

PROJECT INFORMATION:

ZONING DISTRICT: CG (GENERAL COMMERCIAL)

APPLICANT: THREE IN ONE PETRO LLC
REDA MIKHAIL

APPLICANT'S REP: GLEN MERKEL
714-336-4714
glen@avalonproject.us

PROPERTY OWNER: J S P AUTO CLINIC INC

PARCEL NUMBER: 0058530000700

LOT AREA: 0.31 AC.

CURRENT USE: 641 AUTOMOBILE REPAIR & SERVICES

PROPOSED USE: GENERAL BUSINESS - CONVENIENCE STORE (EXISTING GAS SERVICE TO REMAIN)

LEGAL: STATE PLAT BLK 000 D-00 - LOT 7 LESS NELY 50FT ALSO LESS WLY 10FT TO CITY OF LYNNWOOD FOR RD PER QCD 1424/376 AUD FILE NO 7811290239

NARRATIVE:

THE PROJECT PROPOSES SITE PLANNING AND CONSTRUCTION REVIEW FOR LAND USE DEVELOPMENT AND BUILDING ACTION TO DEVELOP THE APPROXIMATELY 13,504 SF (0.31 AC), THAT PORTION ONLY OF THE GRADE LEVEL STRUCTURE USED FOR AUTOMOBILE - REPAIR GARAGE WITH SERVICE BAYS. THE DEVELOPMENT WILL PROPOSE ONLY ADDING APPROXIMATELY 644 SF NEW FLOOR RETAIL AREA TO THE SOUTH-WEST AND NORTH SIDE OF THE EXISTING STRUCTURE. THE PREDEVELOPMENT MAIN FLOOR AREA SHALL BE INCREASED FROM 1312 SF TO 1956 SF. THE INTENT WILL BE FOR A COMPLETE TENANT IMPROVEMENT AND CHANGE OF USE TO A CONVENIENCE STORE INCLUDING HOT FOODS AND LIQUOR SALES. THE EXISTING UPPER STORAGE LEVELS OF THE STRUCTURE WILL REMAIN UNALTERED. THE EXISTING GAS AND OTHER SERVICES WILL REMAIN UNAFFECTED FROM THE GENERAL USE.

NOTE:

REFER TO ATTACHED SURVEY PREPARED BY ACREAGE SURVEYING FOR ACTUAL BOUNDARY LINES AND UTILITY LOCATES.

AN UPDATED SURVEY WILL BE EXECUTED UPON FURTHER REQUEST OF REQUIRED INFORMATION

OPERATIONAL NOTES:

THE PROPOSED CONVENIENCE STORE ESTIMATES TO MAINTAIN 5-6 FULL TIME STAFF MEMBERS WITH 2-3 MEMBERS WORKING CONCURRENTLY PER 8-HR SHIFT. THE STORE HOURS OF OPERATION WILL BE 24 HOURS DAILY SEVEN DAYS A WEEK. THE SECOND AND THIRD FLOORS ABOVE GRADE PLANE WILL CONTINUE TO BE USED FOR NON-COMBUSTIBLE MATERIALS TO SERVICE THE STORE (BUSINESS). FUEL DISPENSING WILL REMAIN UNALTERED, AND ALL FUEL RELATED SERVICES ARE NOT PART OF THIS PERMIT.

SHADED AREA OF NEW STRUCTURE ADDITION

TOTAL PARKING REQUIREMENT:

