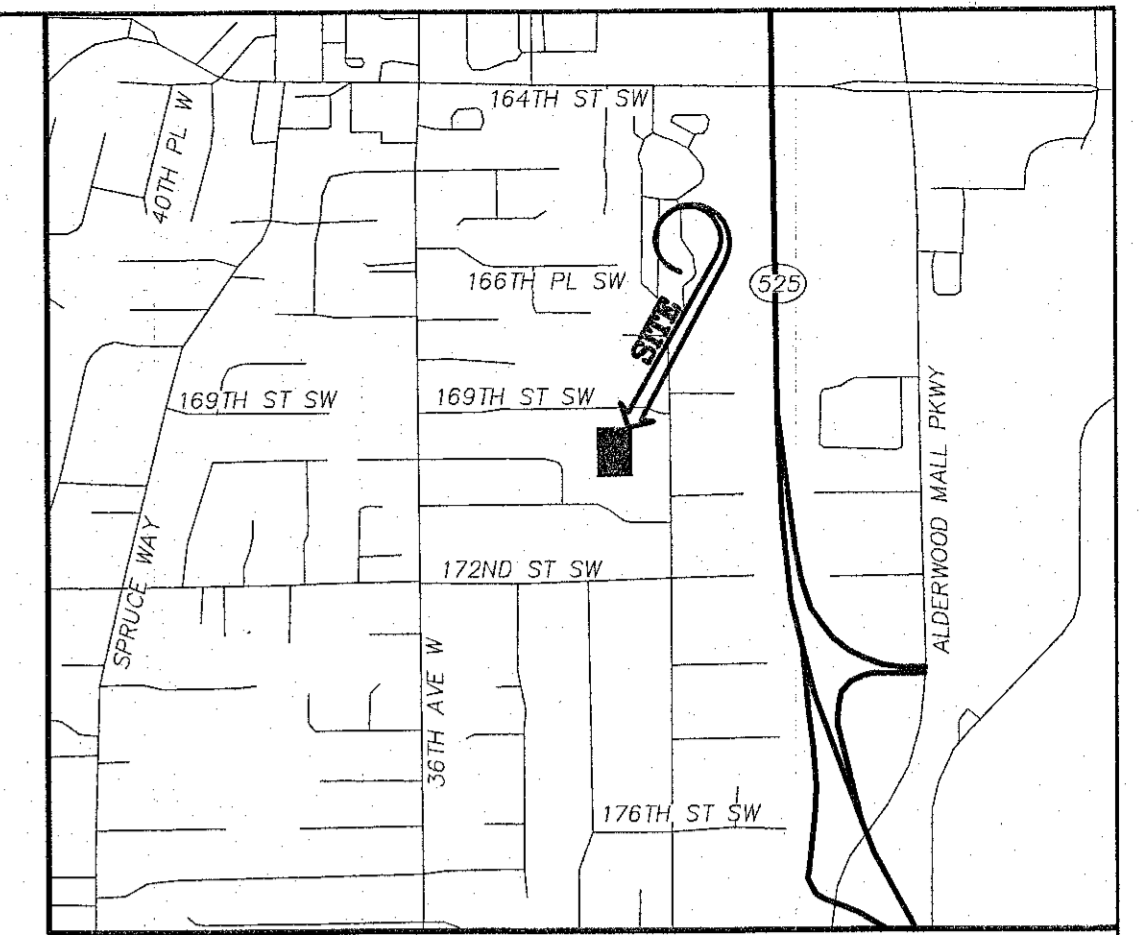


WAC 332-130-145 SUPPLEMENTAL INFORMATION:

