@ci.lynnwood.wa.us

Corbitt Loch, Deputy Director 

II. Proposal

The City of Lynnwood has received a Project Design Review (PDR) application to construct a pipeline inspection gauge (“pig”) launcher/receiver at the northeast corner of 36th Ave. W and 188th St. SW. (Tax Parcels 27041500101400 and 27041500101500). The “pig” is an automated inspection device. Increased mandatory pipeline inspections are being required to insure that public safety is adequately protected. The location of the station is dictated by the fact that it is the point at which the interstate pipeline ends and the local distribution system begins plus technical factors related to differing pipe dimensions and turns in the lines. An 8-foot tall fence and removable canopy are proposed to help screen equipment from public view. On-site landscaping is also proposed around the perimeter of the site to help screen from vehicular and pedestrian traffic. According to the current Federal testing regimen, the site will be utilized approximately every 5 to 7 years by authorized personnel to perform pipeline inspections.

III. Exhibits

- 1.1 Project Design Review Application, received August 9, 2012.
- 1.2 Complete set of revised site plans, received November 20, 2012.
- 1.3 Revised Landscape Plans, received November 20, 2012.
- 1.4 Applicant's All-Districts and Commercial Districts Design Guideline Evaluations, received August 9, 2012.

- 1.5 Project Summary Table, received August 9, 2012.
- 1.6 Waiver request, received August 9, 2012.
- 1.7 Landscape Maintenance Plans, received August 9, 2012.
- 1.8 Project Design Review Criteria, received August 9, 2012.
- 1.9 Fence Details, submitted September 14, 2012.
- 1.10 Removable Canopy Details, submitted September 14, 2012.
- 1.11 Comprehensive Plan Statement of Consistency, submitted September 14, 2012.

IV. Noticing

The application was deemed complete on August 20, 2012. A Notice of Application and Impending Decision was posted at the City of Lynnwood official posting sites and on site on August 27, 2012, and was published in The Herald newspaper on August 27, 2012. Owners of property within a 600-foot radius of the subject property were also mailed the Notice of Application and Impending Decision.

V. Background

The project site is located at the northeast corner of 36th Ave. W and 188th St. SW. The property is 19,451 sq. ft. (0.45 acres) and is undeveloped. There are no known environmentally sensitive areas and the project site slopes slightly from the northwest to the southeast. The site is bordered by commercial development to the east and multi-family to the north. Across 36th Ave. W to the west is an assisted living facility. Across 188th St. SW to the south is commercial/office. The site is zoned Limited Business (B-2) and is designated Regional Commercial (RC) on the City's Comprehensive Plan Future Land Use Map.

In addition to PDR approval, the applicant is seeking approval for a Planned Unit Development (PUD) for the site because Public Utilities Facilities are not permitted in the B-2 zoning district (Table 21.46.12). The PUD would allow the applicant to construct the proposed pig inspection facility at the proposed location and enable the applicant to develop a site that blends into the public realm while maintaining its private access. The PUD will be reviewed under a separate process and presented to the hearing examiner at public hearing.

Lynnwood Municipal Code (LMC) 21.30.300 requires compliance with applicable Lynnwood City Design Guidelines to receive Project Design Review (PDR) approval prior to PUD approval. However, the proposal of a pig launcher/receiver facility is unique in that it is not a publicly accessed facility, nor is there a conventional building proposed. The facility will only be accessed periodically by authorized personnel and will be completely secured and screened from the public realm. Therefore, many of the guidelines do not apply and the applicant has asked to "waive" a number of the guidelines. The Community Development Director

determined that the applicant has met all those guidelines that do apply specifically to the project.

VI. Relevant Legal Citations and Analysis

A. City Regulations and Requirements

Comprehensive Plan

The property is designated on the Future Land Use Plan Map in the Comprehensive Plan as “Regional Commercial” (RC). The principal uses in the Regional Commercial category are “personal, professional and public services and offices, retail sales of goods for the region, including the local community and surrounding communities, hotels, motels and entertainment businesses.”

The following objective and policies from the Comprehensive Plan are most relevant to this Project Design Review:

- Land Use Policy LU-8.4: “Provide adequate setbacks, buffers, landscaping, visual screens, and appropriate building scale and architecture to make development compatible with nearby residential and other land uses.”
- Land Use Policy LU-8.19: “Screening of elements such as recycling and waste collection areas, compactors and dumpsters, loading and service areas, and mechanical equipment shall be required so that these elements do not create a negative impact to the streetscape and nearby residential areas.
- Transportation Objective T-23: “Control the location and spacing of commercial driveways and the design of parking lots to avoid traffic and pedestrian conflicts and confusing circulation patterns.”
- Transportation Policy T-23.1: “Driveways shall be located to provide adequate sight distance for all traffic movements and not interfere with traffic operations at intersections.”
- Transportation Policy T-26.1: “Require the construction and operation of transportation facilities and services to meet the standards of the Americans with Disabilities Act (ADA).”

Staff Response:

- LU-8.4 and LU-8.18 are met through compliance with zoning regulations and the Citywide Design Guidelines.
- LU-8.19 is met by the proposed 8-foot high, concrete masonry unit (CMU) fence and StoneLook™ fence which will screen all pipeline inspection equipment from public view. Also, a removable A-frame type canopy with steel sheeting roof will be constructed to screen the equipment from public view.

- T-23 and T-23.1 are met by providing only one entrance per right-of-way and spaced far enough from the intersection as to not create conflicts or sight distance issues that would interfere with traffic. Additionally, the driveways will only be accessible by authorized vehicles during inspection periods, so these access points will be used infrequently.
- T-26.1 is met through requirements to make curb cuts ADA compliant and by compliance with any applicable building code ADA requirements during building permit review.