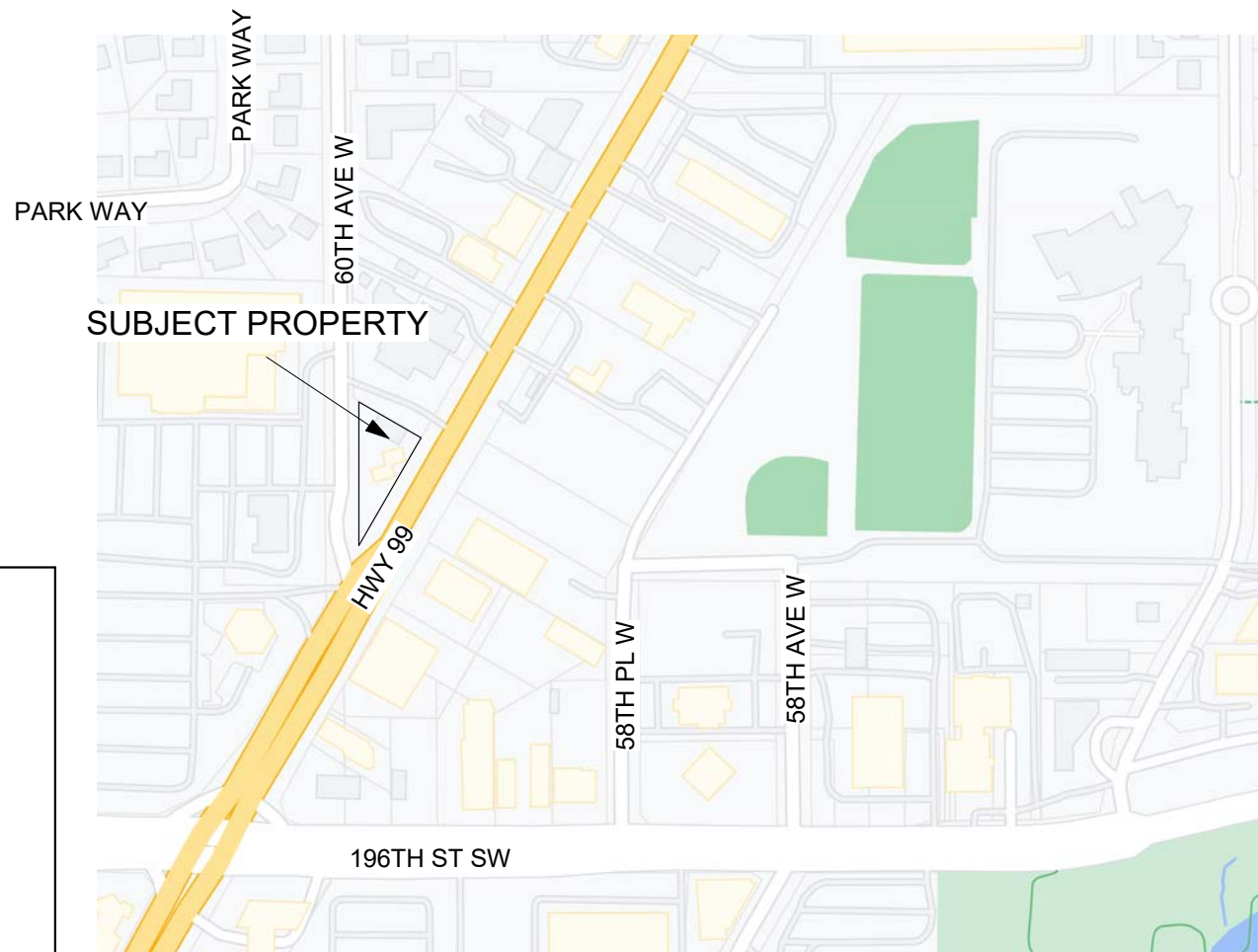
Uses	Number of Parking Stalls Required ⁽¹⁾
Full- and Self-Service Stations and Gas Stations	One per service island + stacking lane requirements + required parking for grocery store, auto repair or other uses on site (if any)
Convenience Retail: (e.g., supermarkets, grocery, and food stores (including bakers, butchers, produce stands, etc.); drug stores and pharmacies; liquor stores; news stands; extended-hour convenience stores; video and CD rentals, etc.)	One per 200 SF GFA

SITE DATA:

LOT AREA: (GROSS)	13,504 SF
EXISTING BUILDING COVERAGE:	1,312 SF
PROPOSED BUILDING COVERAGE: (ADDITION)	644 SF
GAS CANOPY COVERAGE:	1,850 SF
TOTAL IMPERVIOUS AREA:	12,824 SF
LANDSCAPING AREA:	680 SF

PROPOSED PARKING STALLS:	15 STALLS 8 FUELING POSITIONS 8 STAGING POSITIONS
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GROSS LOT AREA: (IMPERVIOUS SURFACE)	13,004 SF
GROSS LOT AREA: (PERVIOUS)	500 SF
TOTAL GROSS LOT AREA:	13,504 SF
EXISTING GROSS LOT AREA COVERED OF EACH USE:	
STORE: (M)	1312 SF
STORAGE SHED:	165 SF
GAS CANOPIES:	1750 SF
TOTAL GROSS OF LOT AREA:	3227 SF
POST DEVELOPMENT GROSS LOT AREA OF EACH USE:	
STORE:	1956 SF (165 SF)
STORAGE SHED:	1750 SF
TOTAL GROSS OF LOT AREA:	3531 SF



VICINITY MAP
1 : 10000



SOUTH ELEVATION (N.T.S.)

