HOUSING HOPE SCRIBER PLACE

PDR/PAR/ERC PLAN SET









119 MAIN ST, STE #200 SEATTLE, WA 98104-2579

HOUSING HOPE SCRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 25, 2023

	REVI	SION SCHEDULE
#	Date	Description

CONTEN

COVER SHEET

SCALE:

DRAWN: RB, AM

CHECKED: KW

PROJECT NO: 2023004.00

T0.0

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ABBREVIATIONS

DRINKING FOUNTAIN

DOUBLE HUNG

DIMENSION

DISP. DISPENSER

F.H. FIRE HYDRANT

FND. FOUNDATION

F.O.C. FACE OF CONCRETE

FIN. FINISH

D.H.

DIM.

ANGLE

NUMBER

COORD. COORDINATE

CPT. CARPET
C.T. CERAMIC TILE
C.Y. CUBIC YARDS

CENTER LINE

PROPERTY LINE

ADOLUTEO	NT UDA	
ARCHITEC		
A1.0	SITE PLAN	
A1.1	AVERAGE EXISTING GRADE CALC	
A1.2	ACTIVE RECREATION PLAN	
A1.10	SITE DETAILS - GROUND SIGNAGE	
A2.11	BUILDING A - LEVEL 1 PLAN	
A2.12	BUILDING A - LEVEL 2 PLAN & ROOF PLAN	
A2.13	BUILDING A - ROOF PLAN	
A2.21	BUILDING B - LEVEL 1 & 2 PLAN	
A2.22	BUILDING B - LEVEL 3 PLAN & ROOF PLAN	
A2.31	BUILDING C - LEVEL 1 PLAN	
A2.32	BUILDING C - LEVEL 2 PLAN	
A2.33	BUILDING C - LEVEL 3 PLAN	
A2.34	BUILDING C - ROOF PLAN	
A2.41	BUILDING D - LEVEL 1 PLAN	
A2.42	BUILDING D - LEVEL 2 PLAN	
A2.43	BUILDING D - LEVEL 3 PLAN	
A2.44	BUILDING D - ROOF PLAN	
A3.0	EXTERIOR ELEVATIONS - BUILDING A	
A3.1	EXTERIOR ELEVATIONS - BUILDING A	
A3.2	EXTERIOR ELEVATIONS - BUILDING B	
A3.3	EXTERIOR ELEVATIONS - BUILDING C	
A3.4	EXTERIOR ELEVATIONS - BUILDING C	
A3.5	EXTERIOR ELEVATIONS - BUILDING D	
A3.6	EXTERIOR ELEVATIONS - BUILDING D	
A3.10	COLOR ELEVATIONS - BUILDING A	
A3.11	COLOR ELEVATIONS - BUILDING A	
A3.12	COLOR ELEVATIONS - BUILDING B	
A3.13	COLOR ELEVATIONS - BUILDING C	
A3.14	COLOR ELEVATIONS- BUILDING C	
A3.15	COLOR ELEVATIONS - BUILDING D	
A3.16	COLOR ELEVATIONS - BUILDING D	
A3.20	RENDERING SOUTHEAST	
A3.21	RENDERING SOUTH	
A3.22	RENDERING SOUTHWEST CORNER	
A3.23	RENDERING EAST	
A3.24	RENDERING NORTH	
A3.25	RENDERING NORTH EAST	
A3.26	RENDERING PLAY AREA	
A4.0	BUILDING SECTIONS - BLDG A	
A4.0	BUILDING SECTIONS - BLDG B	
A4.1 A4.2	BUILDING SECTIONS - BLDG B	
A4.3	BUILDING SECTIONS- BLDG D	
A7.1	WALL TYPE SCHEDULES	
A7.2	DOOR & WINDOW TYPES	
A7.3	DOOR SCHEDULE	
A10.0	INTERIOR FINISH SCHEDULES	

M2.01	MECHANICAL SITE PLAN	
PLUMBI	NG	
P2.01	PLUMBING SITE PLAN	
ELECTR	ICAI	
ELECTR		
ELECTR E1.1	ICAL SITE PLAN - ELECTRICAL	







119 MAIN ST, STE #200 SEATTLE, WA 98104-2579 (206) 322-3322

CRIBER

S(**DESIGN DEVELOPMENT**

ISSUE DATE: SEPTEMBER 25, 2023

<u> </u>
REVISION SCHEDULE

Description

	ROOM NAME XXX
	
PAVEMENT PENSER	

SUB. SUBSTITUTE

SUSP. SUSPENDED

SHEET VINYL

SYMMETRICAL

SV SYM.

W.P.

WATER PROOF(ING)

W.R. WATER RESISTANT

W.W.F. WELDED WIRE FABRIC W.O.M. WALK OFF MAT

WT. WEIGHT

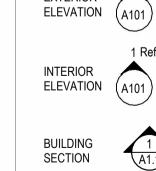
ROOM NAME ROOM NUMBER DIMENSION POINT OR ELEVATION PARTITION TYPE - SEE A7.0

DOOR NUMBER

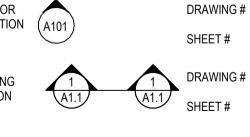
SEE A7.1

LEGEND

101

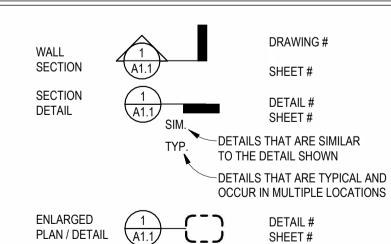


EXTERIOR



DRAWING#

SHEET#



CONTENTS:

Date

SHEET INDEX AND ABBREVIATIONS

SCALE:	1/4" = 1'-0"
DRAWN:	RB, AM
CHECKED:	KW
PROJECT NO:	2023004.00
SHEET:	

T.	PROPERTY LINE	DISP.	DISPENSER	F.O.I.O	FURNISHED BY OWNER/	LI.WI.	LIGHT WEIGHT	PID.	PAINTED	SYM.	SYMMETRICAL
		DIV.	DIVISION		INSTALLED BY OWNER			PTN.	PARITION	SYS.	STYSTEM
A.B.	ANCHOR BOLT	DN.	DOWN	F.O.M	FACE OF MASONRY	MAS.	MASONRY	P.V.C.	POLYVINYL CHLORIDE PIPE		
A/C	AIR CONDITIONING	DR.	DOOR	F.O.S.	FACE OF STUD OR STRUCTURE	M.B.	MACHINE BOLT			T.	TREAD
A.C.T.	ACOUSTICAL TILE CEILING	D.S.	DOWN SPOUT	F.P.	FIRE PROOF	M.B.	MARKER BOARD	Q.T.	QUARRY TILE	TB	TACK BOARD
ADJ.	ADJACENT	DWG.	DRAWING			M.D.F.	MEDIUM DENSITY FIBERBOARD			T.O.C.	TOP OF CURB
A.F.F.	ABOVE FINISH FLOOR			GA.	GUAGE	M.D.O.	MEDIUM DENSITY OVERLAY	R.	RADIUS, RISER	TEL.	TELEPHONE
ALT.	ALTERNATE	E	EAST (COORDINATE)	GALV.	GALVANIZED	M.D.X.	MEDIUM DENSITY	REF.	REFER(ENCE)	TER	TERRAZZO
ARCH	ARCHITECT(URAL)	EA.	EACH	G.C.	GENERAL CONTRACTOR		EXTERIOR OVERLAY	REFR.	REFRIGERATOR	T.O.P.	TOP OF PLATE OR PAVEMENT
AVG.	AVERAGE	E.B.	EXPANSION BOLT	GLULAM	I GLUE LAMINATED	MECH.	MECHANICAL	REINF.	REINFORCED	T.P.D.	TOILET PAPER DISPENSER
A.W.P	ACOUSTICAL WALL PANEL	E.J.	EXPANSION JOINT	GND.	GROUND	MEMB.	MEMBRANE	SESIL.	RESILIENT	T.O.W.	TOP OF WALL
		ELEC.	ELECTRICAL	GR.	GRADE	MFG.	MANUFACTURING	REV.	REVISION, REVISED	TYP.	TYPICAL
BD.	BOARD	ELEV.	ELEVATION	G.W.B.	GYPSUM WALLBOARD	MFR.	MANUFACTURER	R.O.	ROUGH OPENING		
BLK'G	BLOCKING	ENCL.	ENCLOSURE			MIN.	MINIMUM	RWL	RAIN WATER LEADER	UNF.	UNFINISHED
BOT.	BOTTOM	EQ.	EQUAL	H.B.	HOSE BIB	MIR.	MIRROR			U.O.N.	UNLESS OTHERWISE NOTED
		EQUIP.	EQUIPMENT	H.C.	HOLLOW CORE	M.O.	MASONRY OPENING	S.	SOUTH		
CAB.	CABINET	E.W.C.	ELECTRIC WATER COOLER	HDBD.	HARDBOARD	MTL.	METAL	SAM	SELF-ADHERED MEMBRANE	٧.	VENT
C.B.	CATCH BASIN	EXT.	EXTERIOR	HDR.	HEADER			S.C.	SOLID CORE	V.B.	VAPOR BARRIER
C.F.	CUBIC FEET			HDWR.	HARDWARE	N.	NORTH	S.C.D.	SEAT COVER DISPENSER	V.C.T.	VINYL COMPOSITION TILE
C.J.	CONTROL JOINT	F.A.	FIRE ALARM	HDWD.	HARDWOOD	N.I.C.	NOT IN CONTRACT	S.D.	SOAP DISPENSER, STORM DRAIN		
CLG.	CEILING	F.C.O.	FLOOR CLEANOUT	H.M.	HOLLOW METAL	NOM.	NOMINAL	S.F.	SQUARE FEET	W.	WEST, EIDTH
CLR.	CLEAR(ANCE)	F.D.	FLOOR DRAIN	H.V.A.C	HEATING / VENTILATION /	N.T.S.	NOT TO SCALE	SHT.	SHEET	W.C.	WATER CLOSET
C.M.U	CONCRETE MASONRY UNIT	F.E.	FIRE EXTINGUISHER		AIR CONDITIONING			SHWR.	SHOWER	WD.	WOOD
C.O.	CLEAN OUT	F.E.C.	FIRE EXTINGUISHER CABINET			O.C.	ON CENTER	SIM.	SIMILAR	WDW.	WINDOW
COL.	COLUMN	F.F.	FINISH FLOOR	I.D.	INSIDE DIAMETER (DIM.)	O.H.	OPPOSITE HAND	S.N.D.	SANITARY NAPKIN DISPENSER	W.G.	WIRED GLASS
CONC	CONCRETE	F.F.E.	FINISH FLOOR ELEVATION	INSUL	INSULATED / INSULATION	OPN'G.	OPENING	S.N.R.	SANITARY NAPKIN RECEPACLE	W.H.	WATER HEATER
CONT	CONTINUOUS	F.S.	FROM SLAB	INT.	INTERIOR	OPP.	OPPOSITE	S.S.	STAINLESS STEEL	WIN.	WINDOW
COOR	D COODDINATE		EIDE HYDDANT					CTI	CTEEL	W D	WATER RECOUNTS

PERF. PERFORATED

P.L. PROPERTY LINE

P-LAM. PLASTIC LAMINATE

LAF LIQUID-APPLIED

LT.WT. LIGHT WEIGHT

MEMBRANE FLASHING

F.O.F. FACE OF FOUNDATION

F.O.I.C. FURNISHED BY OWNER /

JT. JOINT

KIT. KITCHEN

INSTALLED BY CONTRACTOR L.F. LINEAL FEET F.O.I.O FURNISHED BY OWNER/ LT.WT. LIGHT WEIGHT

PR. PAIR PT. PINT, F

PTD. PAINTED

P.T.

PINT, POINT

PRESSURE TREATED

STA. STATION S.T.C SOUND TRANSMISSION CLASS

ST.S. STANDING SEAM

S.S. STAINLE STL. STEEL

LEGAL DESCRIPTION

(REFER TO T1 TOPOGRAPHIC SURVEY FOR FURTHER INFORMATION.)

PER AFN202112155001 REVISED PARCEL "B'

THAT PORTION OF TRACT 43, STATE PLAT IN SECTION 16, TOWNSHIP 27 NORTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 12 OF PLATS, PAGE 71, RECORDS OF SNOHOMISH COUNTY WASHINGTON, LYING WEST OF THE FOLLOWING DESCRIBED LINE:

COMMENCING AT THE NORTHWEST CORNER OF SAID TRACT 43, SAID POINT ALSO BEING ON THE EAST LINE OF TRACT 10 OF SAID PLAT; THENCE SOUTH 88°33'56" EAST 83.37 FEET ALONG THE NORTH LINE OF SAID TRACT 43 TO THE POINT OF BEGINNING OF SAID DESCRIBED LINE;

THENCE SOUTH 08°02'19" EAST 114.96 FEET;

THENCE SOUTH 00°27'36" WEST 348.19 FEET TO INTERSECT A LINE 54.00' NORTHERLY OF AND PARALLEL TO THE SOUTH LINE OF SAID TRACT 43;

THENCE NORTH 88°33'56" WEST, ALONG SAID PARALLEL LINE, 49.48 FEET TO THE NORTHEAST CORNER OF RIGHT OF WAY OF 194TH STREET SOUTHWEST, AS DEEDED TO SNOHOMISH COUNTY PER DEDICATION DEED RECORDED UNDER AUDITOR'S FILE NUMBER 202112010706, BEING A RE-RECORD OF THE DEED RECORDED UNDER AUDITOR'S FILE NUMBER 202111090313, RECORDS OF SNOHOMISH COUNTY, WASHINGTON;

THENCE SOUTH 00°39'28" WEST, ALONG THE EASTERLY LINE OF SAID RIGHT OF WAY, 54.00 FEET TO THE SOUTH LINE OF SAID TRACT 43, AND THE TERMINUS OF THE

EXCEPTING ANY PORTION THEREOF LYING WITHIN THE RIGHT OF WAY OF 194TH STREET SOUTHWEST, AS DEEDED TO SNOHOMISH COUNTY PER DEDICATION DEED RECORDED UNDER AUDITOR'S FILE NUMBER 202112010706, BEING A RE-RECORD OF THE DEED RECORDED UNDER AUDITOR'S FILE NUMBER 202111090313, RECORDS OF SNOHOMISH COUNTY, WASHINGTON;

ALSO EXCEPTING ANY PORTION THEREOF LYING WITHIN THE RIGHT OF WAY OF 58TH PLACE WEST AS DEEDED TO SNOHOMISH COUNTY PER DEDICATION DEED RECORDED

UNDER AUDITOR'S FILE NUMBER 202111170431, RECORDS OF SNOHOMISH COUNTY, WASHINGTON

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON

GENERAL NOTES

1. DRAWINGS AND SPECIFICATIONS ARE COMPLIMENTARY AND WHAT IS CONTAINED IN ONE SHALL BE CONSIDERED TO BE INCLUDED IN BOTH.

2. THE CONTRACT DOCUMENTS ARE COMPRISED OF THE DRAWINGS, PROJECT MANUAL AND ADDENDA (IF ANY). THE CONTRACT DOCUMENTS ARE CONSIDERED INCOMPLETE UNLESS ALL ELEMENTS LISTED ARE PRESENT.

3. IN THE CASE OF A CONFLICT BETWEEN ANY ASPECT OF THE CONTRACT DOCUMENTS AND ANOTHER, CONTACT THE ARCHITECT IMMEDIATELY FOR DIRECTION.

4. ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES. IF A CONFLICT ARISES BETWEEN WHAT IS SHOWN IN THE CONTRACT DOCUMENTS AND AN APPLICABLE CODE, PROMPTLY NOTIFY ARCHITECT FOR DETERMINATION OF HOW TO PROCEED

5. DO NOT SCALE DRAWINGS

6. PERFORM EXCAVATION & FOUNDATION WORK IN CONFORMANCE WITH THE SOILS REPORT AND CONSTRUCTION DOCUMENTS

7. DRAWINGS INDICATE GENERAL & TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER, TYPICAL DETAILS SHALL APPLY.

DESIGN TEAM

EDMONDS SCHOOL DISTRICT NO. 15 LYDIA SELLIE, EXECUTIVE DIRECTOR, BUSINESS AND FINANCE SELLIEL812@EDMONDS.WEDNET.EDU 20420 68TH AVE. W. LYNNWOOD, WA 98036 (425) 431-7000

<u>DEVELOPER</u> HOUSING HOPE JEFF CHANDLER, SENIOR HOUSING DEVELOPER JEFFCHANDLER@HOUSINGHOPE. 3331 BROADWAY EVERETT, WA 98201 (425) 322-3723 X 292

GENERAL CONTRACTOR ALLIED CONSTRUCTION ASSOCIATES TIM BJELLA, PRINCIPAL TBJELLA@ALLIEDCONSTRUCTION.NET 3210 HEWITT AVE. EVERETT, WA 98201 (425) 259-6057

ARCHITECT OF RECORD DESIGNS NORTHWEST ARCHITECTS, INC. DANIEL NELSON, PRINCIPAL KIM WILLIAMS. PROJECT MANAGER KIM@DESIGNSNW.COM 26915 102ND DRIVE NW, SUITE 201 STANWOOD, WA 98292 (360) 926-8955

ARCHITECTURAL SUPPORT ARC ARCHITECTS PAUL CURTIS, PRINCIPAL CURTIS@ARCARCHITECTS.COM RYAN BOONE, PROJECT ARCHITECT BOONE@ARCARCHITECTS.COM 119 S MAIN ST. SUITE 200 SEATTLE, WA 98104 (206) 322-3322

DON DAVIS

(425) 822-8397

REDMOND, WA 98052

BUILDING ENVELOPE / WATERPROOFING SWENSON SAY FAGÉT WETHERHOLT AND ASSOCIATES, INC. BETH BROWN, PE DOND@WETHERHOLT.CO BBROWN@SSFENGINEERS.COM 934 BROADWAY, SUITE 100 14715 NE 95TH ST, SUITE 100 TACOMA, WA 98402 (253) 284.9470

SURVEY / CIVIL

HARMSEN, LLC

MONROE, WA 98272

(360) 794-7811

<u>LANDSCAPE</u>

AUDREY WEST

(206) 223-0326

AWEST@MIGCOM.COM

SEATTLE, WA 98101

119 PINE STREET, SUITE 400

MIG. INC.