Title 1 LMC – General Provisions

LMC 1.35.025 sets a 120-day time limit for processing project permit applications. This time period commences upon notification to the applicant of a complete application. This time frame is calculated for each day of processing, with the following exceptions:

- LMC 1.35.025.A.1: “Any period during which the applicant has been requested by the city to correct plans, perform required studies, or provide additional required information, pursuant to LMC 1.35.033. The period shall be calculated from the date the city notifies the applicant of the need for additional information until the earlier of the date the city determines whether the additional information satisfies the request for information or 14 days after the date the information has been provided to the city. If the city determines that the information submitted by the applicant is insufficient, it shall notify the applicant of the deficiencies and this procedure shall apply as if a new request for studies had been made.”
- LMC 1.35.025.A.2: “Any period during which an environmental impact statement is being prepared following a determination of significance pursuant to Chapter 43.21C RCW.”
- LMC 1.35.025.A.3: “Any period for administrative appeals of project permits, if an open record appeal hearing or a closed record appeal, or both, are allowed. The city shall consider and decide such appeals within 90 calendar days for an open record appeal hearing and within 60 calendar days for a closed record appeal. The parties to an appeal may agree to extend these time periods.”
- LMC 1.35.025.A.4: “Any extension of time mutually agreed upon by the applicant and the city.”

Staff Response: The application is on schedule for completing a determination within 120 calendar days of active permit processing. The current deadline for active processing is March 9, 2013, and the date of this Staff Report will be Day 29 of active processing.

Title 21 LMC - Zoning

Chapter 21.04 LMC – General Provisions

LMC 21.04.015 states the following as the Purpose of the Zoning Code: “This title (LMC Title 21, Zoning, also called the zoning code) provides regulations

concerning the use of land and structures and the location, size, and bulk of structures for the purpose of avoiding or abating public nuisances. This title also intends to promote the protection and promotion of the quality of the natural environment and the health, safety, morals, and other aspects of the general welfare of present and future inhabitants of the city of Lynnwood in accordance with the comprehensive plan and state law, judicial decisions, and Central Puget Sound Growth Management Hearings Board decisions regarding land use regulations. To these ends, it is the intent of these regulations to implement the city of Lynnwood comprehensive plan and the future land use plan map.”

Staff Response: Through the use of the RZN (PUD) process, the project will comply with, and meet the intent and purpose of, Title 21 LMC. The RZN (PUD) review and analysis is provided under a separate staff report.

Chapter 21.10 LMC – Fence, Hedge and Vision Obstructing Regulations

LMC 21.10.100.B.2 states that within commercial zones, vision-obscuring or non-vision obscuring fences or hedges up to eight feet in height may be located on side and rear property lines and within side and rear yards, but non nearer to any public street than a point equal to the closest part of any building thereon to that street.

Staff Response: The proposed fences comply with LMC 21.10.100.B.2 for height in side and rear yards (up to 8 feet). However, the fence location along the street is closer than allowed per the above code, which is not nearer to any public street than a point equal to the closest part of any building to the street. The proposed removable canopy has been defined as a “structure” per the building official. The applicant has applied for a Planned Unit Development (PUD) approval to allow for greater flexibility in design and construction.

Chapter 21.25 LMC – Project Design Review

LMC 21.25.145.B requires that the following decision criteria be met for approval in the project design review process:

- It is consistent with the Comprehensive Plan.
- It is consistent with all applicable provisions of this chapter.
- It is consistent with the applicable design guidelines found in the Lynnwood Citywide Design Guidelines.

LMC 21.25.180 requires compliance “with all aspects, including conditions and restrictions, of an approval granted under this process in order to do everything authorized by that approval.

- “B. Exception, Subsequent Modification. If a specific site configuration for the subject property was approved under this process or any quasi-judicial process, the applicant is not required to apply for and obtain approval through this process for a subsequent change in site configuration unless:
“1. There is a change in use and this title establishes different or more rigorous standards for the new use than for the existing use; or

“2. The director determines that there will be substantial changes in the impacts on the neighborhood or the city as a result of the change.”

Staff Response: Staff finds that the proposed project, as conditioned, is consistent with the purpose of design review. The project:

- Is coordinated with other known or anticipated private development and public improvement projects in the area, as the design is consistent and will exceed the appearance of other business activities in the vicinity of 36th Ave. W and 188th St. SW. The site will be visually screened with fencing and landscaping, so it will improve the appearance of the existing vacant lot, which is mostly overgrown with invasive species.
- Embodies good design principals that will result in high quality development on the subject property including (but not limited to):
 - a. Use of screening materials, including 8-foot tall CMU block fence along the rights-of-way and an 8-foot tall simulated stone fence along the interior that will provide a visual barrier to the piping facility. Earthen tones will be chosen to blend into the environment.
 - b. Substantial landscaping is provided around the perimeter of the property to visually screen the fence and help be visually pleasing to both pedestrian and vehicular traffic.
- The project complies with the intent of all applicable Citywide Design Guidelines.

Chapter 21.46 LMC – Commercial Zones

The following sections outline the purpose and requirements of the Commercial Zone:

- **LMC 21.46.050.B.5 – Purpose, Individual Zones, Limited Business (B-2):**
“This zone is intended to provide areas for the location of office buildings of unrestricted height and size to accommodate executive, administrative, clerical, professional or scientific staffs of business or professional concerns, and other compatible or complementary uses, including internally oriented businesses which serve the office businesses or their personnel, and including municipal service. It is intended that this zone should be so located that it will completely occupy a large area of several city blocks, without intermingling of other small spots zoned for other uses, in order that the typically high aesthetic quality of office buildings will be consistent throughout a large area and each such building will benefit by the presence of the others. Other uses which characteristically are of similar aesthetic quality are permitted, including financial institutions. Whereas other business zones provide goods and services for households, the Limited Business zone is intended to provide employment opportunities for the community, in an organized office zone which will enhance the image of the city.”

- LMC 21.46.01 – Table of Permitted Uses: Public Utilities Facilities are not permitted within the B-2 zone. However, the applicant has applied for a PUD which will provide the applicant the flexibility to build the proposed use on the subject property.