EXISTING CONDITION



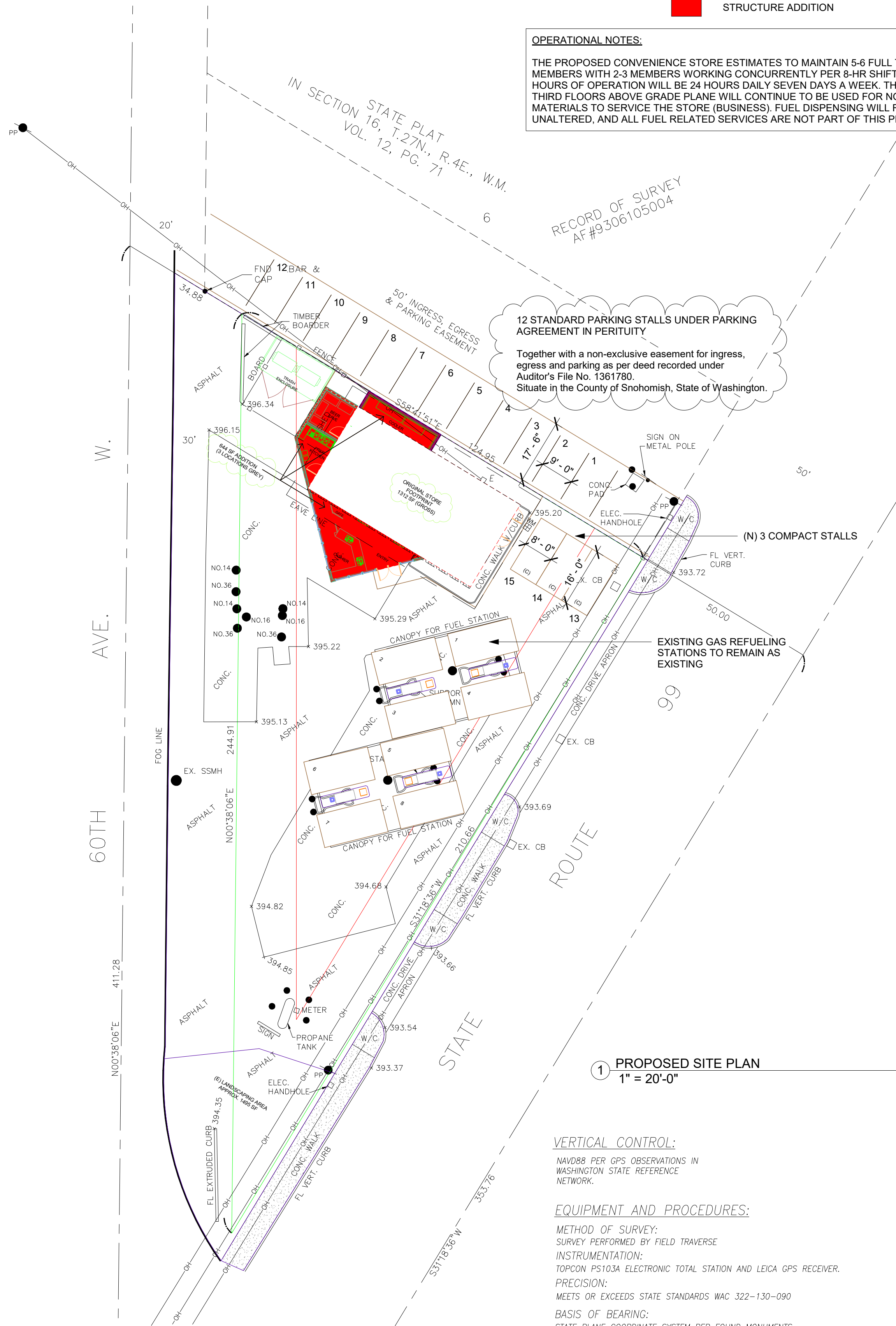
EAST ELEVATION (N.T.S.)

EXISTING CONDITION



WEST ELEVATION (N.T.S.)

EXISTING CONDITION



PROPOSED SITE PLAN
1" = 20'-0"

VERTICAL CONTROL:

NAVD88 PER GPS OBSERVATIONS IN WASHINGTON STATE REFERENCE NETWORK.

EQUIPMENT AND PROCEDURES:

METHOD OF SURVEY: SURVEY PERFORMED BY FIELD TRAVERSE

INSTRUMENTATION: TOPCON PS103A ELECTRONIC TOTAL STATION AND LEICA GPS RECEIVER.

PRECISION: MEETS OR EXCEEDS STATE STANDARDS WAC 322-130-090

BASIS OF BEARING: STATE PLANE COORDINATE SYSTEM PER FOUND MONUMENTS.

LEGAL DESCRIPTION

LOT 7, STATE PLAT IN SECTION 16, TOWNSHIP 27 NORTH, RANGE 4 EAST, W.M., ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 12 OF PLATS, PAGE 71, RECORDS OF SNOHOMISH COUNTY, WASHINGTON;

EXCEPT THE NORTHEASTERLY 50 FEET THEREOF;

AND EXCEPT THE WESTERLY 10 FEET CONVEYED TO THE CITY OF LYNNWOOD BY DEED RECORDED UNDER AUDITOR'S FILE NO. 7811290239.

TOGETHER WITH A NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS AND PARKING AS PER DEED RECORDED UNDER SNOHOMISH COUNTY AUDITOR'S NO. 1361780.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

TOGETHER WITH ALL IMPROVEMENTS THEREON, IF ANY;

SUBJECT TO COVENANTS, CONDITIONS, EASEMENTS AND RESTRICTIONS OF RECORD.

SURVEY NOTES:

1.) THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF PARTIES WHOSE NAMES APPEAR HEREON ONLY, AND DOES NOT EXTEND TO ANY UNNAMED THIRD PARTIES WITHOUT EXPRESS RECTIFICATION BY THE LAND SURVEYOR.

2.) BOUNDARY LINES SHOWN AND CORNERS SET REPRESENT DEED LOCATION; OWNERSHIP LINES MAY VARY; NO GUARANTEE OF OWNERSHIP IS EXPRESSED OR IMPLIED. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT PURPORT TO SHOW ALL EASEMENTS, RESTRICTIONS, RESERVATIONS, AND OCCUPATION WHICH MAY ENCUMBER TITLE TO OR USE OF THE PROPERTY. UTILITY LOCATION BASED ON SURFACE EVIDENCE.