DAVE HARMSEN, VP PE

DAVIDH@HARMSENLLC.COM

125 EAST MAIN STREET STE. 104

MECHANICAL / PLUMBING / ENERGY ECOTOPE, INC. SHAWN ORAM, PRINCIPAL PE SHAWN@ECOTOPE.COM 1917 FIRST AVENUE, SUITE 300 SEATTLE, WA 98101 (206) 322.3753

TFWB - ELECTRICAL ENGINEERS INC. MIKE FITZMAURICE. PRINCIPAL PE MIKE@TF-WB.COM 1200 WESTLAKE AVE N., STE 509 SEATTLE, WA 98109 (206) 285-7228

THE RILEY GROUP, INC. RICKY WANG, PRINCIPAL GEOTECH ENGINEER 17522 BOTHELL WAY NE BOTHELL, WA 98011

(425) 415-0551

PROJECT DESCRIPTION

HOUSING HOPE SCRIBER PLACE IS A PROPOSED 52-UNIT MULTIFAMILY AFFORDABLE HOUSING DEVELOPMENT. AS CURRENTLY PLANNED. ALL 52 DWELLING UNITS WILL SERVE MCKINNEY-VENTO HOMELESS FAMILIES IN LOCAL SCHOOL DISTRICTS WITH THOSE IN THE EDMONDS SCHOOL DISTRICT RECEIVING PRIORITY OVER OTHER MCKINNEY-VENTO FAMILIES IN NEIGHBORING SCHOOL DISTRICTS. IF THERE ARE NO REFERRALS FROM THE DISTRICT(S), THEN THE PROJECT WILL TAKE REFERRALS FROM THE SNOHOMISH COUNTY COORDINATED ENTRY. FAMILIES WILL RECEIVE SUPPORTIVE SERVICES UNDER A RESIDENT SERVICES DELIVERY MODEL, WHERE HOUSING HOPE'S FAMILY SUPPORT COACHES WILL WORK WITH RESIDENTS TO CREATE PLANS THAT HELP THE RESPECTIVE FAMILIES ENGAGE IN ACTIVITIES THAT STRENGTHEN THEIR HOUSEHOLDS AND INCREASE THEIR ABILITY TO BE SELF-SUFFICIENT AND INTERDEPENDENT WITH THEIR COMMUNITY. AT PROJECT COMPLETION, 26 UNITS WITHIN THE SCRIBER PLACE PROJECT WILL BE AFFORDABLE TO HOUSEHOLDS AT OR BELOW 30% OF AREA MEDIAN INCOME (AMI), AND THE REMAINING 26 UNITS AFFORDABLE TO HOUSEHOLDS AT OR BELOW 50% OF AMI, WITH SIX (6) OF THESE UNITS DEDICATED TO SERVING HOUSEHOLDS WITH HISTORIES OF SUBSTANCE ABUSE.

PROPOSED CONSTRUCTION OF 1 TWO-STORY (MIXED-USE BUILDING A) AND 3 THREE-STORY (RESIDENTIAL BUILDINGS B, C & D) MULTIFAMILY BUILDINGS WITH 52 LOW-INCOME APARTMENTS, SUPPORTIVE SERVICES AND AMENITY SPACES TOTALING +/-55,087 GROSS SF BUILDING SPACE (INCLUDES USABLE EXTERIOR AREA WITH PROJECTION / ROOF ABOVE). RESIDENTIAL (R-2 OCCUPANCY) PORTIONS OF BUILDINGS A, B, C & D INCLUDE +/- 48,253 GROSS SF OF 9 ONE-BEDROOM (MAX. 599 SF), 25 TWO-BEDROOM (MAX. 826 SF), 12 THREE-BEDROOM (MAX. 924 SF), 6 FOUR-BEDROOM (MAX. 1,203 SF) UNITS, AND CENTRAL LAUNDRY NON-RESIDENTIAL SINGLE-STORY PORTION OF BUILDING A INCLUDES +/- 6,834 GROSS SF ASSEMBLY SPACES (A-3 OCCUPANCY) OF COMMUNITY ROOM WITH RESIDENTIAL-GRADE KITCHEN, TWO MULTIPURPOSE ROOMS, STUDY; BUSINESS SPACES (B OCCUPANCY) OF STAFF OFFICES, MEETING, HEALTH CONSULTATION; AND STORAGE SPACES (S-2 OCCUPANCY) COMPRISED OF COMMUNITY PANTRY, PACKAGES, AND MAINTENANCE. BUILDINGS ARE CONFIGURED AROUND RESIDENT PICNIC AND PLAY PLAZA AND CENTRAL PARKING AREA. UNIT DOORS ACCESSED FROM COVERED EXTERIOR EXIT STAIRWAYS, WHICH SERVE A MAXIMUM OF 4 UNITS AT LEVELS 2 AND 3.

PROPOSED CONSTRUCTION IMPROVEMENTS OF 2.20-ACRE SITE (APN 00585300004300, PARCEL B OF BLA-009742-2021) INCLUDING ALL ASSOCIATED UTILITIES. UNDERGROUND STORMWATER VAULT. SITE WORK, PAVING, FIRE ACCESS ROAD, 82 PARKING SPACES, RETAINING WALLS, TRASH ENCLOSURE, FENCING, RECREATION WALKING LOOP, PICNIC AND PLAZA TABLES AND BENCHES, PLAY EQUIPMENT, RAISED GARDEN PLANTERS, AND LANDSCAPING.

PROPOSED CONSTRUCTION OF STREET FRONTAGE RIGHT-OF-WAY IMPROVEMENTS ALONG 194TH STREET SW AND 58TH PLACE W, INCLUDING UTILITY EXTENSIONS (WATER, SEWER, STORM, ELECTRICAL, COMMUNICATIONS), PAVEMENT EXPANSION, CURB,

PROPOSED DEMOLITION INCLUDING REMOVAL OF SELECT TREES, 3 SHEDS, BATTING CAGE, COVERED DUGOUTS, BACKSTOP FENCING, BLEACHERS, GRAVEL, PAVING, WALKS, STEPS, PLANTER AREAS, CURB/GUTTER ALONG FRONTAGE, SHUTOFF AND CAP SELECT UTILITIES, AND EXISTING GROUNDWATER WELL DECOMMISSIONING

PROJECT DESIGNED TO MEET EVERGREEN SUSTAINABLE DEVELOPMENT STANDARD (ESDS) VERSION 4.0 PROGRAM.

GOVERNING CODES

APPLICABLE CODES & STANDARDS

THE FOLLOWING INTERNATIONAL CODE COUNCIL CODES ARE ADOPTED AS AMMENDED BY STATE OF WASHINGTON BUILDING CODE COUNCIL (SBCC), WA STATE AMENDMENTS (WAC 51-50), AND AS AMENDED BY LYNWOOD MUNICIPAL CODE (LMC):

2018 INTERNATIONAL BUILDING CODE (IBC) 2018 INTERNATIONAL FIRE CODE (IFC)

2018 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE (IWUIC) 2018 INTERNATIONAL MECHANICAL CODE (IMC)

2018 WASHINGTON STATE ENERGY CODE (WAC 51-11R) - RESIDENTIAL (WSEC-R)

2018 WASHINGTON STATE ENERGY CODE (WAC 51-11C) - COMMERCIAL (WSEC-C) 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

2018 INTERNATIONAL FUEL GAS CODE (IFGC) 2018 UNIFORM PLUMBING CODE (UPC)

2020 NATIONAL ELECTRICAL CODE (NEC / NFPA 70) CURRENTLY ADOPTED BY WA STATE L&I AND LMC

2009 ACCESSIBILE AND USABLE BUILDINGS AND FACILITIES (ICC A117.1) SECTION 504 (HUD)

UNIFORM FEDERAL ACCESSIBILITY STANDADRD (UFAS)

LYNNWOOD MUNICIPAL CODE (LMC) LYNNWOOD MUNICIPAL CODE - TITLE 9 FIRE, TITLE 11 TRAFFIC, TITLE 12 STREETS & SIDEWALKS, TITLE 13 WATER, TITLE 14

SEWERS, TITLE 15 PLUMBING, TITLE 16 BUILDING, TITLE 17 ENVIRONMENT, TITLE 18 PLANNING, TITLE 21 ZONING LYNNWOOD CITYWIDE DESIGN GUIDELINES -GUIDELINES FOR ALL DISTRICTS

LYNNWOOD CITYWIDE DESIGN GUIDELINES - ADDITIONAL GUIDELINES FOR MULTI-FAMILY DISTRICTS

SOUTH COUNTY FIRE (SCF) / LYNNWOOD FIRE MARSHAL STANDARDS 2019 DEPT. OF ECOLOGY STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON

EVERGREEN SUSTAINABLE DEVELOPMENT STANDARD, VERSION 4.0

* ELECTRCIAL/ LOW-VOLTAGE PERMITS ADMINISTERED BY CITY OF LYNNWOOD

UTILITY DISTRICTS CITY OF LYNNWOOD WATER / FIRE CITY OF LYNNWOOD SEWER STORM CITY OF LYNNWOOD GAS CONTRACTOR TO VERIFY EXISTING

ELECTRICAL SNOHOMISH COUNTY PUD **FIBEROPTICS** ZIPLY FIBER

PHONE / DSL ZIPLY FIBER, LUMEN, COMCAST, CONTRACTOR TO VERIFY EXISTING

CABLE CONTRACTOR TO VERIFY EXISTING

TRASH / RECYCLE WASTE MANAGEMENT UTILITY LOCATIONS CALL BEFORE YOU DIG 811

PERMITS/APPROVALS

PRIOR APPROVALS:

FUTURE LAND USE (FLU) MAP COMPREHENSIVE PLAN AMENDMENT: CPL-009777-2021

CONCURRENT REZONE: RZN-009780-2021

SEPA (FOR COMPREHENSIVE PLAN AMENDMENT / REZONE): ERC-009778-2021 WITH MITIGATED DETERMINATION OF NON-SIGNIFICANCE (MDNS), ADDENDUM #3, 2015 UPDATE OF THE LYNNWOOD COMPREHENSIVE PLAN, ISSUED MARCH 26, 2015 BOUNDARY LINE ADJUSTMENT: BLA-009742-2021 (RECORDING NO. 202112155001)

ROW DEEDS: #202112010706 (194TH ST SW) & #202111170431 (58TH PL W)

LAND USE APPROVALS (CONSOLIDATED REVIEW): PROJECT DESIGN REIVEW (PDR)

PARKING ADJUSTMENT REVIEW (PAR) SEPA ENVIRONMENTAL REVIEW CHECKLIST (ERC)

FUTURE CONSTRUCTION PERMITS:

COMMERCIAL / MULTIFAMILY BUILDING PERMIT (4 BUILDINGS) MECHANICAL PERMIT (4 BUILDINGS)

PLUMBING PERMIT (4 BUILDINGS) **ELECTRICAL PERMIT (4 BUILDINGS AND SITE)**

WOOD ROOF & FLOOR TRUSSES (4 BUILDINGS, DEFERRED APPROVAL)

SIGNAGE & CANOPIES PERMITS (DEFERRED APPROVAL) DEVELOPMENT ENGINEERING PERMIT, INCLUDING: UNDERGROUND STORMWATER VAULT STRUCTURE PERMIT

RETAINING WALL STRUCTURE PERMITS TEMPORARY EROSION & SEDIMENTATION CONTROL PLAN (TESC) STORMWATER POLLUTION PREVENTION PLAN (SWPPP), STORMWATER OPERATION AND MAINTENANCE MANUAL

SPILL PREVENTION CONTROL AND COUNTERMEASURES PLAN (SPCC) RIGHT-OF-WAY CONSTRUCTION PERMIT

SEWER EXTENSION & CONNECTION PERMIT HYDRANT USE PERMIT (TBD) TRAFFIC CONTROL PLAN

FIRE CONNECTION PERMIT WA DEPT. OF ECOLOGY CONSTRUCTION STORMWATER GENERAL PERMIT (CSWGP), FULL STORMWATER SITE PLAN REPORT (DRAINAGE REPORT)

SEWER DISCHARGE PERMIT (TBD, DEFERRED APPROVAL) TREE REMOVAL PERMIT (CLASS II)

DEMOLITION PERMITS (3 SHEDS, BATTING CAGE, COVERED DUGOUTS, BACKSTOP, FENCING) NOTIFICATION OF DEMOLITION FROM NORTHWEST CLEAN AIR AGENCY

RIGHT-OF-WAY USE PERMIT (DEFERRED APPROVAL) FIRE SPRINKLER (DEFERRED APPROVAL)

FIRE ALARM (DEFERRED APPROVAL)

PROJECT INFORMATION

DEVELOPMENT SUMMARY CHART / ZONING INFORMATION

JURISDICTION CITY OF LYNNWOOD ADDRESS NW OF 194TH ST. SW & 58TH PL. W, LYNNWOOD, WA 98036 (PORTION OF ESD CEDAR VALLEY COMMUNITY SCHOOL SITE LOCATED AT 19200

56TH AVE. W 00585300004300 (PARCEL B OF BLA-009742-2021)

EXISTING ZONING FUTURE LAND USE MF-3 COMP. PLAN DESIGNATION TOTAL LAND AREA 95,926 SF / 2.20-ACRES

BUILDING A MULTIFAMILY RESIDENTIAL SUPPORTIVE SERVICES AND PROPOSED USE(S) COMMUNITY AMENITITES

BUILDING B MULTIFAMILY RESIDENTIAL BUILDING C MULTIFAMILY RESIDENTIAL BUILDING D MULTIFAMILY RESIDENTIAL

MINIMUM LOT AREA MINIMUM LOT WIDTH 100' + 1' PER 10' LOT DEPTH AFTER FIRST 100'

MINIMUM STREET FRONTAGE 70' MINIMUM LOT AREA / UNIT 1,000 SF

IMPERVIOUS SITE COVERAGE

MAXIMUM DENSITY 95 DWELLING UNITS PROPOSED DENSITY 52 DWELLING UNITS / 119 BDRMS TOTAL - (9) 1 BDRM, (25) 2 BDRM, (12) 3

BDRM, (6) 4 BDRM BUILDING AREA TOTAL 55,087 SF (INCLDES USABLE EXTERIOR AREA W/ PROJECTION / ROOF ABOVE) BUILDING A 10,772 SF BUILDING B 11,117 SF

BUILDING C 16,599 SF BUILDING D 16,599 SF MAX. LOT COVERAGE BY BUILDINGS 45% PROPOSED BUILDING LOT COVERAGE 25% (LEVEL 1 ALL BUILDINGS 24,359 SF / SITE 95,926 SF)

MAXIMUM BUILDING HEIGHT TALLEST BUILDING 35' - 8 1/2" (BUILDING B) (FRONT, REAR & SIDE YARD SETBACKS INCREASED 1' PER **BUILDING SETBACKS** EACH 1' OF BUILDING HEIGHT THAT EXCEEDS 45')

(REFER TO CIVIL)

FRONT (CORNER LOT) STREET SIDE (CORNER LOT) SIDE (INTERIOR) REAR PARKING SETBACK

REFUSE ENCLOSURE SETBACK 25' FROM PUBLIC STREET, 10' FROM INTERIOR PROPERTY LINE PARKING REQUIRED OFF-STREET AUTO PARKING 102 PROPOSED OFF-STREET AUTO PARKING 82 TOTAL (<20% PARKING REDUCTION REQUEST)

COMPACT PARKING 16 (<20% OF PARKING PROVIDED) ACCESSIBLE PARKING 4 (INCLUDING 1 VAN ACCESSIBLE) SHARED PARKING 9 EV INSTALLED (10%), INCLUDING 1 VAN ACCESSIBLE EV ELECTRIC VEHICLE PARKING

21 EV READY (25%) 9 EV CAPABLE (10%) 20 (DOES NOT CONTRIBUTE TOWARDS AUTO PARKING BICYCLE RACK SPACES

INSTALLED

REDUCTION) OPEN / PUBLIC SPACE CALCULATIONS N/A REQUIRED ACTIVE RECREATION 10,400 SF (52 DU X 200 SF/ DU) PROPOSED ACTIVE RECREATION AREAS 10,965 SF TOTAL LANDSCAPING (REFER TO LANDSCAPE / IRRIGATION)

CONSTRUCTION SUMMARY CHART / BUILDING INFORMATION

JURISDICTION CITY OF LYNNWOOD SEE BELOW FOR CONSTRUCTION TYPE, SPRINKLER TYPE, OCCUPANCY CLASSIFICATIONS SEE STRUCTURAL FOR RISK CATEGORY, DESIGN LOADS, SNOW LOADS AND WIND LOADS