LMC 21.30.800 allows uses not permitted within the existing zoning districts per the following:

“The city council may approve any use not a direct contradiction to the objectives of the comprehensive plan, except as set forth in LMC 21.30.950.B.; provided however, the notices to the public relative to the PUD shall state with particularity every use to which properties within the PUD are to be put and the city council, in granting any PUD, shall make findings as to the specific uses to be permitted within the PUD. Every other use shall be illegal unless granted through a subsequent revision of the PUD in the same manner as a rezone of a property.”

- LMC 21.46.105 – Project Design Review: Design review is required for construction of any nonresidential structure with a gross floor area of more than 1,000 sq. ft.
- LMC 21.46.14 – Table of Development Standards:

Front Yard Setback	15 ft.
Rear Yard Setback	25 feet
Side Yard Setback	15 feet
Maximum Lot Coverage by Buildings	35%
Maximum Building Height	none

Staff Response: The proposal meets the requirements and development standards of the B-2 zone. The use (public utility facility) is not specifically allowed within the B-2 zone. However, the applicant is seeking PUD approval in order to allow the use and to allow greater flexibility in design and construction.

Design Guidelines

Citywide and Commercial Design Guidelines apply to this development project.

Staff Response: Staff finds that most of the Citywide Design Guidelines do not apply as the proposed project is unique and the project does not fall within any of the design parameters of typical building design. A removable canopy (building) is proposed to screen the piping facility from the top and to help screen from public view. The only other permanent structures proposed on site are the pig launcher/receiver facility and CMU and Stone Look™ fences. Specific details on the canopy and fencing may be found on the attached exhibits. The applicant has

complied with all other applicable Citywide Design Guidelines. The applicant has requested to “waive” those guidelines that do not apply to the project (Exhibit 1.6).

Design Review comments were provided to the applicant on September 20, 2012. The applicant has addressed staff comments for those that needed corrections.

VII. Environmental Review

The Community Development Director issued a Determination of Nonsignificance (File No. 2012ERC0014) for this project on September 19, 2012. No comments were received during the public comment period. No appeal of this Determination was filed.

VIII. Public Comment

A 14-day public comment period on the proposal ended on September 11, 2012. The City received one comment by a nearby resident regarding the height of the inspection facility and the height and design of the fences. Staff provided fence specifications and color details to the resident. No other comments from the public were received.

IX. Conclusion and Recommendation

A. Conclusions

Based on the application materials (see Section III) and the analysis contained in this staff report, staff concludes that the applicant has met the decision criteria for approval of the Project Design Review application as long as the recommended conditions of approval are met prior to issuance of Certificate of Occupancy.

B. Recommendation

Staff recommends approval of this Project Design Review application, subject to the following conditions:

1. In addition to compliance with the Landscape Maintenance Plan, the property owner shall be responsible for maintaining the on-site landscaping and irrigation system in perpetuity.

X. Director's Decision

I concur with the above conclusions and recommendation to grant approval of the Project Design Review application for the Williams Northwest Pipeline Pig Receiver/Launcher.

Community Development Director:


Paul Krauss, AICP

Date: 12/10/12

XI. Right of Appeal

Administrative decisions of the director may be appealed by filing a written request for appeal with the Community Development Department within 14 calendar days of the date of issuance of the decision. The appeal deadline shall be 4PM on December 24, 2012. An appeal filed within this time limit shall be processed pursuant to Process II, as identified in LMC 1.35.200.

XII. Other Permits

The approval of Project Design Review does not in any way replace, modify or waive any requirement for the compliance of the proposal with the zoning code or other applicable codes, standards, or regulations, including, but not necessarily limited to, those of the Permits & Inspections, Fire or Public Works Department.

XIII. Revisions after Approval

Project Design Review approval for this proposal is based on all plans, details, catalogue cuts, specifications, renderings, notes, materials and color samples submitted for design review. Any changes to the design of the project as indicated by the above submitted materials **will require review of the Project Design Review approval** and may delay issuance of subsequent development permits for the proposal and/or inspections during construction. Significant changes may require a new Project Design Review or SEPA review.

XIV. Validity

The applicant under this process must begin construction or submit to the city a complete building permit application for the proposal within two years after the final decision on the matter, or the decision becomes void. The applicant must substantially complete construction for the proposal approved under this process and complete the applicable conditions listed in the decision within five years after the final decision of the city on the matter, or the decision becomes void.

No later than two weeks prior to the lapse of approval, the applicant may submit a written request with supporting documentation to the Community Development Department requesting a one-time extension of those time limits of up to one year.



NOTICE OF PUBLIC HEARING

WILLIAMS NORTHWEST PIPELINE PIG RECEIVER/LAUNCHER PLANNED UNIT DEVELOPMENT (PUD) (2012RZN0002)

NOTICE IS HEREBY GIVEN that at:

Time: **2:00 PM on January 10th, 2013**

Place: **Lynnwood Civic Center, Council Chambers at 19100 44th Ave W, Lynnwood, WA**

the **Lynnwood Hearing Examiner** will conduct an formal public hearing at which the above-referenced project will be considered. Persons owning property within 600 ft. of the project site are especially noticed and invited, but **any interested party may appear and give testimony** at the above time and place. No new materials, testimony, or statements shall be considered after the date of this public hearing.

Application and Project Description:

The applicant, Clay Gustaves, representing Williams Northwest Pipeline GP, is requesting approval for a Planned Unit Development (PUD) to allow for a pig (pipeline inspection gauge) receiver/launcher. The inspection facility will be used for pipeline inspections to be conducted approximately every 5 to 7 years as required by the U.S. Department of Transportation. The applicant is seeking approval for a PUD for the site because Public Utilities Facilities are not permitted in the B-2 zoning district (Table 21.46.12). The PUD would allow the applicant to construct the proposed pig inspection facility at the proposed location and enable the applicant to develop a site that blends into the public realm while maintaining its private access. Additionally, because the site is not publicly accessed, the applicant is proposing 8-foot tall fences in order to provide security and screening from the general public. A heavily-reinforced CMU wall will be constructed to provide further protection. Landscaping will be provided around the perimeter of the fencing to further enhance the appearance of site.