3.) FIELD WORK PERFORMED AND MONUMENTS RECOVERED IN APRIL, 2021

REFERENCES

- FIR VIEW TERRACE 2ND ADDITION, VOL. 47, PG. 27
- RECORD OF SURVEY AF#20200629900024

PARCEL NUMBER: 0058530000700
ADDRESS 19406 HWY 99 LYNNWOOD, WA 98036



LYNNWOOD UNOCAL 76 C-STORE

19406 Hwy 99 - Lynnwood WA 98036

CONDITIONAL USE PERMIT C-STORE CONVERSION

1	Revision 1	Date 1

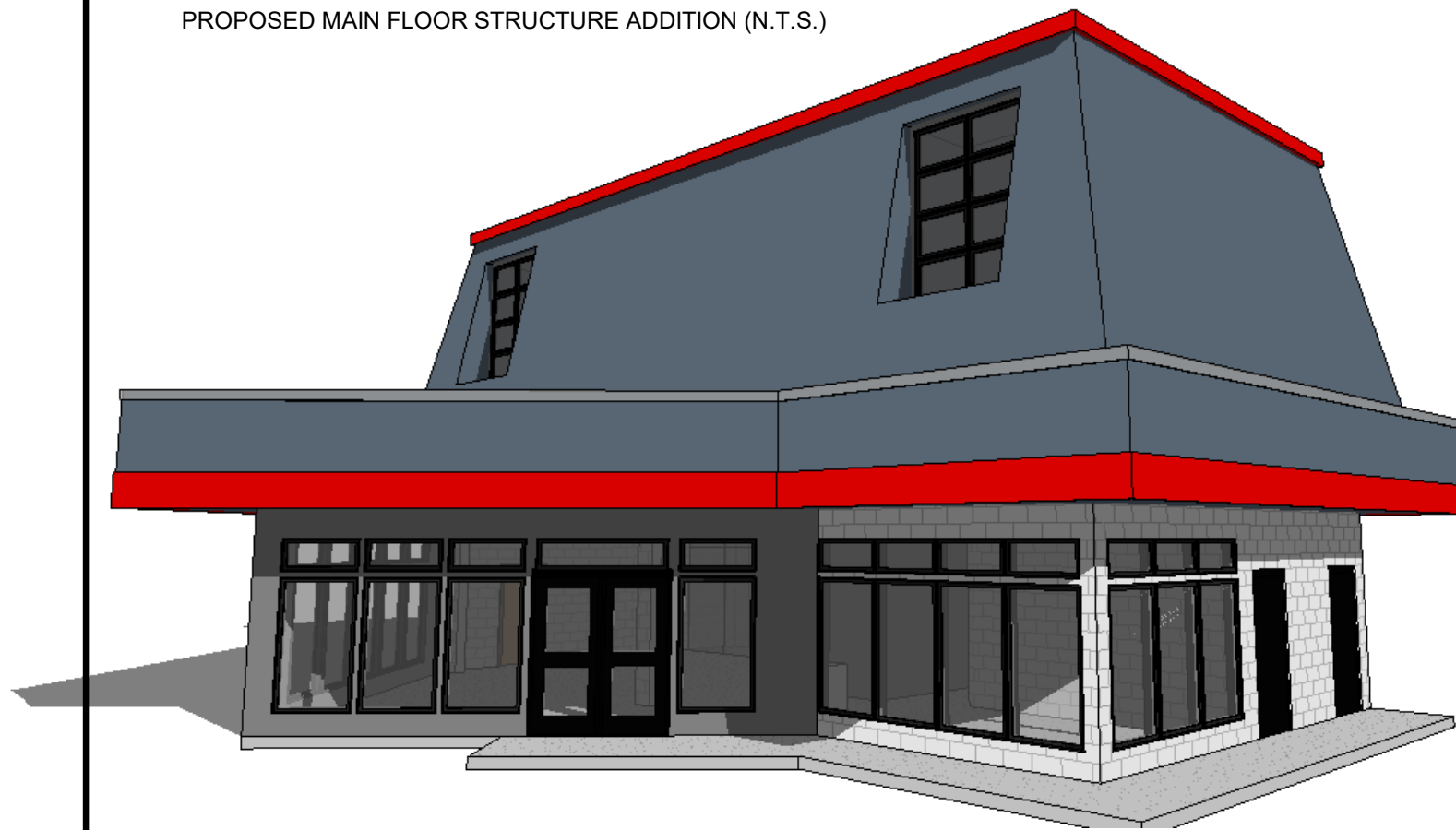
14670 NE 8th St
Suite 200
Bellevue, WA 98007