- The topographic information shown on this map is intended for internal civil engineering design and should be considered "preliminary" in nature "not for design" unless the licensed surveyor has sealed and dated their associated stamp.
- Elevation contours depicted hereon were derived from direct field observations and meet, or exceed, national mapping accuracy standards (one half the contour interval).
- Boundary information shown hereon is based on an actual field survey to be recorded at the Snohomish County Auditor's office no more than 90 days from the date corner monuments were set, if any, subject to RCW recording exceptions. Said Record of Survey will be recorded referencing the same client information shown hereon to simplify any indexing search.
- The utility locations shown hereon are based on the following: utility structures are based on actual field locations whereas utility lines are derived from either a direct observation of actual connections (when feasible), location and depiction of painted surface markings (if pre-arranged with a location service by the client prior to commencement of work) or a cursory review of record utility drawings, if made available by the client. Due to the inconsistency of record drawings and low accuracy of utility point marks, all utility lines shown hereon are for reference only and should be confirmed by potholing, etc. prior to final construction design and/or commencement of any utility connection, construction or reconstruction. Western Engineers and Surveyors, Inc. make no warranty, express or implied, as to the completeness, true location or utilization of any utilities depicted hereon.

SW 1/4, NE 1/4, SEC.10, T.27N, R.04E, W.M.
CITY OF LYNNWOOD, WASHINGTON



VICINITY MAP
SCALE: 1" = 2,000'

TBM ELEV= 483.87

VERTICAL DATUM: NGVD 29
4x4 CONC MON IN CASE 2" BRASS DISK W/ PUNCH DOWN 0.4" LS #29608

BM ELEV= 556.64

VERTICAL DATUM: NGVD 29
TOP OF MON IN CASE AT THE INTERSECTION OF 172ND ST. S.W. & 39TH PLACE W.

NAVD 88 = NAVD 29 + 3.6'
NGVD 29 = NAVD 88 - 3.6'

EQUIPMENT AND PROCEDURE

METHOD OF SURVEY
SURVEY PERFORMED BY FIELD TRAVERSE

INSTRUMENTATION
LEICA TC RM-1105 ELECTRONIC TOTAL STATION

PRECISION
MEETS OR EXCEEDS STATE STANDARDS WAC 322-130-090

PRECISION
MEETS OR EXCEEDS STATE STANDARDS WAC 322-130-090

BASIS OF BEARING
THE MONUMENTED CENTERLINE OF 170TH ST SW AS THE BEARING OF N 89°33'20" W PER THE PLAT OF RIDGVIEW VILLAGE, RECORDED UNDER AUDITOR'S FILE NUMBER 200403175002

DEVELOPMENT DATA:

EXISTING ZONING: RS-8
PROPOSED USE: SINGLE-FAMILY
TOTAL SITE AREA: 46,771 SQ. FT. (1.074 ACRES)

WATER SOURCE/PURVEYOR: AWARD
SEWER METHOD/OPERATOR: AWARD
FIRE DISTRICT: SOUTH SNOHOMISH COUNTY FIRE
SCHOOL DISTRICT: EDMONDS SCHOOL DISTRICT NO 15

DENSITY CALCULATIONS:

GROSS AREA: 46,771 SQ. FT. (1.074 ACRES)
GROSS DENSITY: 3.72 D.U./ACRE
LESS TRACT 999: 8,301 SQ. FT. (0.191 ACRES)
NET DENSITY: 4.53 D.U./ACRE

LEGAL DESCRIPTION

LOT 2 OF SHORT PLAT RECORDED UNDER AUDITOR'S FILE NO. 8006230094, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
THE EAST 379.00 FEET OF LOT 13, BLOCK 1, ALDERWOOD MANOR NO. 2, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 9 OF PLATS, PAGE 72, RECORDS OF SNOHOMISH COUNTY, WASHINGTON,
EXCEPT THE EAST 192.00 FEET THEREOF.
SITUATED IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON
SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND RESERVATIONS. SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