BUILDING A 2-STORY, MIXED-USE, NON-SEPARATED OCCUPANCIES, PORTIONS CONNECTED BY

COVERED BREEZEWAY / PLENUM NFPA 13 AUTOMATIC FIRE SPRINKLER SYSTEM NFPA 72 MONITORED FIRE ALARM SYSTEM, SMOKE DETECTION / ALARM, CARBON MONOXIDE

COMMERCIAL A-3, B, S-2 OCC ACCESSIBLE THROUGHOUT

1-HR RATED FIRE PARTITION / 1-HR RATED HORIZONTAL ASSEMBLY AT FIRE

2-STORY PORTION RESIDENTIAL R-2 OCC INCLUDES TYPE B UNITS AT LEVEL 1

 1-HR RATED FIRE PARTITIONS AT INTERIOR (DU SEPARATIONS, DU SEPARATION FROM CONTIGUOUS USES)

 1-HR RATED HORIZONTAL ASSEMBLY BÉTWEEN UNITS (DU SEPARATIONS, DU SEPARATION FROM CONTIGUOUS USES) 1-HR RATED EXTERIOR WALL (WITH ¾ HR OPENING PROTECTION) AT

EXTERIOR EXIT STAIRWAYS 1-HR RATED EXTERIOR WALL WHERE <10' FSD FROM ASSUMED LINE BETWEEN BUILDINGS

 1-HR RATED FIRE PARTITION / 1-HR RATED HORIZONTAL ASSEMBLY AT FIRE RISER ROOMS

BUILDING B 3- STORY, RESIDENTIAL R-2 OCC NFPA 13R AUTOMATIC FIRE SPRINKLER SYSTEM

NFPA 72 MONITORED FIRE ALARM SYSTEM. SMOKE DETECTION / ALARM. CARBON MONOXIDE DETECTION / ALARM

INCLUDES TYPE B UNITS AT LEVEL 1 1-HR RATED FIRE PARTITIONS AT INTERIOR (DU SEPARATIONS, DU SEPARATION FROM CONTIGUOUS USES)

• 1-HR RATED HORIZONTAL ASSEMBLY BETWEEN UNITS (DU SEPARATIONS, DU SEPARATION FROM CONTIGUOUS USES) • 1-HR RATED EXTERIOR WALL (WITH ¾ HR OPENING PROTECTION) AT EXTERIOR EXIT

 1-HR RATED EXTERIOR WALL WHERE <10' FSD FROM ASSUMED LINE BETWEEN BUILDINGS 1-HR RATED FIRE PARTITION / 1-HR RATED HORIZONTAL ASSEMBLY AT FIRE RISER ROOMS

BUILDING C 3- STORY, RESIDENTIAL R-2 OCC

NFPA 13R AUTOMATIC FIRE SPRINKLER SYSTEM NFPA 72 MONITORED FIRE ALARM SYSTEM, SMOKE DETECTION / ALARM, CARBON MONOXIDE DETECTION / ALARM INCLUDES ACCESSIBLE / TYPE A / TYPE B UNITS AT LEVEL 1

 1-HR RATED FIRE PARTITIONS AT INTERIOR (DU SEPARATIONS, DU SEPARATION FROM CONTIGUOUS USES) 1-HR RATED HORIZONTAL ASSEMBLY BETWEEN UNITS (DU SEPARATIONS, DU SEPARATION

FROM CONTIGUOUS USES) 1-HR RATED EXTERIOR WALL (WITH ¾ HR OPENING PROTECTION) AT EXTERIOR EXIT

 1-HR RATED EXTERIOR WALL WHERE <10' FSD FROM ASSUMED LINE BETWEEN BUILDINGS 1-HR RATED FIRE PARTITION / 1-HR RATED HORIZONTAL ASSEMBLY AT FIRE RISER ROOMS

BUILDING D 3- STORY, RESIDENTIAL R-2 OCC NFPA 13R AUTOMATIC FIRE SPRINKLER SYSTEM

NFPA 72 MONITORED FIRE ALARM SYSTEM, SMOKE DETECTION / ALARM, CARBON MONOXIDE INCLUDES TYPE B UNITS AT LEVEL 1

 1-HR RATED FIRE PARTITIONS AT INTERIOR (DU SEPARATIONS, DU SEPARATION FROM 1-HR RATED HORIZONTAL ASSEMBLY BETWEEN UNITS (DU SEPARATIONS, DU SEPARATION

1-HR RATED EXTERIOR WALL WHERE <10' FSD FROM ASSUMED LINE BETWEEN BUILDINGS

FROM CONTIGUOUS USES) 1-HR RATED EXTERIOR WALL (WITH ¾ HR OPENING PROTECTION) AT EXTERIOR EXIT STAIRWAYS

1-HR RATED FIRE PARTITION / 1-HR RATED HORIZONTAL ASSEMBLY AT FIRE RISER ROOMS

TYPE OF CONSTRUCTION:

BUILDING A BUILDING B BUILDING C BUILDING D TYPE V-B TYPE V-B

AUTOMATIC FIRE SPRINKLERS BUILDING A BUILDING B BUILDING C BUILDING D

NFPA 13 NFPA 13R NFPA 13R NFPA 13R OCCUPANCY CLASSIFICATION:

BUILDING A BUILDING B BUILDING C BUILDING D A-3, B, S-2, R-2 R-2

GROSS FLOOR AREA TOTAL ^ 55,087SF BUILDING A BUILDING B BUILDING C BUILDING D LEVEL 1 SUBTOTAL A 8,967 SF 3,873 SF 5.758 SF LEVEL 2 SUBTOTAL ^ 1,805 SF 3,724 SF 5.581 SF 5,581 SF

10,772 SF 11,117 SF 16,599 SF 16,599 SF ^ INCLUDES USABLE EXTERIOR AREA WITH PROJECTION / ROOF ABOVE

TOTAL OCCUPANT LOAD * 471 OCCUPANTS (PRELIMINARY) BUILDING A BUILDING B BUILDING C BUILDING D LEVEL 2 SUBTOTAL LEVEL 3 SUBTOTAL

* INCLUDES USABLE EXTERIOR AREA WITH PROJECTION / ROOF ABOVE

DWELLING UNITS TOTAL: 52 1 BED TYPE A / ACCESS. 1(C105)* 1 BED TYPE B 1(C102)* | 2(D102 & D105) (9) 1 BED, MAX. 599 SF 2 BED TYPE A / ACCESS. 2 BED TYPE B 1(B103) 1(C103)* | 2(D103 & D104) (25) 2 BED, MAX. 826 SF 3 BED TYPE A / ACCESS. 3 BED TYPE B 2(B101 & B104) 1(D106)* (12) 3 BED, MAX. 924 SF 4 BED TYPE A / ACCESS. 1(C101)* 4 BED TYPE B (6) 4 BED, MAX 1,203 SFTOTAL * SENSORY ACCESSIBLE UNITS

HEIGHT ABOVE GRADE ^^ BUILDING A BUILDING B BUILDING C BUILDING D 25' - 4 1/4" 35' - 8 1/2" 35' - 2" 34' - 10 1/4"

NUMBER OF STORIES BUILDING A BUILDING B BUILDING C BUILDING D

PROVIDED THERE IS A ROOF OR DECK ABOVE.

^^ SEE T1.2 AVERAGE EXISTING GRADE CALC, SEE A3.X EXTERIOR ELEVATIONS

FIRE FLOW PER 2021 IFC APPENDIX B (PENDING WA STATE/ LMC 2021 AMENDMENTS) FIRE SPRINKLER PROTECTION FOR R2 OCC SHALL BE PROVIDED TO ALL EXTERIOR BALCONIES, DECKS, EXTERIOR EGRESS PATHS, AND GROUND FLOOR PATIOS

BUILDING A FIRE-FLOW CALC. AREA 10,772 SF (GROSS FLOOR AREA & USABLE

EXTERIOR AREA W/ PROJECTION / ROOF ABOVE) TABLE B105.1(2) 2,750 GPM (MEASURED AT 20 PSI RESIDUAL PRESSURE) FIRE FLOW, 2 HR DURATION

TABLE B105.2 WITH IFC SECTION 903.3.1.1 (NFPA 13) AUTOMATIC SPRINKLER SYSTEM 50% REDUCTION ALLOWED PER LMC 9.18.040 WITH NFPA 13

BUILDING A = 1,375 GPM FIRE FLOW, 2 HR DURATION AT 20 PSI RESIDUAL PRESSURE

AUTOMATIC FIRE SPRINKLERS

EXTERIOR AREA W/ PROJECTION / ROOF ABOVE) TABLE B105.1(2) 2,750 GPM (MEASURED AT 20 PSI RESIDUAL PRESSURE) FIRE

50% REDUCTION ALLOWED PER LMC 9.18.040 WITH NFPA 13 R

(IFC TALE B1052 NOTE B – REDUCED FIRE FLOW NOT ALLOWED

WITH IFC SECTION 903.3.1.2 (NFPA 13 R) AUTOMATIC

BUILDING B FIRE-FLOW CALC. AREA 11,117 SF (GROSS FLOOR AREA & USABLE

FLOW, 2 HR DURATION WITH IFC SECTION 903.3.1.2 (NFPA 13 R) AUTOMATIC SPRINKLER SYSTEM

AUTOMATIC FIRE SPRINKLERS BUILDING B = 1,500 GPM FIRE FLOW, 2 HR DURATION AT 20 PSI RESIDUAL PRESSURE

BUILDING C FIRE-FLOW CALC. AREA 16,599 SF (GROSS FLOOR AREA & USABLE EXTERIOR AREA W/ PROJECTION / ROOF ABOVE)

< 1,500 GPM FOR NFPA 13 R)

SPRINKI FR SYSTEM

TABLE B105.2

TABLE B105.1(2) 3,500 GPM (MEASURED AT 20 PSI RESIDUAL PRESSURE) FIRE FLOW, 3 HR DURATION

50% REDUCTION ALLOWED PER LMC 9.18.040 WITH NFPA 13 R AUTOMATIC FIRE SPRINKLERS BUILDING C = 1,750 GPM FIRE FLOW, 3 HR DURATION AT 20 PSI RESIDUAL

PRESSURE BUILDING D FIRE-FLOW CALC. AREA 16,599SF (GROSS FLOOR AREA & USABLE

EXTERIOR AREA W/ PROJECTION / ROOF ABOVE) TABLE B105.1(2) 3,500 GPM (MEASURED AT 20 PSI RESIDUAL PRESSURE) FIRE FLOW, 3 HR DURATION

TABLE B105.2 WITH IFC SECTION 903.3.1.2 (NFPA 13 R) AUTOMATIC SPRINKLER SYSTEM 50% REDUCTION ALLOWED PER LMC 9.18.040 WITH NFPA 13 R AUTOMATIC FIRE SPRINKLERS

BUILDING D = 1,750 GPM FIRE FLOW, 3 HR DURATION AT 20 PSI RESIDUAL PRESSURE





119 MAIN ST, STE #200 SEATTLE, WA 98104-2579 (206) 322-3322

Δ

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 29, 2023

Description

REVISION SCHEDULE

Date

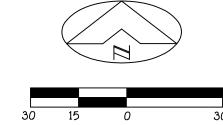
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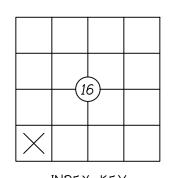
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:\WORK\PROJECTS\2022\22-258 HOUSING HOPE\LS\DWG\22-258 C3D ASPI.DWG 07/06/2023

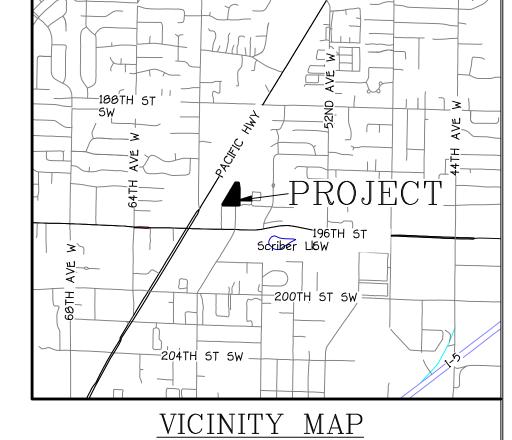


SCALE: 1" = 30'

USE OR DEVELOPMENT OF THIS PROPERTY.



INDEX KEY T27N-R4E



SCALE: 1" - 2000'

BASIS OF BEARING

HELD SOUTH 88°34'09" EAST BETWEEN TWO FOUND MONUMENTS ON THE NORTH LINE OF STATE PLAT, RECORDED IN VOLUME 12, PAGE 71, RECORDS OF SNOHOMISH COUNTY, WASHINGTON.

BEARINGS ARE WASHINGTON STATE PLANE NORTH ZONE (NAD83/2011 EPOCH 2010), BASED ON GPS OCCUPATIONS UTILIZING THE WASHINGTON STATE REFERENCE NETWORK.

ALL DISTANCES SHOWN ON THIS SURVEY ARE GROUND DISTANCES.

SURVEY REFERENCES

STATE PLAT VOL. 12. PG 71 R- BOUNDARY LINE ADJUSTMENT AF#202112155001 CITY OF LYNNWOOD SHORT PLAT AF#201807035001 LOT CONSILIDATION AF#201804115002

SURVEY NOTES

EQUIPMENT: 3" OR LESS TOTAL STATION AND GNSS NETWORK ROVER FIELD TRAVERSE AND WASHINGTON STATE REFERENCE NETWORK

THE CLOSURES OF THIS FIELD TRAVERSE CONDUCTED DURING THIS SURVEY MEET OR EXCEED THE MINIMUM CLOSURE STANDARDS STATED IN WAC 332-130-090 AND THE RELATIVE ACCURACY STANDARDS STATED IN WAC 332-130-085.

SURVEY DATES: AUGUST 11, 16 AND 10, 2022.

AERIAL IMAGERY IS ORTHORECTIFIED AND WAS PRODUCED TO MEET ASPRS POSITIONAL ACCURACY STANDARDS FOR DIGITAL GEOSPATIAL DATA (2014) FOR A 1.25cm RMSE HORIZONTAL ACCURACY CLASS WHICH EQUATES TO POSITIONAL HORIZONTAL ACCURACY OF +/- 3.1cm AT A 95% CONFIDENCE

SURFACE NOTES

THIS SURFACE IS DERIVED FROM AN ACTUAL SURVEY ON THE GROUND SUPPLEMENTED WITH LOW ALTITUDE PHOTOGRAMMETRIC AND LIDAR DATA COLLECTED BY HARMSEN, LLC ON 8-11-2022.

CONTOURS ARE SHOWN AT 2' INTERVALS.

VERTICAL ACCURACY IS PER UNITED STATES NATIONAL MAP ACCURACY STANDARDS.

SURVEYOR'S CERTIFICATION

LOCATIONS SHOWN ON THIS MAP ARE BASED ON A FIELD SURVEY BY HARMSEN, LLC IN JULY OF 2022. BOUNDARY INFORMATION IS BASED ON THAT BOUNDARY LINE ADJUSTMENT RECORDED UNDER AF#202112155001 RECORDS OF SNOHOMISH COUNTY, WASHINGTON. LOCATION SURVEY WAS PERFORMED UNDER MY SUPERVISION IN CONFORMANCE WITH APPLICABLE STATE AND INDUSTRY STANDARDS AT THE REQUEST OF THE HOUSING HOPE.