Client:
THREE IN ONE PETRO LLC

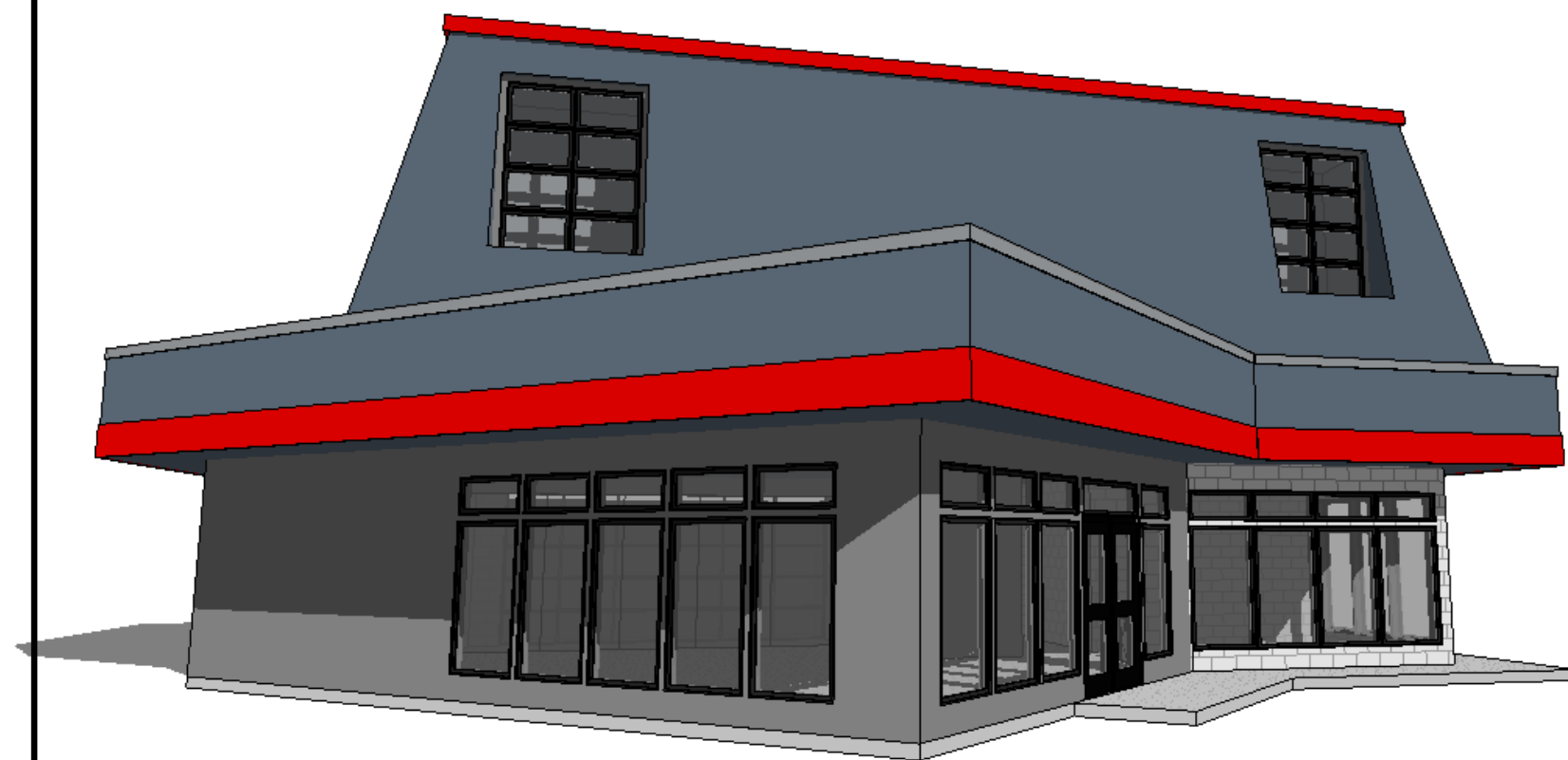
Drawn By: G. Merkel	Sheet
Date: Oct 8 - 2021	CUP-1