Location:

Northeast corner of 36th Avenue W and 188th Street SW (Assessor Parcel Nos. 27041500101400 and 27041500101500).

Appeal of Hearing Examiner Decision:

Only persons who:

- Appear and give testimony at the public hearing; or
- Submit written comments to the Community Development Department; or
- Submit a written request for a copy of the Examiner's decision

may appeal the decision. Only comments and testimony received at or prior to the hearing may be considered at the Hearing, or at any appeal proceeding.

Additional Information:

There are occasions when meetings may be postponed or items removed from an agenda. It is therefore advised that you confirm that the meeting is going to be held and that this item is on the agenda. The public is invited to attend. Parking and meeting rooms are accessible for persons with disabilities. Contact the City Clerk at (425) 670-5161 with 24-hours advance notice for special accommodations.

Contact:

The file on this project is maintained in the Community Development Department office at the above listed address. If you wish to be notified of any decision, the appeal rights of this application or if you have other questions, please contact Todd Hall, Associate Planner, at (425) 670-5407 or thall@ci.lynnwood.wa.us. Please make reference to file number 2012RZN0002 when making contact.

Date of this Notice: December 7, 2012

NAME	ADDR1	ADDRCITY	ADDRSTAT	ADDRZIP
	10750 RIVIERA PL NE	SEATTLE	WA	98125
ERGOPROPERTIES LLC	115 SKYLINE DR	EDMONDS	WA	98020
UM CHAN HO & INSOOK	11722 67TH AVE NE	ARLINGTON	WA	98223-4904
BUCHANAN SCOT	12532 EAGLE DR	BURLINGTON	WA	98233
RF COLONY PARK I & II LLC	1301 FIFTH AVE STE 1	SEATTLE	WA	98101
LEI MEI-I & CHEONG SING	14011 SE 46TH ST	BELLEVUE	WA	98006
VU DAI	16218 MOTOR PL # A	LYNNWOOD	WA	98037
MCKINNEY WILLIAM L & JANET L	17805 29TH AVE NE	LAKE FOREST PAI	WA	98155
NHEM MONITA R	18404 36TH AVE W ST	LYNNWOOD	WA	98037-7689
BANDEY RIZWAN M	18404 36TH AVE W ST	LYNNWOOD	WA	98037-7689
NIES GORDON & KAY	18404 36TH AVE W ST	LYNNWOOD	WA	98037-7689
LANKA MICHAEL P	18404 36TH AVE W UI	LYNNWOOD	WA	98037
RED ROBIN AMERICA'S GOURMET BL	18410 33RD AVE W	LYNNWOOD	WA	98037
ARAKELYAN VALERIY R	18410 36TH AVE W ST	LYNNWOOD	WA	98037-7690
WOOD STACEY L	18410 36TH AVE W ST	LYNNWOOD	WA	98037-7690
MENDOZA ARTURO N	18410 36TH AVE W ST	LYNNWOOD	WA	98037-7690
CAMAGONG I / CAMAGONG R	18410 36TH AVE W ST	LYNNWOOD	WA	98037-7690
AARON BROTHERS #244	18420 33RD AVE W ST	LYNNWOOD	WA	98037
ALDERWOOD COURT APTS	18420 36TH AVE W	LYNNWOOD	WA	98036
ARMSTRONG IN-HOME CARE	18420 36TH AVE W	LYNNWOOD	WA	98037
ZAMPARDO AUGUST & MARGARET	18424 36TH AVE W ST	LYNNWOOD	WA	98037-7691
MADSEN ROY E	18424 36TH AVE W ST	LYNNWOOD	WA	98037-7691
RESIDENT	18424 36TH AVE W ST	LYNNWOOD	WA	98037-7691
STEWART ALETHA	18430 36TH AVE W ST	LYNNWOOD	WA	98037-7692
CHUNG AARON	18430 36TH AVE W ST	LYNNWOOD	WA	98037-7692
RADCLIFFE SCOTT & LORI	18430 36TH AVE W ST	LYNNWOOD	WA	98037-7692
CORNELL STEPHEN E	18430 36TH AVE W ST	LYNNWOOD	WA	98037-7692
TERIYAKI WOK EXPRESS	18500 33RD AVE W ST	LYNNWOOD	WA	98037
HAIR MASTERS #6817	18500 33RD AVE W ST	LYNNWOOD	WA	98037
CIGAR LAND	18500 33RD AVE W ST	LYNNWOOD	WA	98037
EMBROIDME	18500 33RD AVE W ST	LYNNWOOD	WA	98037
MR FORMAL	18500 33RD AVE W ST	LYNNWOOD	WA	98037
BARKER KIRK DAVID & MARGOT SCH	18502 36TH AVE W UI	LYNNWOOD	WA	98037
HILDEBRANDT KRISTINE M	18502 36TH AVE W UI	LYNNWOOD	WA	98037
CHENG TUNG-SING & WU QIONG ALI	18502 36TH AVE W UI	LYNNWOOD	WA	98037
CALOMENI ANTHONY D IV / BJARNAS	18502 36TH AVE W UI	LYNNWOOD	WA	98037
KISER JANA	18502 36TH AVE W UI	LYNNWOOD	WA	98037
PELKEY JAY L & SPARKS-PELKEY CHER	18502 36TH AVE W UI	LYNNWOOD	WA	98037
THOMAS PAULA L	18508 36TH AVE W UI	LYNNWOOD	WA	98037-7695
BAGNOVETS SVETLANA	18508 36TH AVE W UI	LYNNWOOD	WA	98037-7695
OLEARY MICHAEL J	18508 36TH AVE W UI	LYNNWOOD	WA	98037-7695
FORD YUEH-HSIA SHAWN / NELSON F	18510 36TH AVE W ST	LYNNWOOD	WA	98037
BEGLEY MICHAEL B/ELDORE ANN	18510 36TH AVE W ST	LYNNWOOD	WA	98037
VANDERWILT BRENT B & DEBRA B	18510 36TH AVE W UI	LYNNWOOD	WA	98037
BAILEY SAUL J	18510 36TH AVE W UI	LYNNWOOD	WA	98037
HSU CHU-CHEN/HSU CHU-YI	18510 36TH AVE W UI	LYNNWOOD	WA	98037