(SURVEYOR), PROFESSIONAL LAND SURVEYOR

7-6-23 (DATE)

REGISTRATION NO. 53114

REVISIONS

E E E ENGINE SURVE PLANI

C AVENUE, 98201

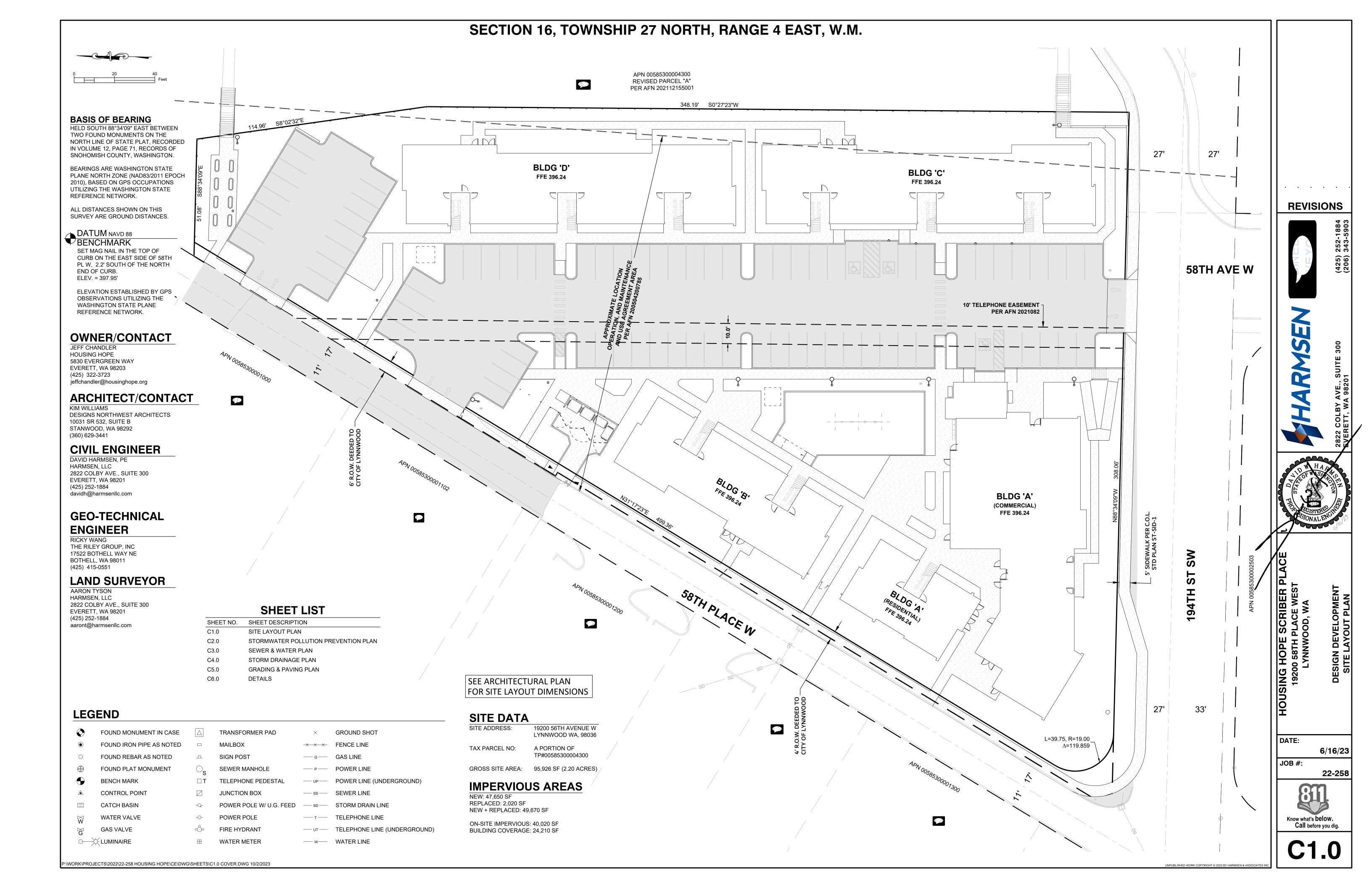


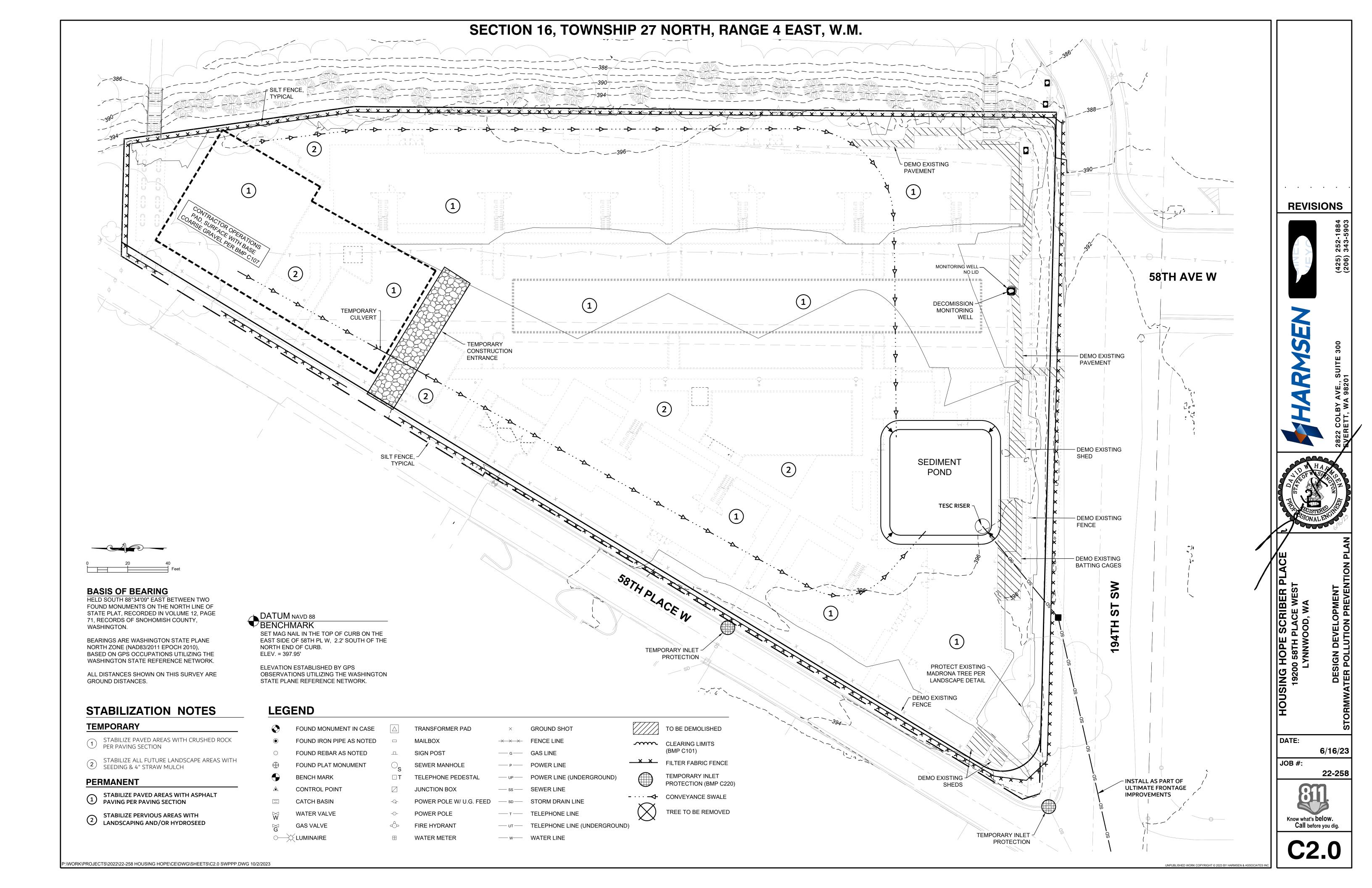
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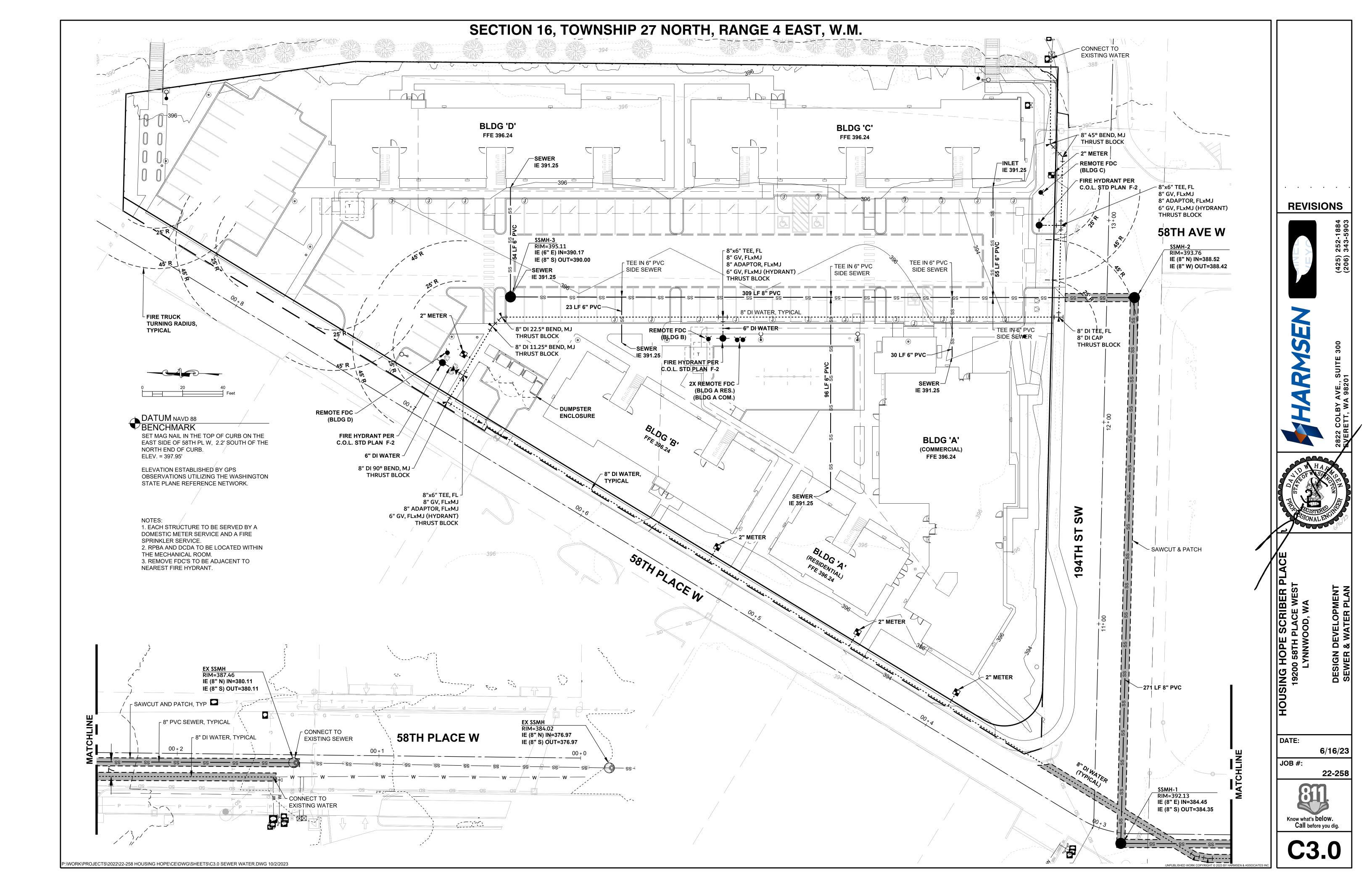
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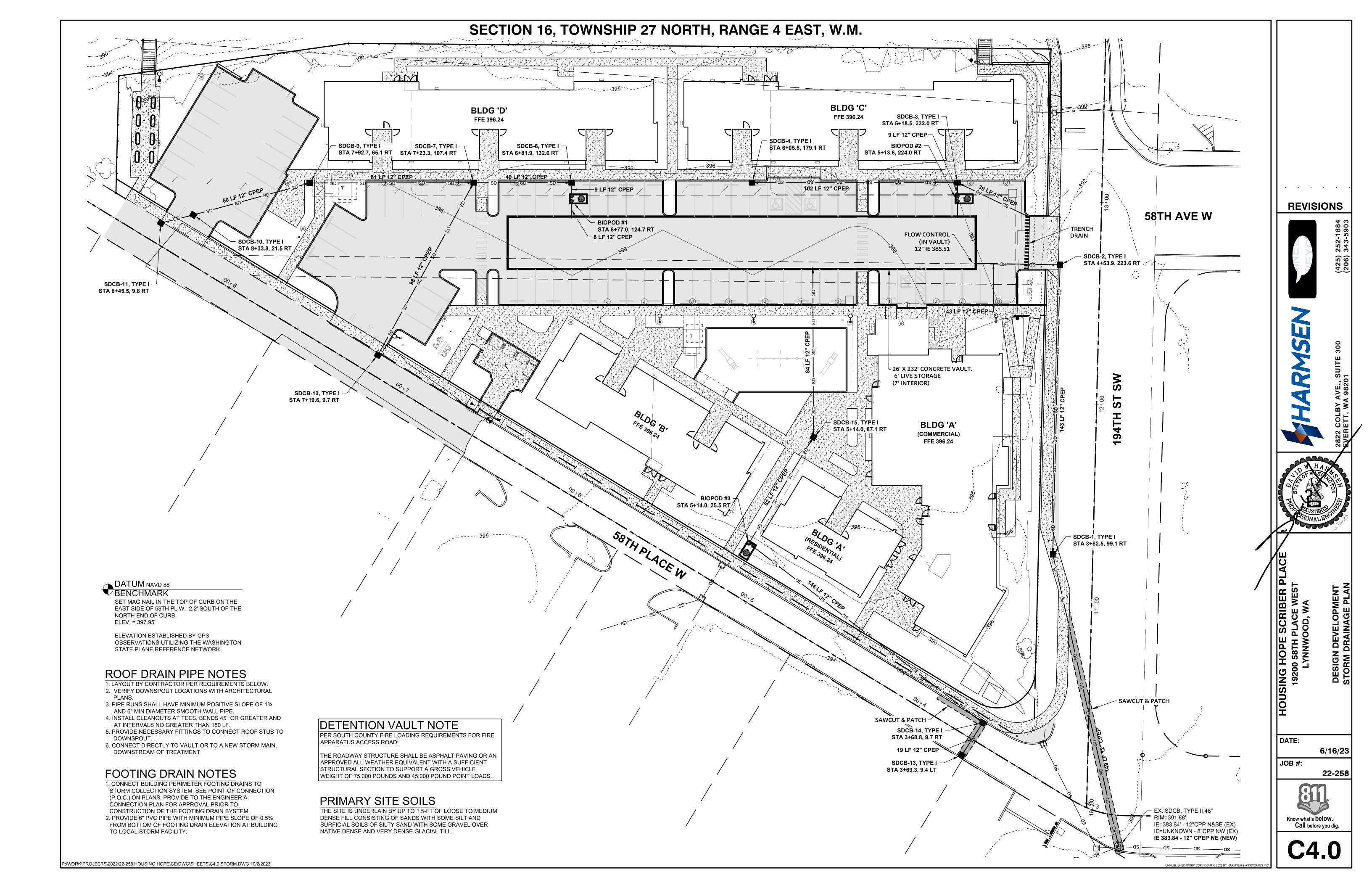
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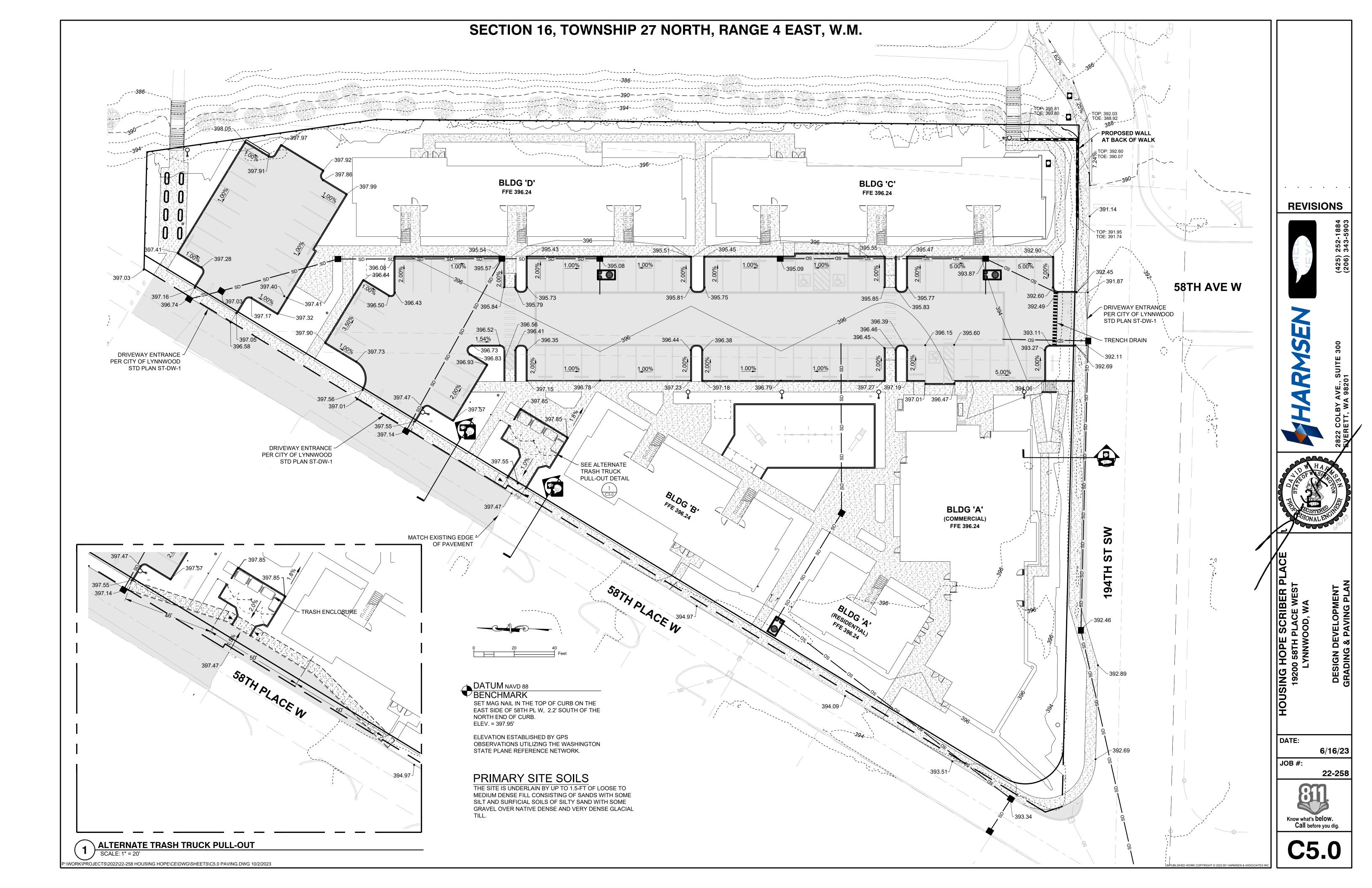
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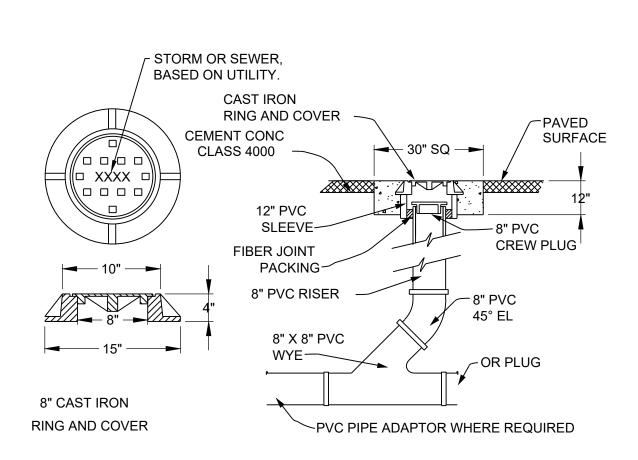








SECTION 16, TOWNSHIP 27 NORTH, RANGE 4 EAST, W.M.