Scale: As indicated	



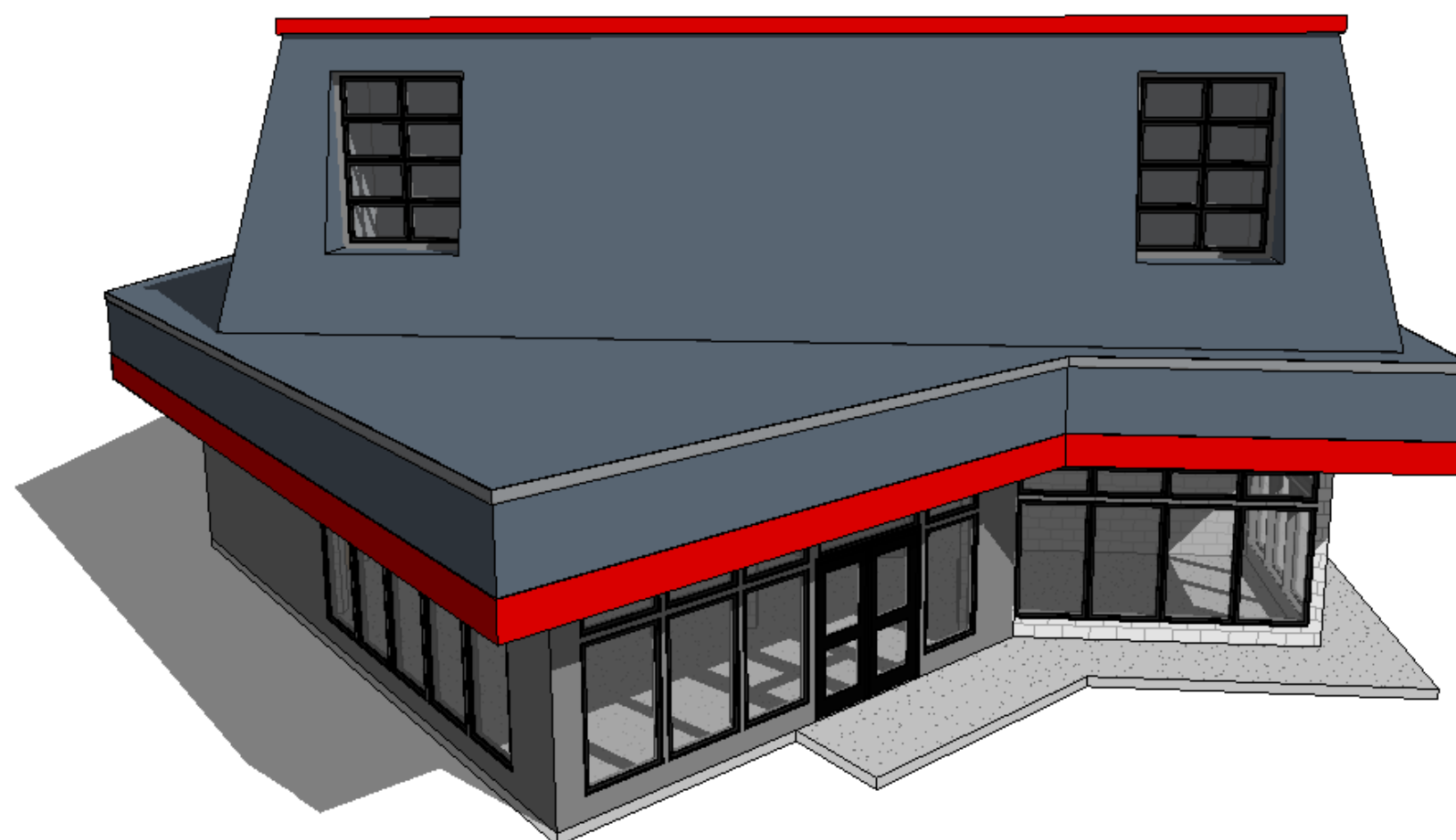
PROPOSED MAIN FLOOR STRUCTURE ADDITION (N.T.S.)