BAUGHMAN SHIRLEY P & BILLY J	18510 36TH AVE W UI LYNNWOOD	WA	98037
BLAIR VICTORIA L	18512 36TH AVE W UI LYNNWOOD	WA	98037
SCHMIDT JOHN C & RACHEL M	18512 36TH AVE W UI LYNNWOOD	WA	98037
MYER TIMOTHY P	18512 36TH AVE W UI LYNNWOOD	WA	98037
BLACK BRENT L/MCCALL JENIJOV	18512 36TH AVE W UI LYNNWOOD	WA	98037
COLLERA FELIPE & MARIA	18512 36TH AVE W UI LYNNWOOD	WA	98037
DAVIDSON ERNEST R & REBA	18514 36TH AVE W UI LYNNWOOD	WA	98037
PANGILINAN CANDIDA G & AMADOR	18514 36TH AVE W UI LYNNWOOD	WA	98037
RESIDENT	18514 36TH AVE W UI LYNNWOOD	WA	98037
CAMP JOHN D & KAREN I	18514 36TH AVE W UI LYNNWOOD	WA	98037
VALDES KAELA J	18514 36TH AVE W UI LYNNWOOD	WA	98037
DORAN EDWARD & HAMM SUSAN	18516 36TH AVE W UI LYNNWOOD	WA	98037-7696
HICKS JOHN F & SAU-LING	18516 36TH AVE W UI LYNNWOOD	WA	98037-7696
VOSKAMP JOHN	18516 36TH AVE W UI LYNNWOOD	WA	98037-7696
MUSHTAQ FRAZ	18516 36TH AVE W UI LYNNWOOD	WA	98037-7696
HOSFORD THELMA M	18516 36TH AVE W UI LYNNWOOD	WA	98037-7696
CHONG UNMI	18516 36TH AVE W UI LYNNWOOD	WA	98037-7696
ROSS DRESS FOR LESS INC	18520 33RD AVE W ST LYNNWOOD	WA	98037
GEN X CLOTHING CORP	18520 33RD AVE W ST LYNNWOOD	WA	98037
CHUNG EUI H & MI O	18524 36TH AVE W ST LYNNWOOD	WA	98037
CHUANG JULIE CHIA-HUEI	18524 36TH AVE W UI LYNNWOOD	WA	98037
NIEVES ROBERTO CARLOS & THIDASA	18524 36TH AVE W UI LYNNWOOD	WA	98037
PAK DANIEL	18524 36TH AVE W UI LYNNWOOD	WA	98037
RESIDENT	18525 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18525 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18525 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18525 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18525 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18525 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18525 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18525 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18525 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18525 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18525 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18525 36TH AVE W AF LYNNWOOD	WA	98037-7614
HOEHNE LEROY W & ALENE C	18526 36TH AVE W #E LYNNWOOD	WA	98037
KIM JI HYUN	18526 36TH AVE W #E LYNNWOOD	WA	98037
OH BOK J	18526 36TH AVE W #E LYNNWOOD	WA	98037
SCHEIDEGGER ROBERT I III & TRISTAN	18526 36TH AVE W ST LYNNWOOD	WA	98037-1100
VERITY CREDIT UNION	18530 33RD AVE W ST LYNNWOOD	WA	98037
FATBURGER	18530 33RD AVE W ST LYNNWOOD	WA	98036
CUSHMAN KRISTIN M & JOSHUA J	18530 36TH AVE W #E LYNNWOOD	WA	98037
WELLS PAMELA M & KEITH	18530 36TH AVE W #E LYNNWOOD	WA	98037
CHRISTIE SCOTT A & LINDSEY K	18530 36TH AVE W #E LYNNWOOD	WA	98037
BRANDT MARCELLA L	18530 36TH AVE W #E LYNNWOOD	WA	98037
RESIDENT	18530 36TH AVE W ST LYNNWOOD	WA	98037-1101
RESIDENT	18530 36TH AVE W ST LYNNWOOD	WA	98037-1101
TIBBOTT NEIL & MARGARET	18532 36TH AVE W ST LYNNWOOD	WA	98037-1102
CONATSER ELIZABETH B & JAMES J	18532 36TH AVE W UI LYNNWOOD	WA	98037

JOH HEEJIN	18532 36TH AVE W UI LYNNWOOD	WA	98037
BERNARD JAMIE H & LOUIS B	18532 36TH AVE W UI LYNNWOOD	WA	98037
BIG 5 SPORTING GOODS #87	18600 33RD AVE W ST LYNNWOOD	WA	98037
MELDISCO/PAYLESS 18600-B 33RD A'	18600 33RD AVE W ST LYNNWOOD	WA	98037
RITE AID #5196	18600 33RD AVE W ST LYNNWOOD	WA	98037
SADDLER DAVID PAUL	18600 36TH AVE W #1 LYNNWOOD	WA	98037
NEILL WINIFRED L	18600 36TH AVE W #1 LYNNWOOD	WA	98037
CERENZIE MARK A & CLAUDIA B	18600 36TH AVE W #1 LYNNWOOD	WA	98037
LEE YONIH	18600 36TH AVE W #1 LYNNWOOD	WA	98037
RESIDENT	18601 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18601 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18601 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18601 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18601 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18601 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18601 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18601 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18601 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18601 36TH AVE W AF LYNNWOOD	WA	98037-7614
LEE TRISTEN	18602 36TH AVE W UI LYNNWOOD	WA	98037
LIU JEN CHIA	18602 36TH AVE W UI LYNNWOOD	WA	98037
RESIDENT	18602 36TH AVE W UI LYNNWOOD	WA	98037
PATTERSON JEAN M	18602 36TH AVE W UI LYNNWOOD	WA	98037
BRAMMER KELLY K	18602 36TH AVE W UI LYNNWOOD	WA	98037
TRUONG LYNN K/TRUONG KIMTHUY	18602 36TH AVE W UI LYNNWOOD	WA	98037
MILLER HENRY J & LIS S	18604 36TH AVE W UI LYNNWOOD	WA	98037
CHUNG JAI K	18604 36TH AVE W UI LYNNWOOD	WA	98037
GRAYBILL KATHI L	18604 36TH AVE W UI LYNNWOOD	WA	98037
KIM MYUNG KEUN & JAE YOUNG	18604 36TH AVE W UI LYNNWOOD	WA	98037
LEE RICARDO Y & SANDRA L	18604 36TH AVE W UI LYNNWOOD	WA	98037
CHANG YURI & KIM SANG H	18604 36TH AVE W UI LYNNWOOD	WA	98037
RESIDENT	18609 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18609 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18609 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18609 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18609 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18609 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18609 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18609 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18609 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18609 36TH AVE W AF LYNNWOOD	WA	98037-7614
DLM MARKETING	18609 36TH AVE W ST LYNNWOOD	WA	98037
ALBERT LEE INC	18620 33RD AVE W LYNNWOOD	WA	98037
RESIDENT	18621 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18621 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18621 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18621 36TH AVE W AF LYNNWOOD	WA	98037-7614