- ADAPTER OR GASKET TO TRANSITION DOWNSPOUT TO 6" PVC 45° BEND PVC COLLECTOR -- FOOTING DRAIN 45° BEND -

DOWNSPOUT CONNECTION

DATUM NAVD 88
BENCHMARK

SET MAG NAIL IN THE TOP OF CURB ON THE EAST SIDE OF 58TH PL W, 2.2' SOUTH OF THE NORTH END OF CURB. ELEV. = 397.95'

ELEVATION ESTABLISHED BY GPS OBSERVATIONS UTILIZING THE WASHINGTON STATE PLANE REFERENCE NETWORK.

PRIMARY SITE SOILS

THE SITE IS UNDERLAIN BY UP TO 1.5-FT OF LOOSE TO MEDIUM DENSE FILL CONSISTING OF SANDS WITH SOME SILT AND SURFICIAL SOILS OF SILTY SAND WITH SOME GRAVEL OVER NATIVE DENSE AND VERY DENSE GLACIAL

CLEANOUT DETAIL

ACCESS RISER GENERAL DESIGN, FOR ALL ACCESS. 6" MIN .

✓ OVERFLOW ELEV 391.51 4" ELBOW IE 391.04 WITH SHOP DRILLED 0.95"Ø ORIFICE 4" ELBOW IE 390.31 WITH SHOP DRILLED 0.87"Ø ORIFICE 12" RISER DETENTION 12" OUTLET PIPE IE 385.51 PIPE SUPPORT ELEV. 383.51 RESTRICTOR PLATE 2' MIN WITH SHOP DRILLED 0.47"Ø ORIFICE 4' X 4' SUMP 1

─ 3" MINIMUM COMPACTED DEPTH HMA - 6" MINIMUM COMPACTED DEPTH CSBC, COMPACT TO 95% OF ASTM D-1557 COMPACT SUBGRADE TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557. PLACE STRUCTURAL FILL IF REQUIRED

~ *4" MINIMUM DEPTH CONCRETE (3,000 PSI) - 4" MINIMUM COMPACTED DEPTH, CSBC, COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY SUBGRADE, COMPACTED TO 95% MODIFIED PROCTOR DENSITY *6" MINIMUM DEPTH CONCRETE AT DUMPSTER PADS

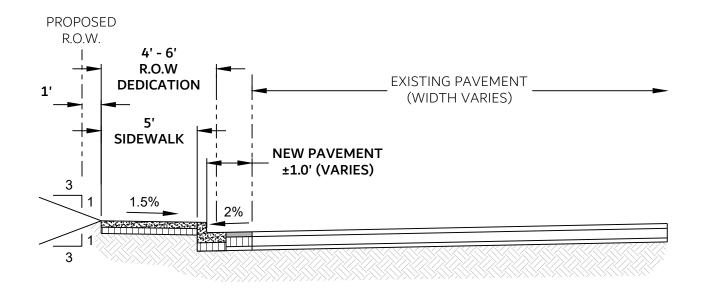
ASPHALT PAVING SECTION

CONCRETE WALKWAY SECTION

R.O.W. EXISTING PAVEMENT (WIDTH VARIES) SIDEWALK **NEW PAVEMENT** ±1.0' (VARIES)

194TH STREET SW IMPROVEMENT SECTION

↑ FLOW CONTROL (IN VAULT)



58TH PLACE W IMPROVEMENT SECTION (SOUTH)

PROPOSED 4' - 6' R.O.W DEDICATION SIDEWALK - 20' NEW PAVEMENT -1.5%

58TH PLACE W IMPROVEMENT SECTION (NORTH)

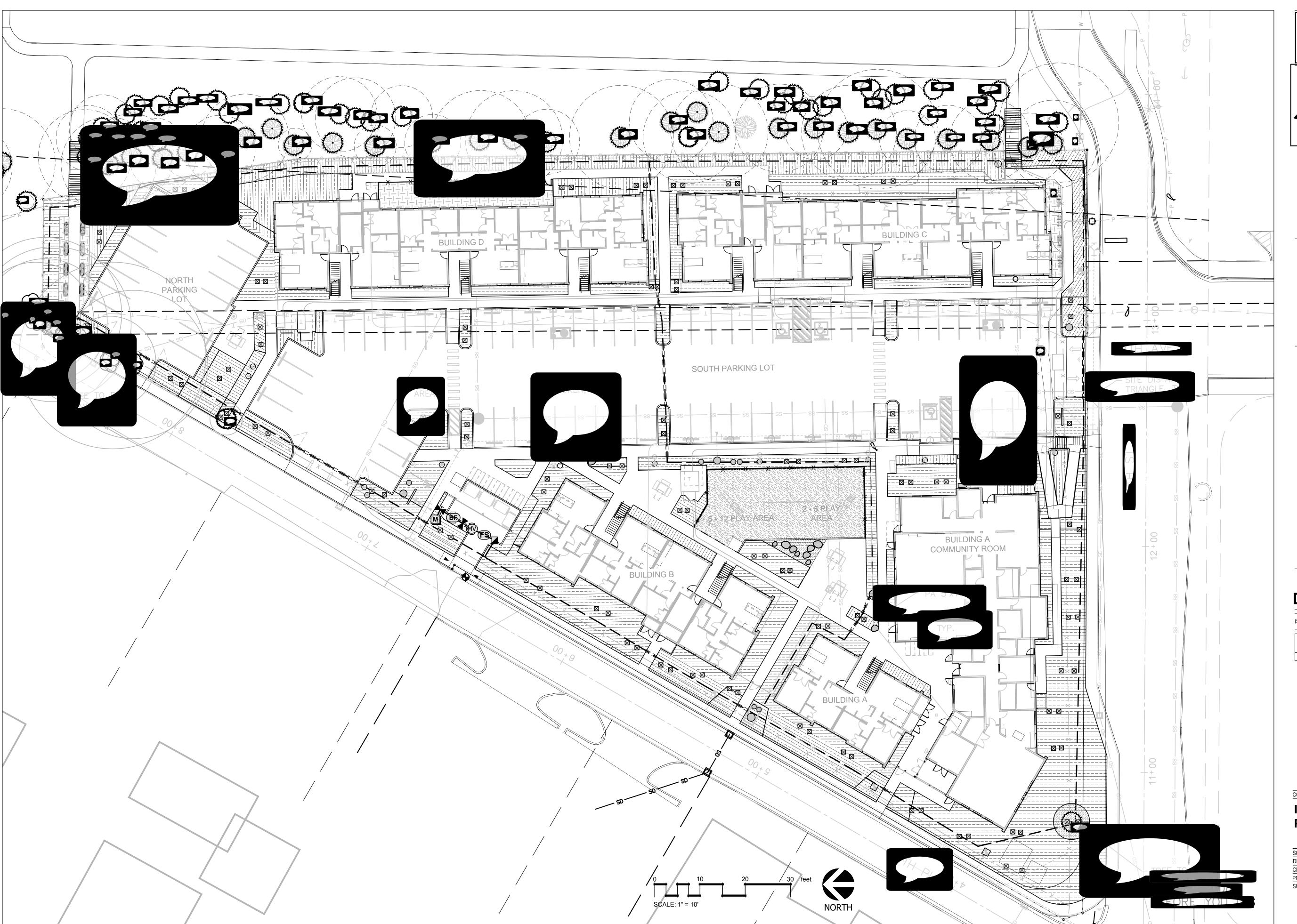
P:\WORK\PROJECTS\2022\22-258 HOUSING HOPE\CE\DWG\SHEETS\C5.0 PAVING.DWG 10/2/2023

REVISIONS

DATE: 6/16/23 JOB #:

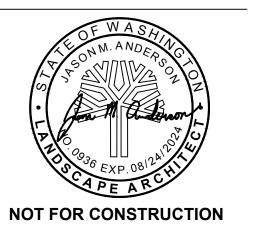
22-258











USING HOPE

DESIGN DEVELOPMENT

ISSUE DATE: JULY 14, 2023

REVISION SCHEDULE								
#	Date	Description						

CONTENTS:

IRRIGATION PLAN

SCALE: 1/8" = 1'-0"

DRAWN: LZ

CHECKED: JA

PROJECT NO: 2023004.00

SHEET:

L2.0

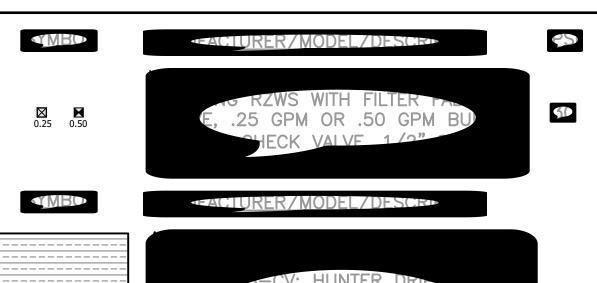
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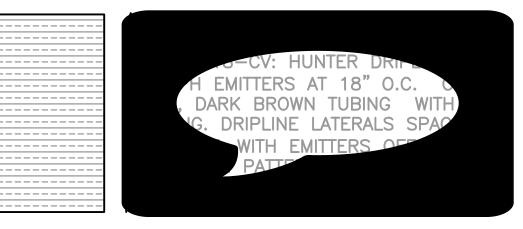
- 1. PROVIDE & INSTALL ALL IRRIGATION IN CONFORMANCE WITH THE CITY OF LYNNWOOD STANDARDS & DETAILS. IN THE EVENT OF CONFLICT BETWEEN SPECIFICATIONS, NOTES, OR DETAILS & CITY OF EDMONDS STANDARDS & DETAILS, THE STANDARDS & DETAILS SHALL TAKE PRECEDENCE.
- 2. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND APPROPRIATE SAFETY REGULATIONS.
- 3. IRRIGATION DRAWINGS ARE SCHEMATIC. ACTUAL LOCATIONS MAY VARY DUE TO UTILITIES OR EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- 4. ALL IRRIGATION EQUIPMENT SHALL BE LOCATED WITHIN PROJECT PROPERTY LINES & WITHIN LANDSCAPE BEDS (EXCEPT RIGHT OF WAY IRRIGATION, SEE PLANS). ITEMS SHOWN OFF PROPERTY OR IN HARDSCAPE ARE FOR CLARITY ONLY.
- 5. WATER PRESSURE AT DOMESTIC WATER STUB OUT IS ANTICIPATED TO BE 50 PSI. PRIOR TO INSTALLATION OF IRRIGATION SYSTEM, CONTRACTOR SHALL FIELD VERIFY EXISTING P.S.I. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE DESIGN P.S.I. PRIOR TO PROCEEDING W/ WORK.
- 6. SYSTEM DESIGNED TO 30 P.S.I. AT BUBBLER HEADS & 30 P.S.I. AT DRIP EMITTERS. SEE IRRIGATION SCHEDULE FOR HEAD DESIGN PRESSURES.
- 7. LOCATE QUICK COUPLING VALVE & AUTOMATIC CONTROL VALVES AT POINT OF EASY ACCESS. OWNER'S REPRESENTATIVE TO REVIEW & APPROVE FINAL LOCATION OF ALL QUICK COUPLERS & AUTOMATIC CONTROL VALVES PRIOR TO INSTALLATION.
- 8. HEAD LOCATION MUST BE ADJUSTED IN THE FIELD TO COMPLY W/ EXISTING SITE CONDITIONS AND PLANT MATERIALS. ADJUST SPRAY PATTERN FOR MAXIMUM COVERAGE.
- 9. ALL IRRIGATION SLEEVING TO BE STAKED IN THE FIELD & LOCATED ON DIMENSIONED "AS-BUILT" DRAWING TO ALLOW FUTURE LOCATION & USE.
- 11. ALL IRRIGATION SLEEVES SHALL BE TWICE THE DIAMETER OF THE INSERT PIPE(S). SLEEVES SHALL NOT EXCEED 6" DIAMETER.
- 12. PVC MAINLINE LOCATIONS ARE SCHEMATIC. NO BENDING OF MAINLINE PIPE.
- 13. NO VALVE MANIFOLDS. GROUP VALVES TOGETHER W/ TEES 3' APART.
- 14. VALVE BOXES SHALL BE LEVEL & OPEN SAME DIRECTION.
- 15. AIR BLOW IRRIGATION SYSTEM THROUGH QUICK COUPLERS TO WINTERIZE IRRIGATION SYSTEM.
- 16. PIPES TO SHARE TRENCHES WHERE POSSIBLE. SEPARATE COMMON PIPING BY 6" MIN.
- 17. WHERE PIPE SIZES ARE NOT SHOWN ON THE PLAN, PIPE SHALL BE SIZED TO THE NEXT LARGEST PIPE SIZE SHOWN UPSTREAM ON THE PLAN.
- 18. LETTERS ON PIPING SHALL BE ROTATED TO FACE UP.
- 19. GENERAL CONTRACTOR TO PROVIDE AND INSTALL ALL CONDUIT TO CONTROLLER LOCATIONS & POINTS OF CONNECTION.
- 20. GENERAL CONTRACTOR TO PROVIDE POWER SOURCE FOR IRRIGATION CONTROLLER. (VERIFY LOCATION W/ OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK)
- 21. IRRIGATION CONTROLLER REQUIRES WI—FI INTERNET CONNECTION. GENERAL CONTRACTOR TO ENSURE CONNECTION IS PROVIDED.
- 22. IRRIGATION INSTALL FLOW SENSOR PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 23. WORK SHALL MEET THE REQUIREMENTS OF EVERGREEN SUSTAINABLE DESIGN STANDARD V4.0, 3.03 OPTION 1.
- 24. ALL IRRIGATION WORK, PARTS, & APPURTENANCES SHALL BE PHOSPHORUS—FREE.

IRRIGATION WATER BUDGET

TO BE DETERMINED

IRRIGATION SCHEDULE





MBD

FACTURER/MODEL/DESCRIPTION

OF LER VALVE, YELLOW

NG COVER, RED BRASS AND

TSS STEEL, WITH 1" NPT IN

JOY

4" BRASS GATE VALVE, FULL
WEDGE, IPS, WHEEL

GURATION, WITH NPT THREADS

BF SUXLI I-1/Z

FS

OR FLOW AND PROVIDE SYST
ALSO FUNCTIONS AS STA

SLEEVE: PVC SCHEDULE

Valve Callout

Valve Number

Valve Flow

Valve Size







HOUSING HOPE SCRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: JULY 14, 2023

REVISION SCHEDULE

Date Description

IRRIGATION
SCHEDULE &
NOTES

CONTENTS:

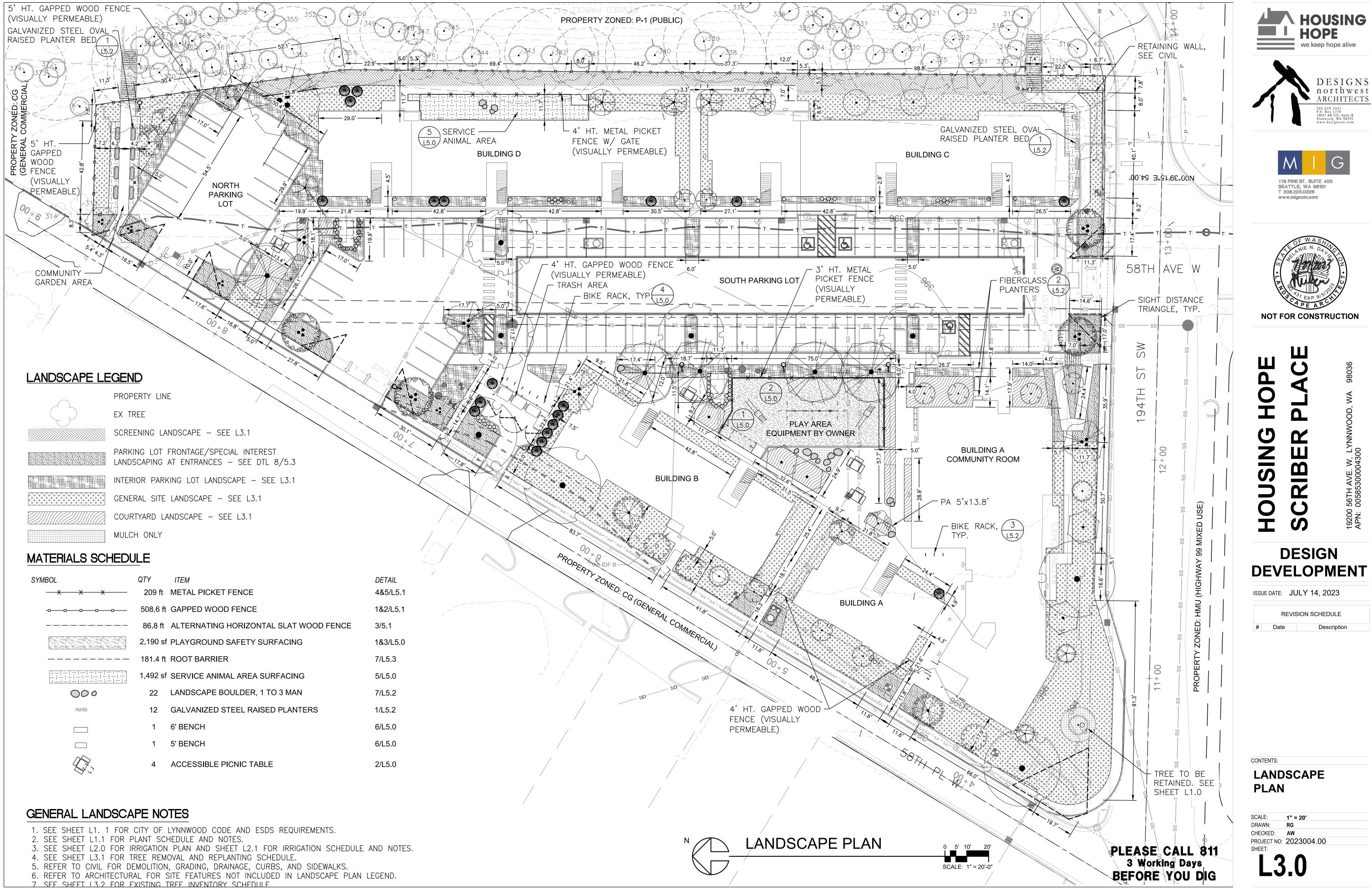
SCALE: 1/8" = 1'-0"