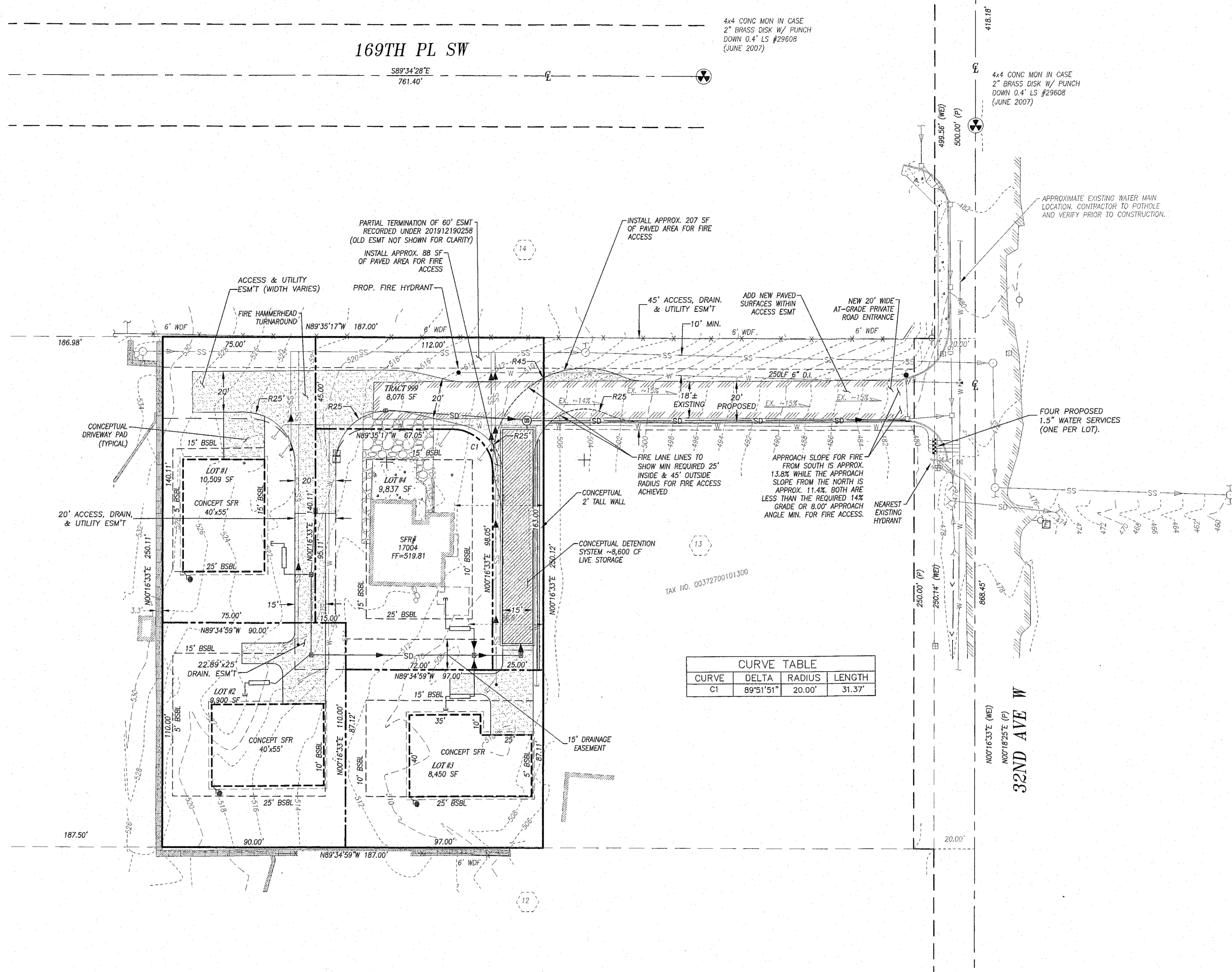
ENGINEER/SURVEYOR/CONTACT
WEST LAND USE CONSULTANTS, LLC
9740 EVERGREEN WAY
EVERETT, WA 98204
PHONE: (425) 356-2700
FAX: (425) 356-2708

OWNER OF INTEREST/APPLICANT
PAUL & CAROLYNN SAGER
17004 32ND AVE W
LYNNWOOD, WA 98037
PHONE: 425-343-6004
EMAIL: PAUL@CREATIVES.COM

TAX ACCOUNT NO.(S): 00372700101301
SITE ADDRESS: 17004 32ND AVE W LYNNWOOD, WA 98037

STP-009759-2021
PRELIMINARY SHORT PLAT MAP FOR:
SAGER SHORT PLAT
SW 1/4, NE 1/4, SEC.10, T.27N, R.04E, W.M.
CITY OF LYNNWOOD, WASHINGTON