RESIDENT	18621 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18621 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18621 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18621 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18621 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18621 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18623 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18623 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18623 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18623 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18623 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18623 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18623 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18623 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18623 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18623 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18623 36TH AVE W AF LYNNWOOD	WA	98037-7614
QDOBA RESTAURANT CORPORATION	18700 33RD AVE W ST LYNNWOOD	WA	98037
GAMESTOP #714	18700 33RD AVE W ST LYNNWOOD	WA	98037
ALDERWOOD SHOE SPOT	18700 33RD AVE W ST LYNNWOOD	WA	98037
VERIZON PLUS	18700 33RD AVE W ST LYNNWOOD	WA	98037
MERLE NORMAN	18700 33RD AVE W ST LYNNWOOD	WA	98037
H & H CLEANERS	18700 33RD AVE W ST LYNNWOOD	WA	98036
FASHION NAILS	18700 33RD AVE W ST LYNNWOOD	WA	98037
HOUSEHOLD FINANCE CORP III	18700 33RD AVE W ST LYNNWOOD	WA	98037
ALTERRA CLARE BRIDGE	18706 36TH AVE W LYNNWOOD	WA	98037
RESIDENT	18707 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18707 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18707 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18707 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18707 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18707 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18707 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18707 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18707 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18707 36TH AVE W AF LYNNWOOD	WA	98037-7614
RESIDENT	18707 36TH AVE W AF LYNNWOOD	WA	98037-7614
D O C	18710 33RD AVE W LYNNWOOD	WA	98037
KENSINGTON TOWNHOUSES	18711 36TH AVE W LYNNWOOD	WA	98037
RESIDENT	18711 36TH AVE W AF LYNNWOOD	WA	98037-7608
RESIDENT	18711 36TH AVE W AF LYNNWOOD	WA	98037-7608
RESIDENT	18711 36TH AVE W AF LYNNWOOD	WA	98037-7608
RESIDENT	18711 36TH AVE W AF LYNNWOOD	WA	98037-7608
RESIDENT	18711 36TH AVE W AF LYNNWOOD	WA	98037-7608
RESIDENT	18711 36TH AVE W AF LYNNWOOD	WA	98037-7608
RESIDENT	18711 36TH AVE W AF LYNNWOOD	WA	98037-7608
RESIDENT	18711 36TH AVE W AF LYNNWOOD	WA	98037-7608
RESIDENT	18711 36TH AVE W AF LYNNWOOD	WA	98037-7608
OKRENT WOGSLAND& WESTBROOK	18720 33RD AVE W ST LYNNWOOD	WA	98037
ERGOMETRICS & APPLIED PERSONNE	18720 33RD AVE W ST LYNNWOOD	WA	98037