DRAWN: LZ

CHECKED: JA

PROJECT NO: 2023004.00

L2.1



PLANT TREE SCHEDULE **BOTANICAL / COMMON NAME TREES** SIZE/SPACING NATIVE/ADAPTIVE **EVRGRN/DEC** Acer circinatum / Vine Maple 8 - 10` Ht. Deciduous Native Multi-stem 2 - 2 1/2" Cal./ Spacing as shown Amelanchier alnifolia / Serviceberry Tolerant Deciduous Betula albosinensis septentrionalis / Chinese Red Birch 2 - 2 1/2" Cal./ Spacing as shown Adaptive Deciduous Tolerant Calocedrus decurrens / Incense Cedar 10 - 12` Ht./Spacing as shown Adaptive Tolerant Evergreen Carpinus caroliniana / American Hornbeam 2 - 2 1/2" Cal./ Spacing as shown Deciduous •• Cercis occidentalis / Western Redbud 2 - 2 1/2" Cal./ Spacing as shown Adaptive Deciduous Tolerant Chamaecyparis obtusa 'Gracilis' / Slender Hinoki False Cypress 8 - 10` Ht. 19 Adaptive Tolerant Evergreen Cornus x 'Eddie's White Wonder' / Eddie's White Wonder Dogwood 2 - 2 1/2" Cal./ Spacing as shown Deciduous Tolerant Multi-stem 5 Crataegus x lavallei / Lavalle Hawthorn 2 - 2 1/2" Cal./ Spacing as shown Adaptive Deciduous Tolerant 0 Cupressus arizonica / Arizona Cypress 10 - 12` Ht./Spacing as shown Adaptive Evergreen Tolerant Gleditsia triacanthos / Honey Locust 2 - 2 1/2" Cal./ Spacing as shown Adaptive Deciduous Tolerant ()10`-12` ht Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper Adaptive Tolerant Evergreen Malus x 'Adirondack' / Adirondack Crabapple 2 - 2 1/2" Cal./ Spacing as shown Adaptive Deciduous Tolerant Parrotia persica / Persian Parrotia 2 - 2 1/2" Cal./ Spacing as shown Deciduous Adaptive Tolerant Pinus contorta contorta / Shore Pine 10 - 12` Ht./Spacing as shown 2 Native Evergreen Tolerant Quercus muehlenbergii / Chinkapin Oak 2 - 2 1/2" Cal./ Spacing as shown Deciduous Tolerant Quercus velutina / Black Oak 2 - 2 1/2" Cal./ Spacing as shown Adaptive Deciduous Tolerant Sophora japonica 'Regent' / Japanese Pagoda Tree 2 - 2 1/2" Cal./ Spacing as shown Adaptive Deciduous 2 - 2 1/2" Cal./ Spacing as shown Adaptive Zelkova serrata 'Green Vase' / Green Vase Japanese Zelkova Deciduous Tolerant

PLANTING NOTES

- 1. SOIL PREPARATION REQUIRED FOR ALL PLANTING BEDS.
- 2. SEE SHEET L5.2 / DETAIL X FOR SOIL PREPARATION.
- 3. SEE PLANTING DETAILS, SHEET L5.2.

	CHEDULE ROTANICAL / COMMON NAME	OTV	QIZE TVDF	
	BOTANICAL / COMMON NAME	QTY	SIZE., TYPE	% IN MIX & SPACING
	SCREENING Morella californica / California Wax Myrtle	3,004 sf 9	5 gal., Evergreen	10% @ 72" oc
73	Symphoricarpos albus / Common White Snowberry	10	2 gal., Deciduous	5% @ 48" oc
	Mahonia repens / Creeping Mahonia	40	2 gal., Evergreen	5% @ 24" oc
	Arctostaphylos uva-ursi / Kinnikinnick	70	1 Gal., Evergreen	5% @ 18" oc
	Mahonia aquifolium / Oregon Grape	18 20	2 gal., Evergreen	5% @ 36" oc
	Hibiscus syriacus 'Gandini Santiago' / Purple Pillar® Rose of Sharon Ribes sanguineum / Red Flowering Currant	20 7	2 gal., Deciduous 2 gal., Deciduous	10% @ 48" oc 5% @ 60" oc
	Cornus sericea / Red Twig Dogwood	7	2 gal., Deciduous	5% @ 60" oc
	Gaultheria shallon / Salal	35	2 gal., Evergreen	10% @ 36" oc
	Cotinus coggygria / Smoke Tree	3	5 gal., Deciduous	5% @ 96" oc
	Rubus parviflorus / Thimbleberry	7	2 gal., Deciduous	5% @ 60" oc
	Osmanthus heterophyllus 'Variegatus' / Variegated Holly Olive Polystichum munitum / Western Sword Fern	9 35	5 gal., Evergreen 2 gal., Evergreen	10% @ 72" oc 10% @ 36" oc
	Mahonia x media 'Winter Sun' / Winter Sun Mahonia	20	5 gal., Evergreen	10% @ 48" oc
	PARKING LOT FRONTAGE	3,030 sf		
	Hemerocallis x 'Chicago Sunrise' / Chicago Sunrise Daylily	70	1 Gal., Deciduous	5% @ 18" oc
al a	Achillea millefolium / Common Yarrow	70	1 Gal., Deciduous	5% @ 18" oc
	Mahonia repens / Creeping Mahonia	119	2 gal., Evergreen	15% @ 24" oc
	Allium x 'Globemaster' / Globemaster Ornamental Onion	70	1 Gal., Deciduous	5% @ 18" oc
	Arctostaphylos uva-ursi / Kinnikinnick Crocosmia x `Lucifer` / Lucifer Crocosmia	210 40	1 Gal., Evergreen 1 Gal., Deciduous	15% @ 18" oc 5% @ 24" oc
	Prunus laurocerasus 'Mount Vernon' / Mount Vernon English Laurel	53	3 Gal., Evergreen	15% @ 36" oc
	Phormium tenax Shiraz / New Zealand Flax	51	2 gal., Evergreen	10% @ 30" oc
	Iris tenax / Oregon Iris	158	1 Gal., Deciduous	5% @ 12" oc
	Euonymus fortunei / Wintercreeper	40	1 Gal., Evergreen	20% @ 48" oc
#	INTERIOR PARKING LOT	4,611 sf		
블	Waldsteinia fragarioides / Barren Strawberry	719	4" Pot, Evergreen	15% @ 12" oc
	Hemerocallis x 'Chicago Sunrise' / Chicago Sunrise Daylily	213	1 Gal., Deciduous	10% @ 18" oc
	Mahonia repens / Creeping Mahonia	240	2 gal., Evergreen	20% @ 24" oc
	Cotoneaster x suecicus 'Emerald Beauty' / Emerald Beauty Cotoneaster Allium x 'Globemaster' / Globemaster Ornamental Onion	180 213	1 Gal., Evergreen 1 Gal., Deciduous	15% @ 24" oc 10% @ 18" oc
	Arctostaphylos uva-ursi / Kinnikinnick	213	1 Gal., Evergreen	10% @ 18" oc
	Geranium x 'Rozanne' / Rozanne Cranesbill	120	1 Gal., Deciduous	10% @ 24" oc
	Phormium x 'Shiraz' / Shiraz New Zealand Flax	77	2 gal., Evergreen	10% @ 30" oc
+ + + + + + + + + + + + + + + + + + + +	GENERAL SITE	14,027 sf		
+ + +	Epimedium x versicolor / Barrenwort	324	1 Gal., Evergreen	5% @ 18" oc
<u>+</u>	Morella californica / California Wax Myrtle	59	5 gal., Evergreen	10% @ 60" oc
	Vitex agnus-castus / Chaste Tree	30	2 gal., Deciduous	5% @ 60" oc
	Liriope spicata / Creeping Lilyturf	729 365	1 Gal., Evergreen	5% @ 12" oc 10% @ 24" oc
	Sarcococca ruscifolia / Fragrant Sweetbox Hamamelis x intermedia 'Jelena' / Jelena Witch Hazel	21	2 gal., Evergreen 5 gal., Deciduous	5% @ 72" oc
	Cornus sericea 'Kelseyi' / Kelsey's Dwarf Red Twig Dogwood	183	1 Gal., Deciduous	5% @ 24" oc
	Arctostaphylos uva-ursi / Kinnikinnick	324	1 Gal., Evergreen	5% @ 18" oc
	Hydrangea quercifolia 'Pee Wee' / Pee Wee Oakleaf Hydrangea	81	2 gal., Deciduous	5% @ 36" oc
	Cephalotaxus harringtonia 'Prostrata' / Prostrate Plum Yew	162	5 gal., Evergreen	10% @ 36" oc
	Hibiscus syriacus 'Gandini Santiago' / Purple Pillar® Rose of Sharon Gaultheria shallon / Salal	46 81	2 gal., Deciduous	5% @ 48" oc 5% @ 36" oc
	Armeria maritima / Sea Thrift	2,916	2 gal., Evergreen 1 Gal., Deciduous	5% @ 6" oc
	Cotinus coggygria / Smoke Tree	12	5 gal., Deciduous	5% @ 96" oc
	Mahonia eurybracteata 'Soft Caress' / Soft Caress Mahonia	117	2 gal., Evergreen	5% @ 30" oc
	Physocarpus opulifolius `Seward` / Summer Wine® Ninebark	23	2 gal., Deciduous	2.5% @ 48" oc
	Philadelphus lewisii / Wild Mockorange	11	5 gal., Deciduous	2.5% @ 72" oc
_	Mahonia x media 'Winter Sun' / Winter Sun Mahonia	46	5 gal., Evergreen	5% @ 48" oc
	COURTYARD	2,382 sf		
77	Epimedium x versicolor / Barrenwort	56	1 Gal., Evergreen	5% @ 18" oc
	Rudbeckia hirta / Black-eyed Susan Achillea millefolium / Common Yarrow	28 56	1 Gal., Deciduous	2.5% @ 18" oc
	Liriope spicata / Creeping Lilyturf	83	1 Gal., Deciduous 1 Gal., Evergreen	5% @ 18" oc 7.5% @ 18" oc
	Osmanthus delavayi / Delavayi Osmanthus	7	5 gal., Evergreen	10% @ 72" oc
	Allium x 'Globemaster' / Globemaster Ornamental Onion	140	1 Gal., Deciduous	2.5% @ 8" oc
	Crocosmia x `Lucifer` / Lucifer Crocosmia	16	1 Gal., Deciduous	2.5% @ 24" oc
	Symphyotrichum oblongifolium 'October Skies' / October Skies Fall Aster	28	1 Gal., Deciduous	2.5% @ 18" oc
	Mahonia nervosa / Oregon Grape	166 62	1 Gal., Evergreen	15% @ 18" oc
	Iris tenax / Oregon Iris Rosa x 'Meibenbino' / Petite Knock Out® Rose	62 56	1 Gal., Deciduous 2 gal., Deciduous	2.5% @ 12" oc 5% @ 18" oc
	Cephalotaxus harringtonia 'Prostrata' / Prostrate Plum Yew	42	5 gal., Evergreen	15% @ 36" oc
	Sarcococca hookeriana humilis / Trailing Sweetbox	93	1 Gal., Evergreen	15% @ 24" oc
	Polystichum munitum / Western Sword Fern	28	2 gal., Evergreen	10% @ 36" oc
	MULCH ONLY	600 sf		
	-			
	RAISED PLANTER	12 sf		
3	Achillea millefolium / Common Yarrow	1	1 Gal., Deciduous	15% @ 18" oc
<u>".</u>]	Heuchera micrantha / Crevice Alumroot	2	1 Gal., Deciduous	15% @ 12" oc
	Iberis sempervirens / Evergreen Candytuft	2	4" Pot, Deciduous	15% @ 12" oc
	Juniperus chinensis 'Blue Point' Spiral / Spiral Blue Point Juniper	1	5 gal., Evergreen	40% @ 36" oc
	Euonymus fortunei / Wintercreeper	1	1 Gal., Evergreen	15% @ 36" oc

PLEASE CALL 811 3 Working Days **BEFORE YOU DIG**









HOPE **Q** RIBER

DESIGN DEVELOPMENT

ISSUE DATE: JULY 14, 2023

REVISION SCHEDULE Description

CONTENTS:

PLANT SCHEDULE

SCALE: NTS
DRAWN: RG CHECKED: AW PROJECT NO: 2023004.00

LYNNWOOD MUNICIPAL

COMPLIANCE WITH LMC 21.08 LANDSCAPE REQUIREMENTS

CODE REFERENCE	SITE AREA	QUANTITY	QUANTITY REQUIRED	MINIMUM QUANTITY PROVIDED	COMMENTS
	SOUTH PARKING LOT				
	SURFACE PARKING STALL COUNT	66 STALLS			
LMC 21.08.350	PARKING LOT FRONTAGE	101.5 LF	7 SMALL TREES, 1,015 SF PLANTING AREA, 83 SHRUBS	2 SMALL TREES, 4 MEDIUM TREES, 1,015 SF PLANTING AREA, 83 SHRUBS	LF X 10' W OF FRONTAGE 2 SMALL TREES PER 15 LF, OR 2 MED TREES PER 22 LF, 2 SHRUBS PER 20SF
LMC 21.08.350.C TABLE 21.08.04	PARKING LOT INTERIOR LANDSCAPING		2,508 SF	2,508 SF	38 SF PLANTING AREA REQUIRED PER SPACE
LMC 21.08.350C.4 TABLE 21.08.06	TREES FOR PARKING LOT INTERIOR LANDSCAPING		22 SMALL TREES (MIN. 50% SUBSTITUTED FOR MEDIUM OR LARGE TREES)	11 SMALL TREES, 7 LARGE TREES (SUBSTITUTED FOR 14 SMALL TREES)	REFERENCE TREE SUBSTITUTI TABLE LMC 21.08.300 C.2 TAB 21.08.01

	NORTH PARKING LOT				
	SURFACE PARKING STALL COUNT	16 STALLS			
			2 SMALL TREES,	2 SMALL TREES,	LF X 10' W OF FRONTAGE
LMC 21.08.350	PARKING LOT FRONTAGE	34 LF	340 SF PLANTING AREA,	340 SF PLANTING AREA,	2 TREES PER 15 LF,
			17 SHRUBS	17 SHRUBS	2 SHRUBS PER 20SF
LMC 21.08.350.C TABLE	PARKING LOT INTERIOR LANDSCAPING		448 SF	448 SF	28 SF PLANTING AREA
21.08.04	PARKING LOT INTERIOR LANDSCAPING		448 3F	448 3F	REQUIRED PER SPACE
LA 40 24 02 2500 4 TARLE			C CAAALL TREES (AMAL FOO) SURSTITUTED	3 SMALL TREES,	REFERENCE TREE SUBSTITUTION
LMC 21.08.350C.4 TABLE	TREES FOR PARKING LOT INTERIOR LANDSCAPING		6 SMALL TREES (MIN. 50% SUBSTITUTED	2 LARGE TREES (SUBSTITUTED FOR 4	TABLE LMC 21.08.300 C.2 TABLE
21.08.06			FOR MEDIUM OR LARGE TREES)	SMALL TREES)	21.08.01

	ENTIRE SITE				
LMC 21.08.300.D.3	NON-LIVING GROUNDCOVER	27,666 SF AREA	MAX. 830 SF NON-LIVING GROUNDCOVER	600 SF NON-LIVING GROUNDCOVER	3% MAX ALLOWED
LMC 21.08.400, TABLE 21.08.08	LANDSCAPE BUFFERS		NOT REQUIRED	N/A	SITE ZONING DESIGNATION: MULTIPLE FAMILY RESIDENTIAL HIGH (RMH). ABUTTING ZONING DESIGNATIONS: GENERAL COMMERCIAL (GC), HIGHWAY 99 MIXED USE (HMU), P-1 (PUBLIC).