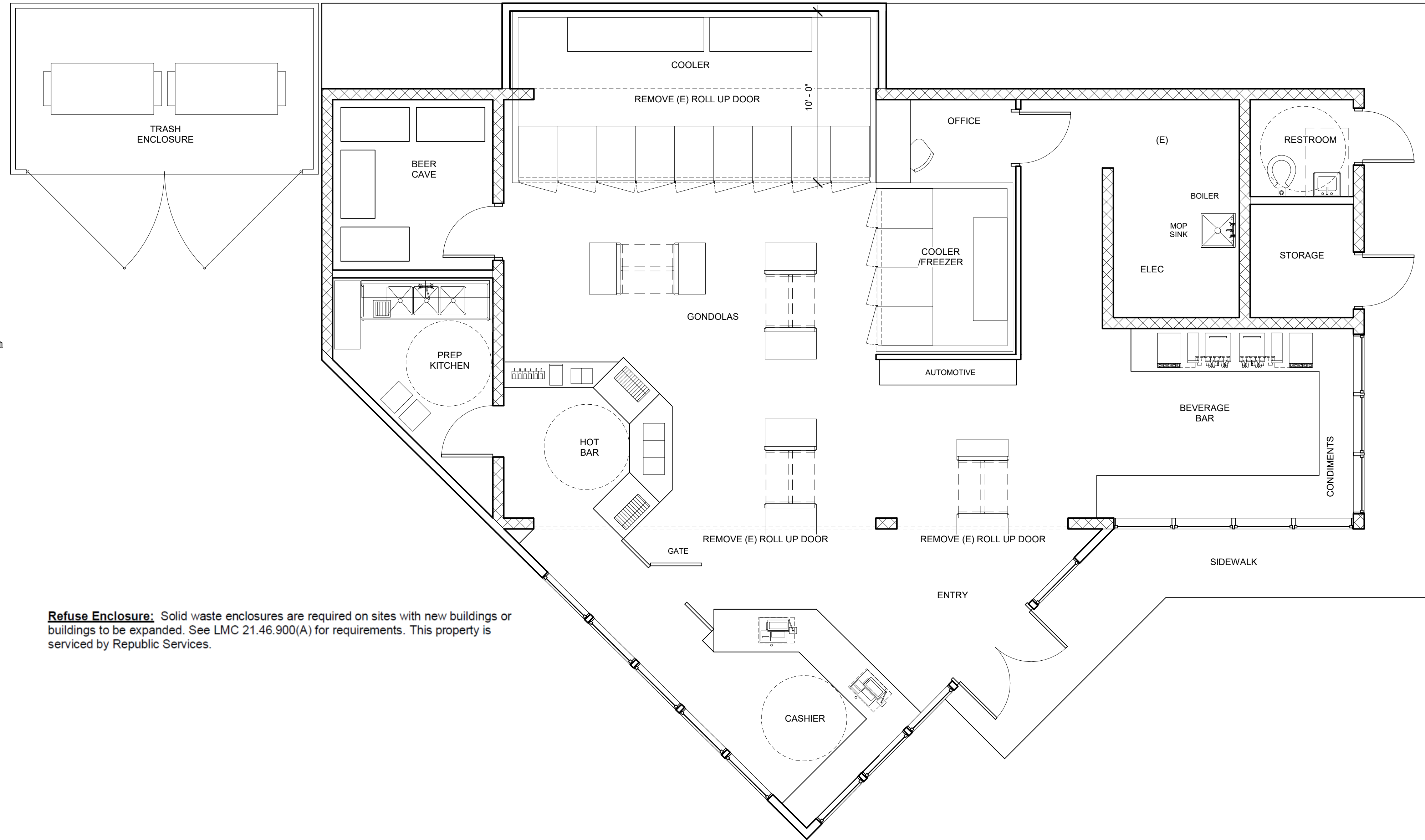
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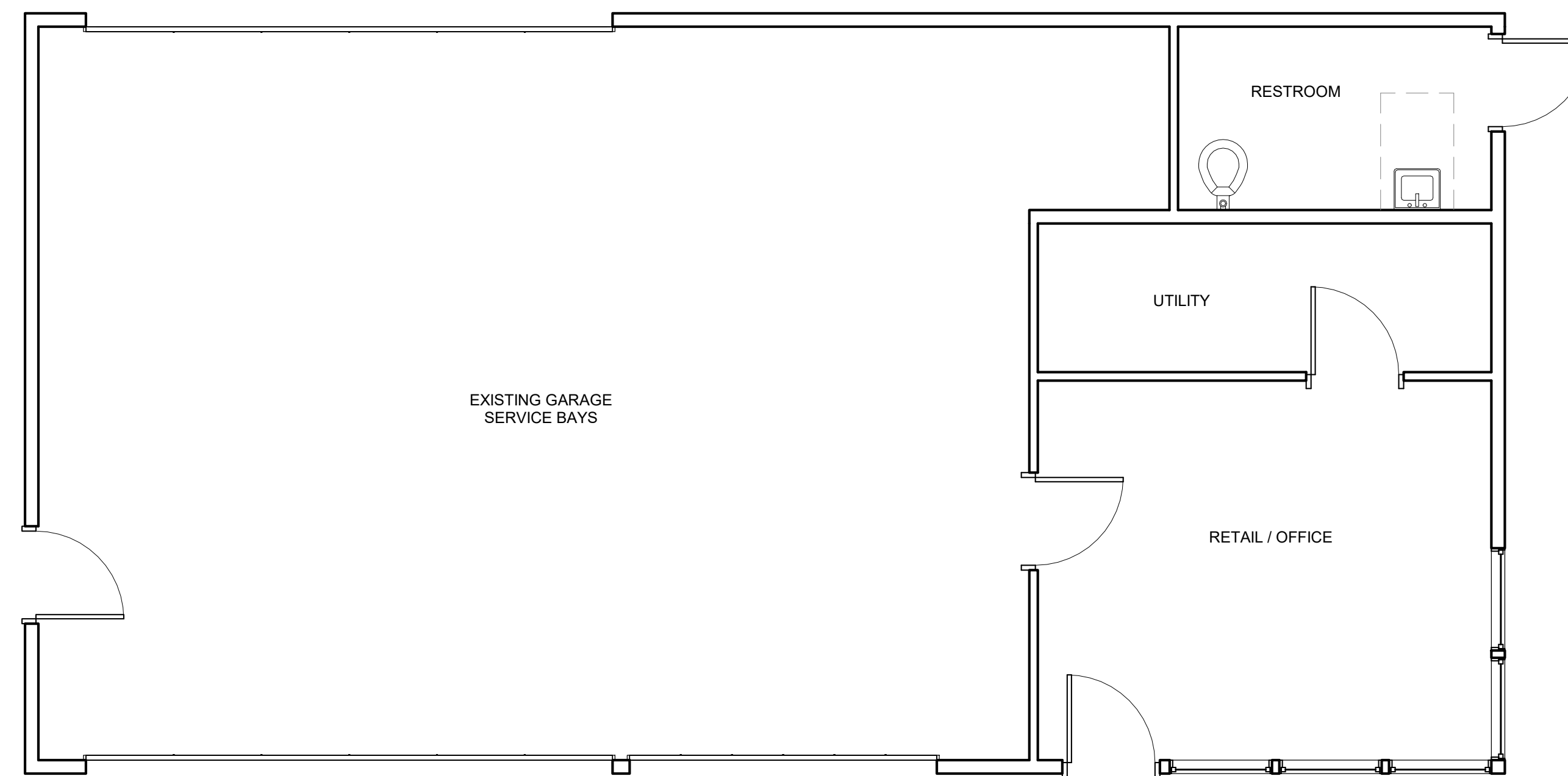