MARIE MERCHANDISE	18805 38TH AVE W	LYNNWOOD	WA	98037
MUKASA MARY N/MUKASA IMMACU	18805 38TH AVE W	LYNNWOOD	WA	98037-7637
RESIDENT	18808 36TH AVE W	AF LYNNWOOD	WA	98036-5758
RESIDENT	18808 36TH AVE W	AF LYNNWOOD	WA	98036-5758
RESIDENT	18808 36TH AVE W	AF LYNNWOOD	WA	98036-5758
RESIDENT	18808 36TH AVE W	AF LYNNWOOD	WA	98036-5758
RESIDENT	18808 36TH AVE W	AF LYNNWOOD	WA	98036-5758
ARUMUGANATHAN KATHIRAVETPILL	18811 38TH AVE W	LYNNWOOD	WA	98037-7637
RESIDENT	18817 38TH AVE W	LYNNWOOD	WA	98037-7637
BETHEL ASSEMBLY OF GOD	18820 36TH AVE W	LYNNWOOD	WA	98036
BUSINESS TENANT	18820 36TH AVE W	LYNNWOOD	WA	98036-5701
TIMBER RIDGE COMMUNITY CHURCH	18820 36TH AVE W	LYNNWOOD	WA	98036
JAMALI AZIZ	18821 38TH AVE W	LYNNWOOD	WA	98037-7637
BUSINESS TENANT	19011 36TH AVE W	LYNNWOOD	WA	98036
BUSINESS TENANT	19011 36TH AVE W	LYNNWOOD	WA	98036-5752
ALDERWOOD PRINTERY INC	19011 36TH AVE W	ST LYNNWOOD	WA	98036
STATTON GLASS	19011 36TH AVE W	ST LYNNWOOD	WA	98036
EASTSIDE COMMUNICATIONS INC	19011 36TH AVE W	ST LYNNWOOD	WA	98036
PLETRONICS INC	19013 36TH AVE W	ST LYNNWOOD	WA	98036
PRA INC	19013 36TH AVE W	ST LYNNWOOD	WA	98036
RICE GROUP INC	19015 36TH AVE W	ST LYNNWOOD	WA	98036
MARROTT DENTAL	19015 36TH AVE W	ST LYNNWOOD	WA	98036
AWA ELECTRICAL CONSULTANTS INC	19015 36TH AVE W	ST LYNNWOOD	WA	98036
K B FINANCIAL SERVICES INCORPORA	19015 36TH AVE W	ST LYNNWOOD	WA	98036
R F ENGINEERING	19015 36TH AVE W	ST LYNNWOOD	WA	98036
TOWER CONSULTANTS INC	19015 36TH AVE W	ST LYNNWOOD	WA	98036
CLAY 1 LLC	2002 196TH ST SW	LYNNWOOD	WA	98036
CHIN THOMAS L	20029 HWY 99 # 202	LYNNWOOD		98036
ALDERWOOD COURT ASSOCIATES LIM	201 27TH AVE SE	PUYALLUP	WA	98374
STIPE ALFRED C & SUE A	204 S 296TH PL	FEDERAL WAY	WA	98003
HOSODA PAUL & MARY	223 TAYLOR AVE N	ST SEATTLE	WA	98109
VENTAS REALTY	303 E WACKER DR	STE CHICAGO	IL	60601
GINA PSYCHIC	3321 188TH ST SW	LYNNWOOD	WA	98037
RESIDENT	3321 188TH ST SW	LYNNWOOD	WA	98037-4705
MANOR CARE HEALTH SERVICES	333 N SUMMIT ST	TOLEDO	OH	43699
COUNTRYWIDE HOME LOANS INC	3400 188TH ST SW	ST LYNNWOOD	WA	98037
ACCONTEMPS OFFICETEAM	3400 188TH ST SW	ST LYNNWOOD	WA	98037
COUNTRYWIDE HOME LOANS INC	3400 188TH ST SW	ST LYNNWOOD	WA	98037
RLI NORTHWEST	3400 188TH ST SW	ST LYNNWOOD	WA	98037
COUNTRYWIDE HOME LOANS INC	3400 188TH ST SW	ST LYNNWOOD	WA	98037
RREEF	3400 188TH ST SW	ST LYNNWOOD	WA	98037
FHHLIC	3400 188TH ST SW	ST LYNNWOOD	WA	98037
BRETT S NAGLE LLC	3400 188TH ST SW	ST LYNNWOOD	WA	98037
FIRST HORIZON HOME LOANS	3400 188TH ST SW	ST LYNNWOOD	WA	98037
FIRST HORIZON HM LN CORP	3400 188TH ST SW	ST LYNNWOOD	WA	98037
HANSON PAUL	3400 188TH ST SW	ST LYNNWOOD	WA	98037
LUKE, CASTEEL & OLSEN PSC	3400 188TH ST SW	ST LYNNWOOD	WA	98037

COUNTRYWIDE HOME LOANS INC	3400 188TH ST SW STI LYNNWOOD	WA	98037
MUTUAL OF AMERICA LIFE	3400 188TH ST SW STI LYNNWOOD	WA	98037
ELPIS LENDING GROUP INC	3400 188TH ST SW STI LYNNWOOD	WA	98037
AMERICREDIT FINANCIAL SERVICES IN	3400 188TH ST SW STI LYNNWOOD	WA	98037
WIDE ORBIT INC	3400 188TH ST SW STI LYNNWOOD	WA	98037
BERGSTEDT WOLFF PS	3400 188TH ST SW STI LYNNWOOD	WA	98037
LAW OFFICE OF DOUGLAS J KRESL	3400 188TH ST SW STI LYNNWOOD	WA	98037
BUSINESS CAREERS	3405 188TH ST SW STI LYNNWOOD	WA	98037
BANNER BANK INC	3405 188TH ST SW STI LYNNWOOD	WA	98037
PACIFIC CITY BANK CORP	3405 188TH ST SW STI LYNNWOOD	WA	98037
AMERICAN HOME ESCROW LLC	3500 188TH ST SW STI LYNNWOOD	WA	98037
FIDELITY NATIONAL TITLE CO OF WA	3500 188TH ST SW STI LYNNWOOD	WA	98037
LIBERTY FINANCIAL GROUP INC	3500 188TH ST SW STI LYNNWOOD	WA	98037
MORIARTY & ZVALEUSKAS LLP	3500 188TH ST SW STI LYNNWOOD	WA	98037
MONSON & BASS INC PS	3500 188TH ST SW STI LYNNWOOD	WA	98037
MONEYTREE INC	3500 188TH ST SW STI LYNNWOOD	WA	98037
YELLOW BOOK US	3500 188TH ST SW STI LYNNWOOD	WA	98037
FIDELITY NATIONAL TITLE COMPANY	3500 188TH ST SW STI LYNNWOOD	WA	98037
LAW OFFICE OF ELLEN J HONG LLC	3500 188TH ST SW STI LYNNWOOD	WA	98037
GRAYSON ASSOCIATES INC	3500 188TH ST SW STI LYNNWOOD	WA	98037
STATE FARM AGENCY FIELD OFFICE	3500 188TH ST SW STI LYNNWOOD	WA	98037
CITI FINANCIAL AUTO CORP.	3500 188TH ST SW STI LYNNWOOD	WA	98037
VOLT SERVICES GROUP	3500 188TH ST SW STI LYNNWOOD	WA	98037
MCKESSON DRUG COMPANY	3500 188TH ST SW STI LYNNWOOD	WA	98037
MEDCO HEALTH SOLUTIONS INC	3500 188TH ST SW STI LYNNWOOD	WA	98037
PACIFIC CREST SAVINGS BANK	3500 188TH ST SW STI LYNNWOOD	WA	98037
ANDERSON-BURK INC	3500 188TH ST SW STI LYNNWOOD	WA	98037
GEOMATRIX CONSULTANTS INC	3500 188TH ST SW STI LYNNWOOD	WA	98037
GALLERY OF COSMETIC SURGERY LLC	3500 188TH ST SW STI LYNNWOOD	WA	98037
RADIANT SKIN CARE	3500 188TH ST SW STI LYNNWOOD	WA	98037
ATLAS MORTGAGE INC	3503 188TH ST SW LYNNWOOD	WA	98037
DAEDALUS PROPERTIES LLC	3503 188TH ST SW LYNNWOOD	WA	98037
WHITEHEAD DR GEORGE M DDS PS	3505 188TH ST SW LYNNWOOD	WA	98036
CROKE CHAS	3622 188TH ST SW LYNNWOOD	WA	98037
CRESTVIEW TOWNHOUSES	3700 188TH ST SW LYNNWOOD	WA	98037
RESIDENT	3700 188TH ST SW AP LYNNWOOD	WA	98037-7624
RESIDENT	3700 188TH ST SW AP LYNNWOOD	WA	98037-7624
RESIDENT	3700 188TH ST SW AP LYNNWOOD	WA	98037-7624
RESIDENT	3700 188TH ST SW AP LYNNWOOD	WA	98037-7624
MANOR CARE HEALTH SERVICE	3701 188TH ST SW LYNNWOOD	WA	98037
RESIDENT	3704 188TH ST SW AP LYNNWOOD	WA	98037-7624
RESIDENT	3704 188TH ST SW AP LYNNWOOD	WA	98037-7624
RESIDENT	3704 188TH ST SW AP LYNNWOOD	WA	98037-7624
RESIDENT	3704 188TH ST SW AP LYNNWOOD	WA	98037-7624
RESIDENT	3704 188TH ST SW AP LYNNWOOD	WA	98037-7624
RESIDENT	3708 188TH ST SW AP LYNNWOOD	WA	98037-7624
RESIDENT	3708 188TH ST SW AP LYNNWOOD	WA	98037-7624
RESIDENT	3708 188TH ST SW AP LYNNWOOD	WA	98037-7624