ESDS REQUIREMENTS

3.3b NATIVE/ADAPTIVE PLANTS REQUIRED: 90% PROVIDED: 90% 3.4 EFFICIENT IRRIGATION

REQUIRED: DRIP AND/OR BUBBLER IRRIGATION SYSTEM PROVIDED: SEE SHEET L2.0



ROW TREE OFFSET REQUIREMENTS

THE FOLLOWING CLEARANCES SHALL BE PROVIDED:

ELEMENT	MIN.
STREET TREE SPACING	25' 0.0
UNDERGROUND UTILITIES	5'
UNDERGROUND UTILITY LINES	8'
IF ROOT BARRIER PROVIDED	5'
UNDERGROUND UTILITY LINES	8'
IF ROOT BARRIER PROVIDED	5'
POWER POLES	10'
DRIVEWAY EDGES	7.5'
STREET LIGHTS	25'
EXISTING TREES	25'
CURB OR TRAVEL LANE STREET INTERSECTIONS W/ NO CURB	30'
ROADWAY EDGE W/ NO CURB	10'
MARKED OR UNMARKED CROSSWALKS	20'

* NO TREES SHALL BE PLANTED WITHIN THE SIGHT TRIANGLES SHOWN ON PLAN

PERMIT REQUIREMENT NOTES

- 1. LMC 21.08.300(A)(1) COMPACTED SOIL. DURING SITE PREPARATION SOIL MUST BE LOOSENED OR UNCOMPACTED IN LANDSCAPE AREAS WHERE NECESSARY DUE TO COMPACTION. SOIL MUST BE UNCOMPACTED, AT MINIMUM, DOWN TO 24 INCHES BELOW SURFACE GRADE IN ANY LANDSCAPE BUFFER, STREET FRONTAGE, OR PARKING LOT LANDSCAPING AREAS. DEPTH OF SOIL THAT IS LOOSENED OR UNCOMPACTED MAY BE LESS IF RECOMMENDED BY THE QUALIFIED LANDSCAPE PROFESSIONAL. WHERE NECESSARY SOIL AMENDMENTS MAY BE ADDED FROM A VERIFIED SOURCE.
- 2. LMC 21.08.300(A)(2) ROOT BARRIERS. TREES PLANTED WITHIN 10 FEET OF A PUBLIC STREET, SIDEWALK, PAVED TRAIL, OR WALKWAY MUST BE A DEEP-ROOTED SPECIES AND MUST BE SEPARATED FROM HARDSCAPES BY A ROOT BARRIER TO PREVENT PHYSICAL DAMAGE TO PUBLIC IMPROVEMENTS.
- 3. LMC 21.08.300(B)(1)(A) PROHIBITED PLANTS. PLANTS LISTED BY THE WASHINGTON STATE NOXIOUS WEED CONTROL BOARD IN THEIR NOXIOUS WEED LIST OR SUBSEQUENT DOCUMENT, OR COMMONLY KNOWN AS INVASIVE SPECIES, ARE PROHIBITED FROM BEING PLANTED IN THE CITY.
- 4. LMC 21.08.300(C)(1)(C) DECIDUOUS AND EVERGREEN TREES MUST BE A MINIMUM OF EIGHT FEET IN HEIGHT AND HAVE A CALIPER SIZE OF AT LEAST TWO INCHES AT TIME OF PLANTING.
- 5. LMC 21.08.300(C)(1)(D) TREES MUST BE PLANTED SO THAT, WHEN THEY REACH MATURITY, THERE WILL BE A MINIMUM OF 10 FEET OF CLEARANCE ON-CENTER BETWEEN TREES.
- 6. LMC 21.08.300(C)(1)(E) TREE SELECTION WITHIN ALL LANDSCAPE AREAS, INCLUDING STREET TREES, MUST COMPLY WITH SNOHOMISH PUD UTILITY REQUIREMENTS, OTHER EXISTING UTILITIES (STORMWATER, WATER, AND WASTEWATER CONVEYANCE SYSTEMS), LIGHTING, EXISTING AND PROPOSED SIGNAGE, ADJACENT TREES, EXISTING NATURAL FEATURES, TREE ROOT GROWTH, SOLAR ACCESS, PLANTING AREA WIDTH, AND OVERALL HEIGHT OF SELECTED TREES AT MATURITY.
- 7. LMC 21.08.300(C)(1)(G) TREE BRANCHES MUST BE TRIMMED TO PROVIDE A MINIMUM OF SIX FEET OF CLEARANCE MEASURED FROM THE GROUND TO THE BRANCH TO PREVENT SIGHT AND PEDESTRIAN OBSTRUCTIONS. TREE BRANCHES MUST BE TRIMMED TO PROVIDE EIGHT FEET OF CLEARANCE WHEN OVERHANGING VEHICULAR USE AREAS.

TREE REMOVAL AND REPLANTING SCHEDULE:

EXISTING TREES REMAINING FOR LANDSCAPE CREDIT PER LMC 21.08.300(H): 1

EXISTING TREE INVENTORY SCHEDULE

PSEUDOTSUGA MENZIESII 17.8

ARBUTUS MENZIESII 16.7

350 PSEUDOTSUGA MENZIESII 9.6

11.7 OFF-SITE TO REMAIN EXCELLENT/GOOD

21.7 OFF-SITE TO REMAIN POOR/FAIR

16.4 OFF-SITE TO REMAIN GOOD/GOOD

		., _, , ,									
TREE ;	# TYPE/	DBH SIZE	CROWN DIA.	PROPOSED	CONDITION	TREE#	TYPE/	DBH SIZE	CROWN DIA.	PROPOSED	CONDITION
	SPECIES	(INCHES)*	(FEET)	TREE STATUS	(HEALTH/STRUCTURE)	"	SPECIES	(INCHES)*	(FEET)	TREE STATUS	(HEALTH/STRUCTURE)
311	ARBUTUS MENZIESII	70.0	38.9	TO REMAIN	GOOD/GOOD	351	PSEUDOTSUGA MENZIES	SII 7.4	10.3	OFF-SITE TO REMAIN	GOOD/GOOD
312	BETULA PENDULA	8.8	22.4	TO BE REMOVED	GOOD/GOOD	352	PSEUDOTSUGA MENZIES	SII 13.6	13.6	OFF-SITE TO REMAIN	GOOD/GOOD
313	BETULA PENDULA	8.0	24.3	TO BE REMOVED	GOOD/GOOD	353	PSEUDOTSUGA MENZIES	SII 19.3	17.8	OFF-SITE TO REMAIN	GOOD/GOOD
314	BETULA PENDULA	9.0	16.4	TO BE REMOVED	GOOD/GOOD	354	PSEUDOTSUGA MENZIES	SII 10.5	15.4	OFF-SITE TO REMAIN	GOOD/GOOD
315	PSEUDOTSUGA MENZ	ZIESII 19.6	19.8	OFF-SITE TO REMAIN	EXCELLENT/EXCELLENT	355	PSEUDOTSUGA MENZIES	SII 9.5	14.4	OFF-SITE TO REMAIN	GOOD/GOOD
316	PSEUDOTSUGA MENZ	ZIESII 26.4	21.1	OFF-SITE TO REMAIN	EXCELLENT/EXCELLENT	356	TSUGA HETEOPHYLLA	10.0	13.4	OFF-SITE TO REMAIN	EXCELLENT/GOOD
317	PSEUDOTSUGA MENZ	ZIESII 17.4	16.7	OFF-SITE TO REMAIN	EXCELLENT/GOOD	357	PSEUDOTSUGA MENZIES	SII 13.6	11.6	OFF-SITE TO REMAIN	GOOD/GOOD
318	PSEUDOTSUGA MENZ	ZIESII 23.2	18.0	OFF-SITE TO REMAIN	GOOD/GOOD	358	PSEUDOTSUGA MENZIES	SII 11.5	16.5	OFF-SITE TO REMAIN	GOOD/FAIR
319	PSEUDOTSUGA MENZ	ZIESII 17.2	17.7	OFF-SITE TO REMAIN	EXCELLENT/GOOD	359	PSEUDOTSUGA MENZIES	SII 13.0	10.5	OFF-SITE TO REMAIN	GOOD/GOOD
320	PSEUDOTSUGA MENZ	ZIESII 18.0	15.8	OFF-SITE TO REMAIN	GOOD/GOOD	360	PINUS MONTICOLA	17.2	14.7	OFF-SITE TO REMAIN	EXCELLENT/EXCELLENT
321	PSEUDOTSUGA MENZ	ZIESII 15.0	15.6	OFF-SITE TO REMAIN	GOOD/GOOD	361	PSEUDOTSUGA MENZIES	SII 8.2	10.3	OFF-SITE TO REMAIN	GOOD/GOOD
322	PSEUDOTSUGA MENZ	ZIESII 17.2	16.7	OFF-SITE TO REMAIN	GOOD/GOOD	362	PSEUDOTSUGA MENZIES	SII 11.5	12.5	OFF-SITE TO REMAIN	GOOD/GOOD
323	PSEUDOTSUGA MENZ	ZIESII 19.5	22.8	OFF-SITE TO REMAIN	GOOD/GOOD	363	PINUS MONTICOLA	14.5	14.1	OFF-SITE TO REMAIN	GOOD/GOOD
324	PSEUDOTSUGA MENZ	ZIESII 14.9	17.6	OFF-SITE TO REMAIN	GOOD/GOOD	364	PSEUDOTSUGA MENZIES	SII 8.7	10.4	OFF-SITE TO REMAIN	GOOD/GOOD
325	ARBUTUS MENZIESII	12.4	30.5	OFF-SITE TO REMAIN	GOOD/FAIR	365	PINUS MONTICOLA	13.8	12.6	OFF-SITE TO REMAIN	GOOD/GOOD
326	PSEUDOTSUGA MENZ	ZIESII 10.5	12.4	OFF-SITE TO REMAIN	GOOD/FAIR	366	PSEUDOTSUGA MENZIES	SII 21.0	18.9	OFF-SITE TO REMAIN	EXCELLENT/GOOD
327	PSEUDOTSUGA MENZ	ZIESII 26.5	15.1	OFF-SITE TO REMAIN	GOOD/FAIR	367	PSEUDOTSUGA MENZIES	SII 15.5	14.6	OFF-SITE TO REMAIN	FAIR/GOOD
328	PSEUDOTSUGA MENZ	ZIESII 14.0	12.6	OFF-SITE TO REMAIN	GOOD/GOOD	368	PSEUDOTSUGA MENZIES	SII 15.5	6.6	OFF-SITE TO REMAIN	GOOD/GOOD
329	PSEUDOTSUGA MENZ	ZIESII 21.0	14.9	OFF-SITE TO REMAIN	GOOD/GOOD	369	TSUGA HETEOPHYLLA	11.4	14.5	OFF-SITE TO REMAIN	GOOD/GOOD
330	PINUS MONTICOLA	14.0	18.6	OFF-SITE TO REMAIN	GOOD/GOOD	370	PSEUDOTSUGA MENZIES	SII 23.7	21.0	OFF-SITE TO REMAIN	GOOD/GOOD
331	PSEUDOTSUGA MENZ	ZIESII 13.0	9.5	OFF-SITE TO REMAIN	GOOD/GOOD	371	PINUS MONTICOLA	13.7	20.6	OFF-SITE TO REMAIN	FAIR/GOOD
332	PSEUDOTSUGA MENZ	ZIESII 15.8	16.7	OFF-SITE TO REMAIN	GOOD/GOOD	372	PINUS MONTICOLA	19.1	23.8	OFF-SITE TO REMAIN	GOOD/GOOD
333	PSEUDOTSUGA MENZ	ZIESII 17.4	15.7	OFF-SITE TO REMAIN	EXCELLENT/GOOD	373	PINUS MONTICOLA	16.6	15.7	OFF-SITE TO REMAIN	FAIR/GOOD
334	PSEUDOTSUGA MENZ	ZIESII 19.5	17.8	OFF-SITE TO REMAIN	GOOD/GOOD	374	PSEUDOTSUGA MENZIES	SII 27.8	19.2	OFF-SITE TO REMAIN	EXCELLENT/EXCELLENT
335	PSEUDOTSUGA MENZ	ZIESII 11.0	11.5	OFF-SITE TO REMAIN	GOOD/GOOD	Α	ARBUTUS MENZIESII	3.7	7.2	TO BE REMOVED	GOOD/GOOD
336	PSEUDOTSUGA MENZ	ZIESII 22.2	22.9	OFF-SITE TO REMAIN	GOOD/GOOD	В	POPULUS TRICHOCARPA	18.0	32.8	TO BE REMOVED	GOOD/FAIR
337	PSEUDOTSUGA MENZ	ZIESII 19.8	22.8	OFF-SITE TO REMAIN	GOOD/GOOD	С	POPULUS TRICHOCARPA	32.0	41.3	TO BE REMOVED	GOOD/FAIR
338	PSEUDOTSUGA MENZ	ZIESII 20.5	20.9	OFF-SITE TO REMAIN	GOOD/GOOD	D	POPULUS TRICHOCARPA	10.0	20.4	TO BE REMOVED	GOOD/GOOD
339	PSEUDOTSUGA MENZ	ZIESII 18.6	17.8	OFF-SITE TO REMAIN	GOOD/GOOD	Ε	POPULUS TRICHOCARPA	10.0	10.4	TO BE REMOVED	GOOD/GOOD
340	PSEUDOTSUGA MENZ	ZIESII 23.0	19.0	OFF-SITE TO REMAIN	EXCELLENT/GOOD	F	POPULUS TRICHOCARPA	30.0	34.3	TO BE REMOVED	GOOD/GOOD
341	PSEUDOTSUGA MENZ	ZIESII 14.4	12.6	OFF-SITE TO REMAIN	EXCELLENT/EXCELLENT	G	ALNUS RUBRA	10.0	27.4	TO BE REMOVED	GOOD/GOOD
342	PSEUDOTSUGA MENZ	ZIESII 21.5	14.9	OFF-SITE TO REMAIN	EXCELLENT/EXCELLENT	Н	POPULUS TRICHOCARPA	18.0	33.8	TO BE REMOVED	GOOD/GOOD
343	PSEUDOTSUGA MENZ	ZIESII 22.0	14.9	OFF-SITE TO REMAIN	EXCELLENT/EXCELLENT	1	POPULUS TRICHOCARPA	18.0	25.8	TO BE REMOVED	GOOD/GOOD
344	PSEUDOTSUGA MENZ	ZIESII 12.4	16.5	OFF-SITE TO REMAIN	GOOD/GOOD	J	SALIX SP.	15.6	15.6	OFF-SITE TO REMAIN	GOOD/GOOD
345	PSEUDOTSUGA MENZ	ZIESII 13.7	16.6	OFF-SITE TO REMAIN	EXCELLENT/EXCELLENT	K	ARBUTUS MENZIESII	3.3	3.1	OFF-SITE TO REMAIN	EXCELLENT/GOOD
346	PSEUDOTSUGA MENZ	ZIESII 9.3	11.4	OFF-SITE TO REMAIN	GOOD/GOOD						
347	TSUGA HETEROPHYLI	LA 12.5	15.5	OFF-SITE TO REMAIN	EXCELLENT/GOOD						
					•	* DIVI	METED OD THICKNESS OF	TOEE TOLINIZ	MEXCLIDED AT	L EUID YND	

* DIAMETER OR THICKNESS OF TREE TRUNK MEASURED AT FOUR AND ONE-HALF FEET FROM THE GROUND. DBH IS ALSO KNOWN AS "DIAMETER AT STANDARD HEIGHT (DSH)." SEE TESC PLAN FOR