DRAWN BY	DATE	REV. BY	DATE	PROJECT MANAGER	SCALE
NAT	08/13/20	05 NAT	01/26/22	T. SARKELA	1"=30'
DRAWING FILE NAME	CHECKED BY	F.B. NO.	JOB NUMBER	SHEET NO.	
07833ABASE.DWG	TAS	-	07-833-A	1 OF 1	



CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH
C1	89°51'51"	20.00'	31.37'

HARDSCAPE AREA CALCULATION

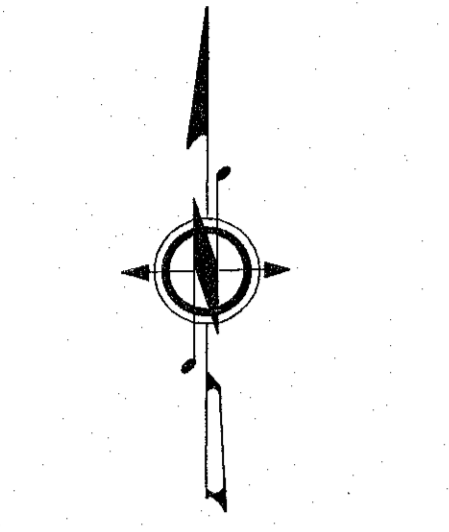
TOTAL PROPERTY AREA: 46,771 (1.074 AC)
ON-SITE HARDSCAPE
NEW HAMMERHEAD PAVEMENT 3,200 SF.
TRACT 999 DETENTION ACCESS 2,250 SF.
LOT 1 NEW SFR ROOF 2,500 SF.
LOT 1 NEW DRIVEWAY/PATIO 650 SF.
LOT 2 NEW SFR ROOF 2,500 SF.
LOT 2 NEW DRIVEWAY/PATIO 1,800 SF.
LOT 3 NEW SFR ROOF 2,500 SF.
LOT 3 NEW DRIVEWAY/PATIO 850 SF.
LOT 4 EX. SFR ROOF 1,600 SF.
LOT 4 EX. DECK 200 SF.
LOT 4 EX. GRVL DRIVEWAY 1,600 SF.
TOTAL 19,850 SF.
OFF-SITE HARDSCAPE
PRIVATE DRIVE WIDENING 550 SF.
TOTAL 550 SF.
TOTAL NEW/REPLACED HARDSCAPE: 16,800 SF.
OF WHICH IS POLLUTION GENERATING: 9,300 SF.

LOT SIZE AVERAGING

MINIMUM LOT SIZE ALLOWED:
90% OF STANDARD 8,400 SF = 7,560 SF
MAXIMUM LOT SIZE CREDITED TO AVERAGING:
125% OF STANDARD 8,400 SF = 10,500 SF
TOTAL LOT AREA CREDITED TO AVERAGING:
LOT 1 10,500 SF.
LOT 2 9,900 SF.
LOT 3 8,450 SF.
LOT 4 9,837 SF.
TOTAL 38,687 SF.
AVERAGE LOT SIZE:
38,687 SF / 4 = 9,672 SF > 8,400 SF

FIRE PLAN NOTES:

- ALL NEW RESIDENCES SHALL BE EQUIPPED WITH NFPA 13D FIRE SPRINKLER SYSTEMS. ALL WATER SERVICE LINES TO HOUSES ARE TO BE 1.5" INCHES.
- "NO PARKING-FIRE LANE" SIGNS SHALL BE POSTED ALONG DRIVE ANGLES AT OWNER'S EXPENSE PRIOR TO FINAL PLAT RECORDING.
- ACCESS ROADS AND DETENTION VAULT COVER SHALL BE CAPABLE OF SUPPORTING 75,000 POUNDS AND 45,000 POUND POINT LOADS.
- ADDRESS SIGNAGE IS REQUIRED AND SHALL BE POSTED AT THE EAST END OF ACCESS ROAD AT 32ND AVE W AND AT THE BEGINNING OF LOT 2 AND LOT 3 ACCESS ROADS AS WELL AS ON EACH RESIDENCE AS TO BE VISIBLE TO PERSONNEL RESPONDING TO AN EMERGENCY.