RESIDENT	3708 188TH ST SW AP LYNNWOOD	WA	98037-7624
RESIDENT	3712 188TH ST SW AP LYNNWOOD	WA	98037-7624
RESIDENT	3712 188TH ST SW AP LYNNWOOD	WA	98037-7624
RESIDENT	3712 188TH ST SW AP LYNNWOOD	WA	98037-7624
RESIDENT	3712 188TH ST SW AP LYNNWOOD	WA	98037-7624
RESIDENT	3716 188TH ST SW AP LYNNWOOD	WA	98037-7624
RESIDENT	3716 188TH ST SW AP LYNNWOOD	WA	98037-7624
RESIDENT	3716 188TH ST SW AP LYNNWOOD	WA	98037-7624
RESIDENT	3716 188TH ST SW AP LYNNWOOD	WA	98037-7624
RESIDENT	3830 189TH PL SW LYNNWOOD	WA	98036
LYNCH AL T	40727 244TH AVE SE ENUMCLAW	WA	98022
HOPKINS MICHAEL & KUMIKO	6605 40TH ST NE MARYSVILLE	WA	98270
ALDERWOOD PLAZA LLC	9777 WILSHIRE BLVD S BEVERLY HILLS	CA	90212
SCHROEDER PAUL H	P O BOX 33941 SEATTLE	WA	98133
ALDERWOOD CONDOMINIUMS LLC	PO BOX 12960 MILL CREEK	WA	98082
ALDERBROOKE ASSOCIATES LLC	PO BOX 19536 SEATTLE	WA	98109
WELLS FARGO BANK	PO BOX 2609 CARLSBAD	CA	92018
RREEF MANAGEMENT CO	PO BOX 4900 SCOTTSDALE	AZ	85261-4900
MANOR CARE HEALTH SERVICES	333 N SUMMIT ST TOLEDO	OH	43699
MUSHTAQ FRAZ	11403 23RD AVE W EVERETT	WA	98204
ALBA REVOCABLE TRUST	24183 CROSS ST NEWHALL	CA	91321
MCINTYRE NORMAN J & JACLYN	21753 RUSSET LANE BRIER	WA	98036
CARROLL MARGARET J	37276 CAMP CREEK RI SPRINGFIELD	OR	97478
REINKE DAVID	1407 O ST ANCHORAGE	AK	99501
CONOVER MICHAEL F & JEANNE C	19851 NE REDMOND I REDMOND	WA	98053
ALDERBROOKE INVESTMENTS LLC	3234 HUNTS POINT RI BELLEVUE	WA	98004-1126
RF COLONY PARK I & II LLC	1015 3RD AVE STE 90C SEATTLE	WA	98104
ECI THREE ALDERWOOD LLC	1301 SHOREWAY RD S BELMONT	CA	94002
SEPID LLC	3505 188TH ST SW LYNNWOOD	WA	98037-4707
ECHELBARGER MARK & LINDA	3830 189TH PL SW LYNNWOOD	WA	98036
AMINI FARBOD	18920 36TH AVE W LYNNWOOD	WA	98036-5702

Todd Hall

From: Paul Krauss
Sent: Thursday, October 04, 2012 11:07 AM
To: Todd Hall
Subject: FW: NW Pipeline PUD Application

Please add to list of interested parties

*Paul Krauss AICP
 Community Development Director
 City of Lynnwood*

*Office 425-670-5401
 Cell 425-754-0361*

*Lynnwood Permit Center
 4114 198th St. SW Suite 7*

From: Wallace, Alan [<mailto:awallace@williamskastner.com>]
Sent: Thursday, October 04, 2012 10:14 AM
To: Paul Krauss
Cc: Jill Benitez (jbenitez@ecp-llc.com); Earl Wayman (ewayman@gvakm.com); Eric Yopes (eyopes@ecp-llc.com)
Subject: NW Pipeline PUD Application

Paul,

Thanks for confirming that NW Pipeline recently filed a PUD application for its utility testing facility "after endless meetings" with City of Lynnwood staff.

Please add Jill Benitez, Earl Wayman and myself on the interested party list to receive City notifications on the SEPA threshold determination and any public hearings to be set on this application.

Thank you.

Alan Wallace
 Attorney at Law
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 601 Union Street, Suite 4100
 Seattle, WA 98101-2380
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