PROPOSED MAIN FLOOR STRUCTURE ADDITION (N.T.S.)



Refuse Enclosure: Solid waste enclosures are required on sites with new buildings or buildings to be expanded. See LMC 21.46.900(A) for requirements. This property is serviced by Republic Services.

① 1 GRADE LEVEL FLOOR PLAN (1956 SF)
1/4" = 1'-0"



EXISTING AS-BUILT PLAN (1312 SF)
1/4" = 1'-0"



LYNNWOOD UNOCAL 76 C-STORE

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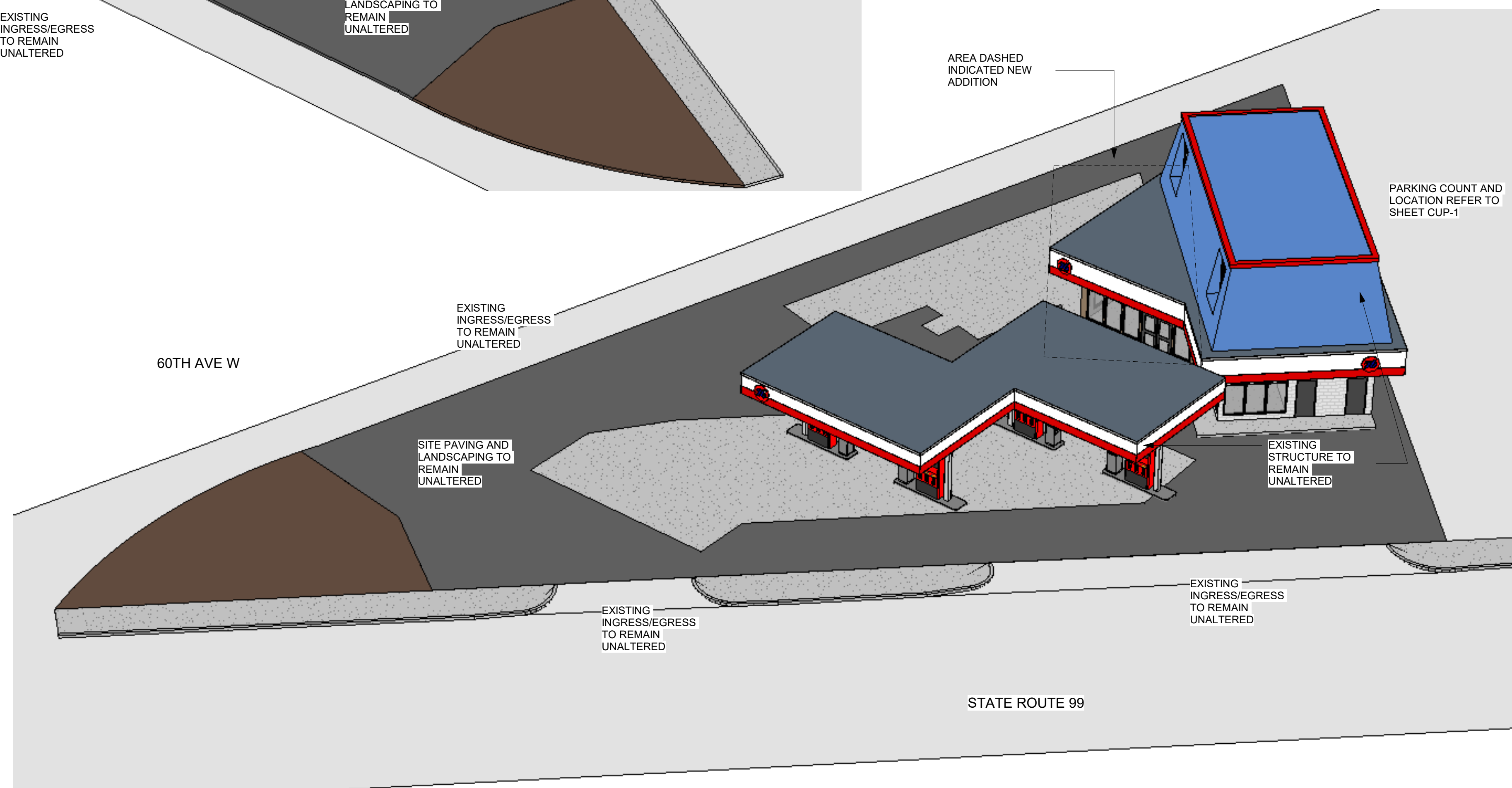
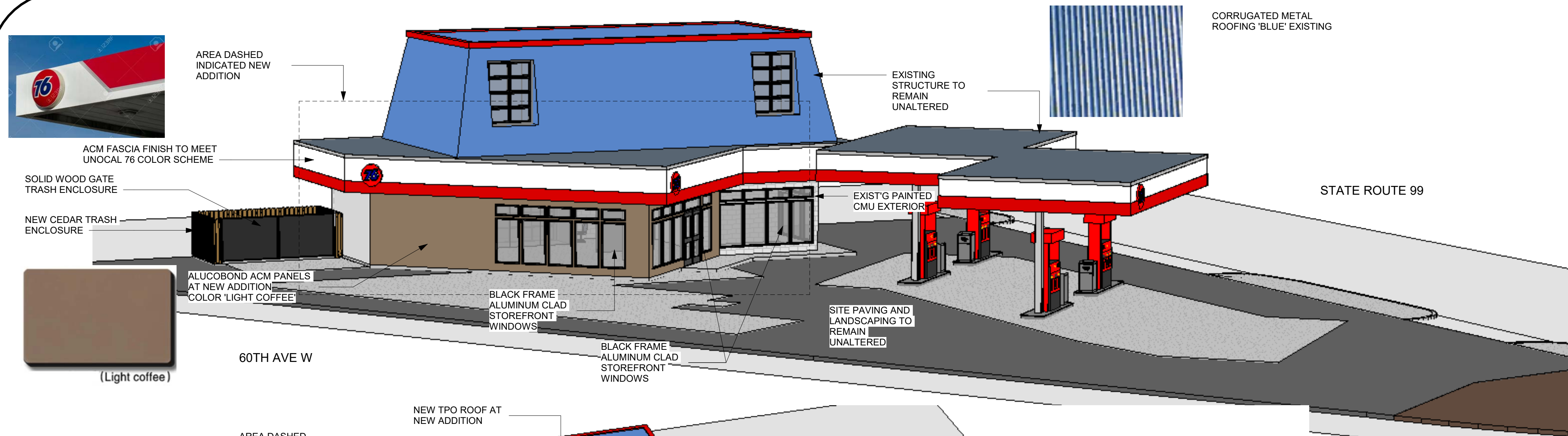
PROPOSED CONDITIONAL USE PERMIT

14670 NE 8th St
Suite 200
Bellevue, WA 98007

Client:
THREE IN ONE PETRO LLC

Drawn By:
G. Merkel
Date:
Oct 8 - 2021
Scale:
1/4" = 1'-0"

Sheet
CUP-2



LYNNWOOD UNOCAL 76 C-STORE

19406 Hwy 99 - Lynnwood WA 98036

FINAL SITE PLAN CONCEPT

14670 NE 8th St
Suite 200
Bellevue, WA 98007

Client:
THREE IN ONE PETRO LLC

Drawn By:
G. Merkel
Date:
Oct 8 - 2021
Scale:

Sheet
CUP-3



19406 Hwy 99 - Lynwood WA 98036

EXISTING CONDITIONS PLAN

1	Revision 1	Date 1

14670 NE 8th St
Suite 200
Bellevue, WA 98007

Client:

THREE IN ONE PETRO LLC

Drawn By:
G. Merkel

Date: Oct 8 - 2021

Scale:
1" = 20'-0"

Sheet

CUP-4

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