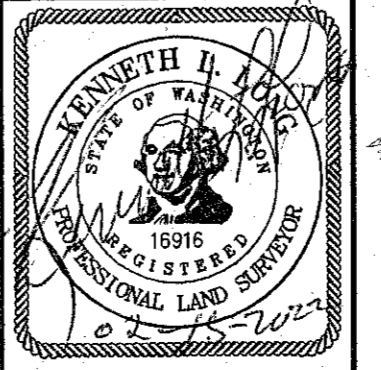
SCALE: 1" = 30'

LEGEND

- FOUND MONUMENT/CASE (DATE FOUND)**
- ADJACENT LOT NUMBER PER PLAT (VOL., PG.)**
- EXISTING STORM DRAIN CATCH BASIN (CB)
 - EXISTING STORM DRAIN MANHOLE (SDMH)
 - EXISTING SANITARY SEWER MANHOLE (SSMH)
 - EXISTING WATER METER
 - EXISTING FIRE HYDRANT
 - EXISTING POWER POLE
 - EXISTING UTILITY POLE ANCHOR
 - EXISTING ELECTRIC METER
 - EXISTING ELECTRIC JUNCTION BOX
 - EXISTING BUILDING
 - EXISTING CONCRETE
 - EXISTING GRAVEL
 - EXISTING PROPERTY BOUNDARY
 - EXISTING CENTERLINE
 - EXISTING CONTOUR (MAJOR)
 - EXISTING CONTOUR (MINOR)
 - EXISTING CURB
 - EXISTING EDGE OF ASPHALT
 - EXISTING GAS LINE
 - EXISTING LOT LINE
 - EXISTING RIGHT-OF-WAY
 - EXISTING STORM DRAIN LINE
 - EXISTING SANITARY SEWER LINE
 - EXISTING WATER LINE
 - PROPOSED STORM DRAIN CATCH BASIN (CB)
 - PROPOSED STORM FILTER CB
 - PROPOSED STORM DRAIN MANHOLE (SDMH), SOLID LID
 - PROPOSED SANITARY SEWER MANHOLE (SSMH)
 - PROPOSED SS CLEAN OUT (SSCO)
 - PROPOSED WATER METER
 - PROPOSED FIRE HYDRANT
 - PROPOSED BUILDING W/ ROOF OVERHANG
 - PROPOSED DRIVEWAY
 - PROPOSED EASEMENT LINE
 - PROPOSED BUILDING SETBACK LINE
 - PROPOSED LOT LINE
 - PROPOSED STORM DRAIN LINE
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED WATER LINE

- NOTES:**
- THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF PARTIES WHOSE NAMES APPEAR HEREON ONLY, AND DOES NOT EXTEND TO ANY UNNAMED THIRD PARTIES WITHOUT EXPRESS RECERTIFICATION BY THE LAND SURVEYOR.
 - BOUNDARY LINES SHOWN AND CORNERS SET REPRESENT DEED LOCATION; OWNERSHIP LINES MAY VARY. NO GUARANTEE OF OWNERSHIP IS EXPRESSED OR IMPLIED. THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF A TITLE REPORT BUT DOES NOT PURPORT TO SHOW ALL EASEMENTS, RESTRICTIONS, RESERVATIONS, AND OCCUPATION WHICH MAY ENCUMBER TITLE TO OR USE OF THIS PROPERTY.
 - THE LOCATION OF UTILITIES AS SHOWN SERVING THE SUBJECT PROPERTY MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. WE CANNOT CERTIFY TO THEIR ACCURACY AND/OR COMPLETENESS. BEFORE COMMENCING CONSTRUCTION INVOLVING EXCAVATION OR REMOVAL OF EXISTING STRUCTURES, CALL A LOCATING SERVICE OR 1-800-424-5555 FOR VERIFICATION OF UNDERGROUND UTILITY LOCATIONS.
 - THE TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN ON THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED JUNE 2007.

CALL 811 TWO (2)
BUSINESS DAYS
BEFORE YOU DIG



WEST LAND USE CONSULTANTS (425) 356-2700
PLANNING • ENGINEERING • SURVEYING
* 9740 EVERGREEN WAY • EVERETT • WA • 98204 *
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