PLEASE CALL 811 3 Working Days **BEFORE YOU DIG**









DESIGN DEVELOPMENT

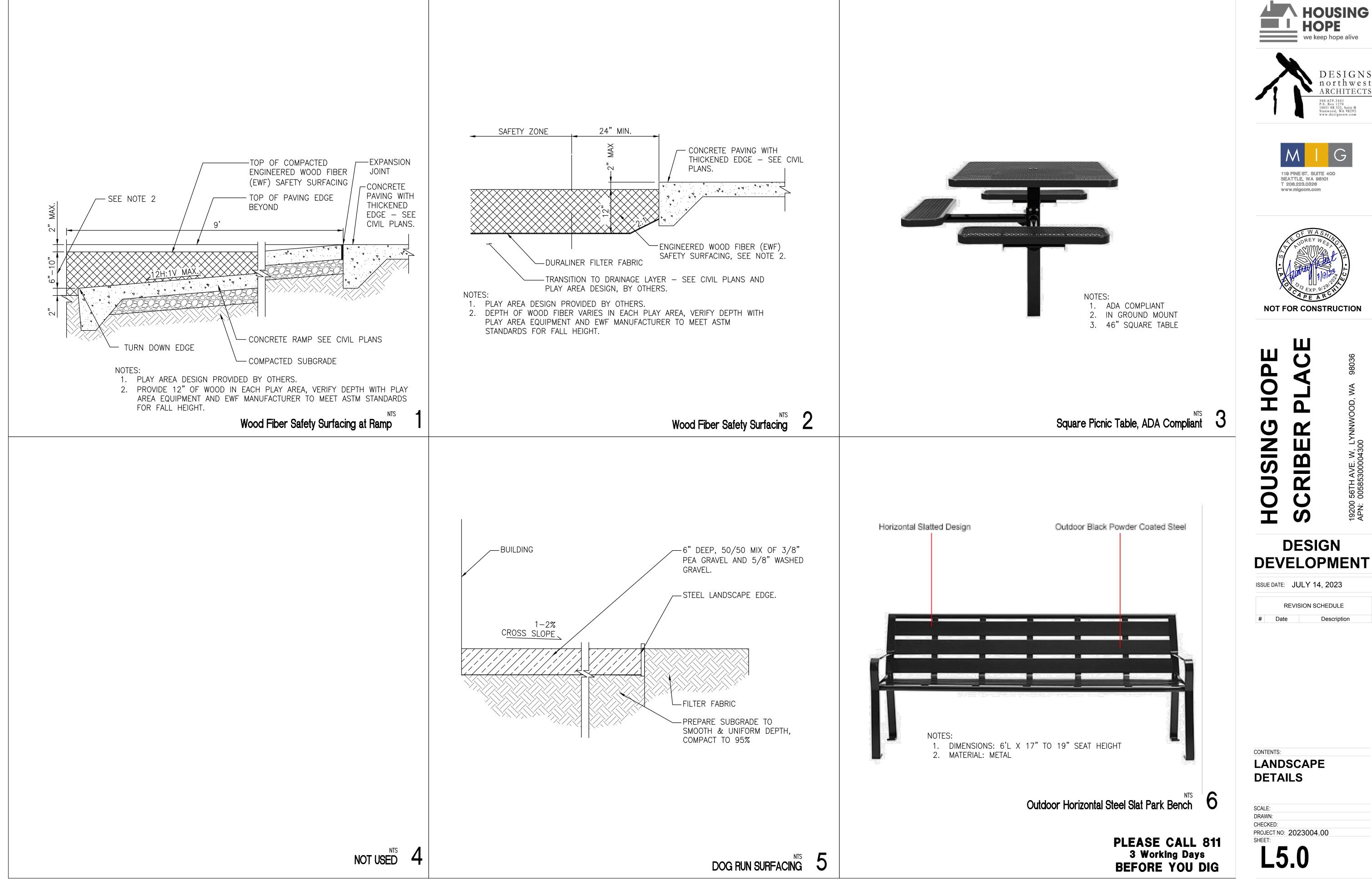
ISSUE DATE: **JULY 14, 2023**

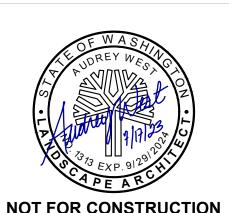
REVISION SCHEDULE # Date Description

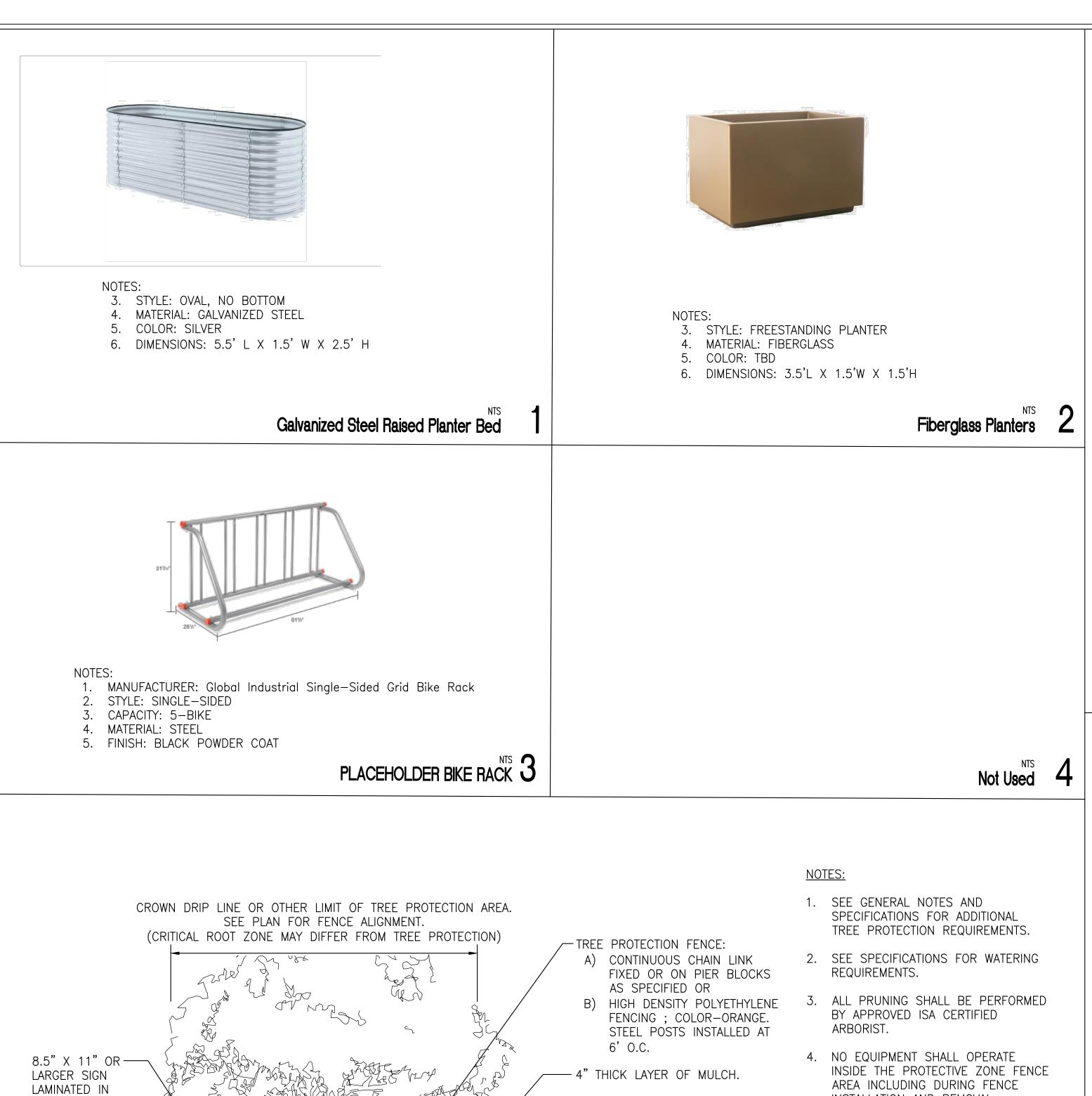
CONTENTS:

LANDSCAPE **NOTES**

SCALE: NTS DRAWN: RG CHECKED: AW PROJECT NO: 2023004.00







— JUTE NETTING TO MARK EXISTING

- MAINTAIN EXISTING GRADE WITH

THE TREE PROTECTION FENCE

UNLESS OTHERWISE INDICATED ON

OUTSIDE OF THE CROWN DRIPLINE OF THE TREE CONTRACTOR CAN

OPEN TRENCH UNLESS OTHERWISE

GRADE, IF SPECIFIED.

THE PLANS.

SPECIFIED.

PLASTIC SPACED

THE FENCE.

EXISTING-

PAVEMENT

AS SPECIFIED

EVERY 25' ALONG

KEEP OUT

PROTECTION 3

AREA

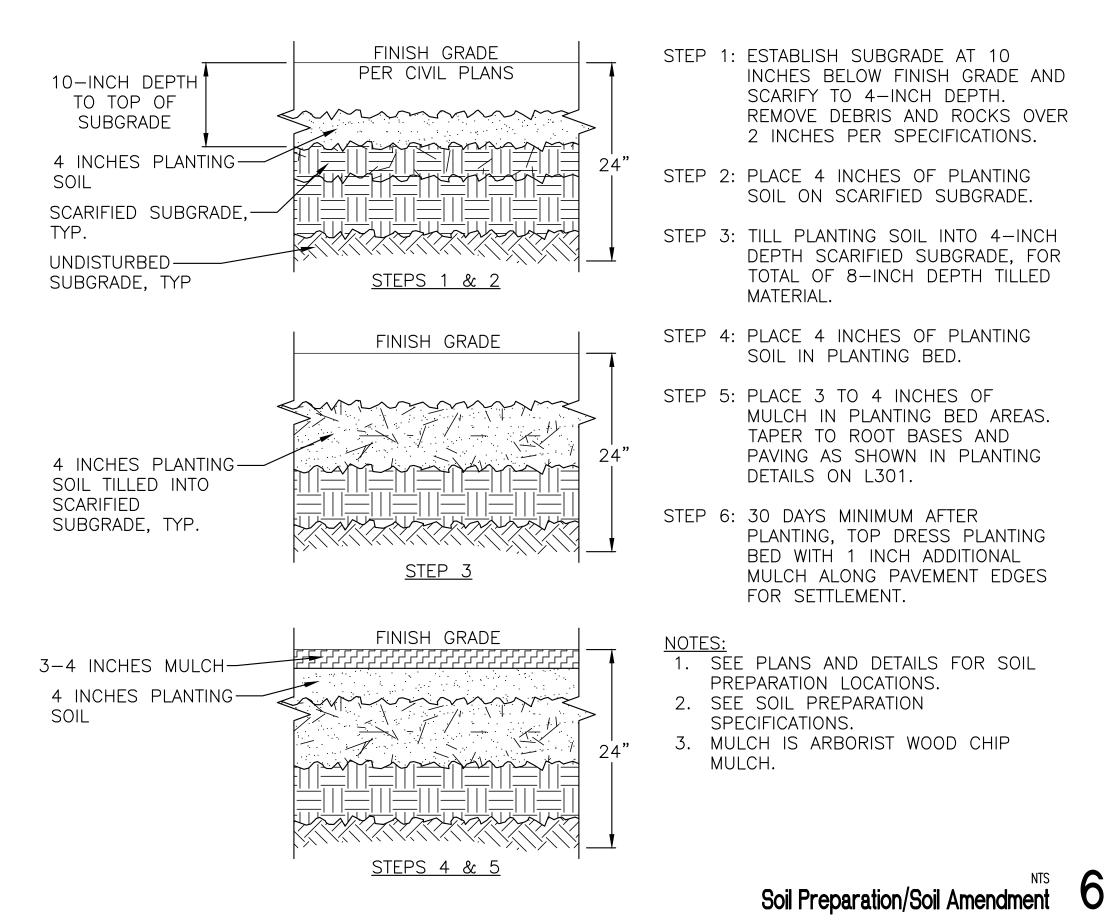
IF SPECIFIED, CONTRACTOR TO BORE UNDER

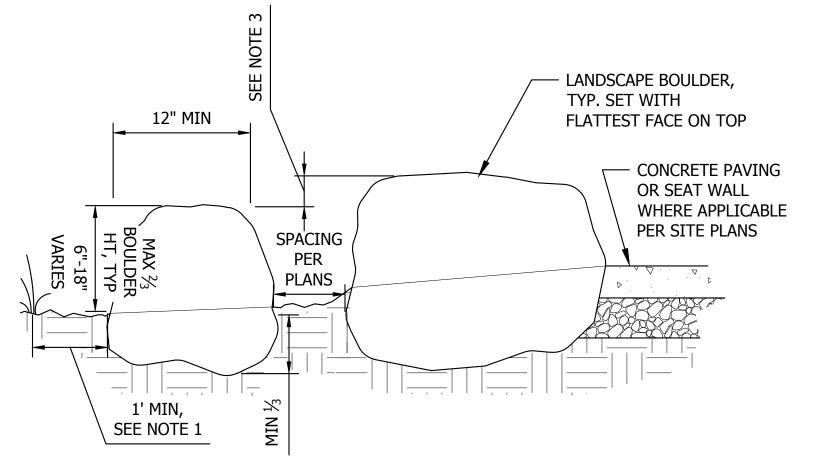
THE CROWN DRIPLINE OF THE TREE.

TREE

- INSTALLATION AND REMOVAL.
- 5. EQUIPMENT, TEMPORARY BUILDINGS, OR STORAGE SHALL NOT OCCUR WITHIN 10' OF TREE PROTECTION FENCE OR WITHIN SPECIFIED CRITICAL ROOT ZONE.
- 6. SEE SITE AND CIVIL PLANS FOR ANY MODIFICATIONS WITHIN THE TREE PROTECTION AREA.
- 7. DSH* DIAMETER OF TRUNK AT STANDARD HEIGHT.

Tree Protection 5





NOTES:

- 1. COMPACT ALL BACKFILL TO 95% COMPACTION BETWEEN AND BELOW/AROUND EMBEDDED PORTION OF BOULDERS, FOLLOWED BY PLANTING SOIL PREP PER PLANS AND SPECIFICATIONS.
- 2. LAYOUT PER PLANS AND SPECIFICATIONS.
- 3. MAX. 8" DIFFERENCE IN HEIGHT OF ADJACENT BOULDERS WHEN SPACE BETWEEN IS 18" OR LESS.
- 4. BOULDER SIZES AS NOTED ON SITE PLANS.

Landscape Boulder

PLEASE CALL 811 3 Working Days

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9 RB

DESIGN DEVELOPMENT

ISSUE DATE: JULY 14, 2023

REVISION SCHEDULE Description

CONTENTS: LANDSCAPE **DETAILS**

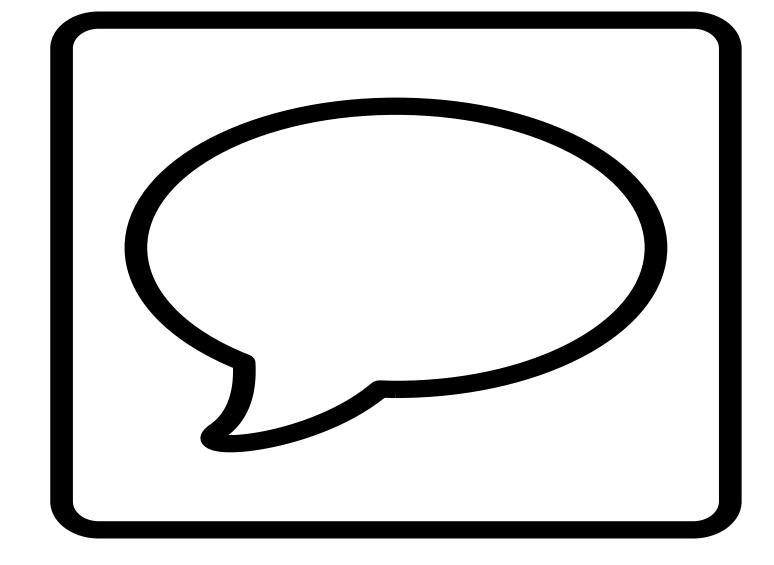
SCALE: DRAWN: CHECKED: PROJECT NO: 2023004.00



- 1. MATERIAL: CEDAR
 2. HEIGHT: 4' OR 5' HT, PER LANDSCAPE PLAN
 3. VISUALLY PERMEABLE

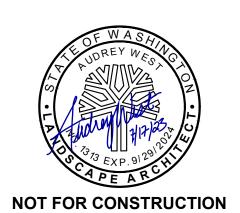


NOTES:
1. MATERIAL: CEDAR
2. HEIGHT: 4'
3. VISUALLY PERMEABLE









RIBER

DESIGN DEVELOPMENT

ISSUE DATE: JULY 14, 2023

REVISION SCHEDULE Description

Gapped Horizontal Wood Gate 2



- 1. MATERIAL: STEEL
 2. FINISH: BLACK POWDER COAT

3. HEIGHT: 3' OR 4', PER LANDSCAPE PLAN



- 1. MATERIAL: STEEL
- 2. FINISH: BLACK POWDER COAT
 3. HEIGHT: 4'

Metal Picket Fence 4

Gapped Horizontal Slat Wood Fence

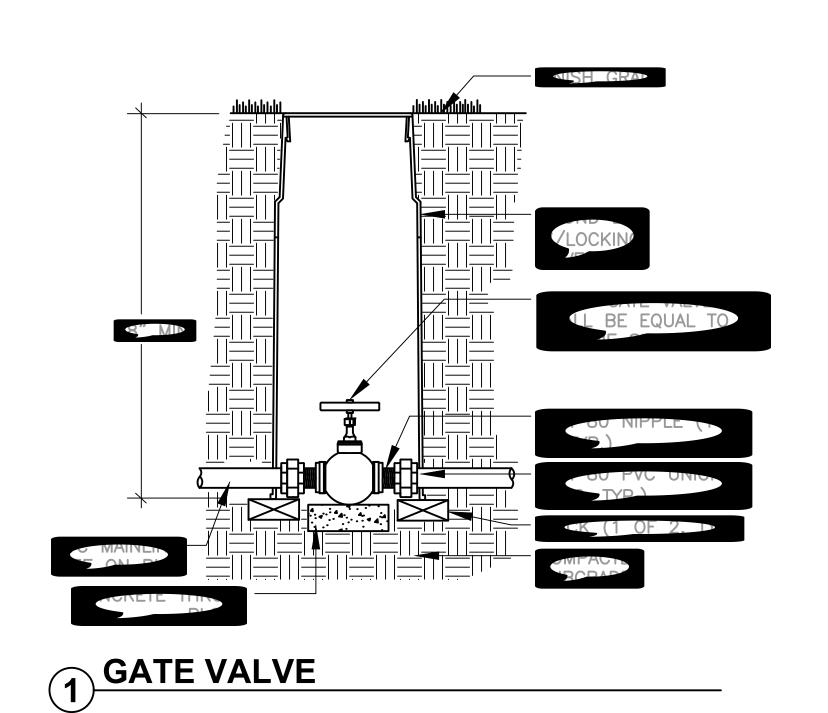
Metal Picket Fence Gate 5

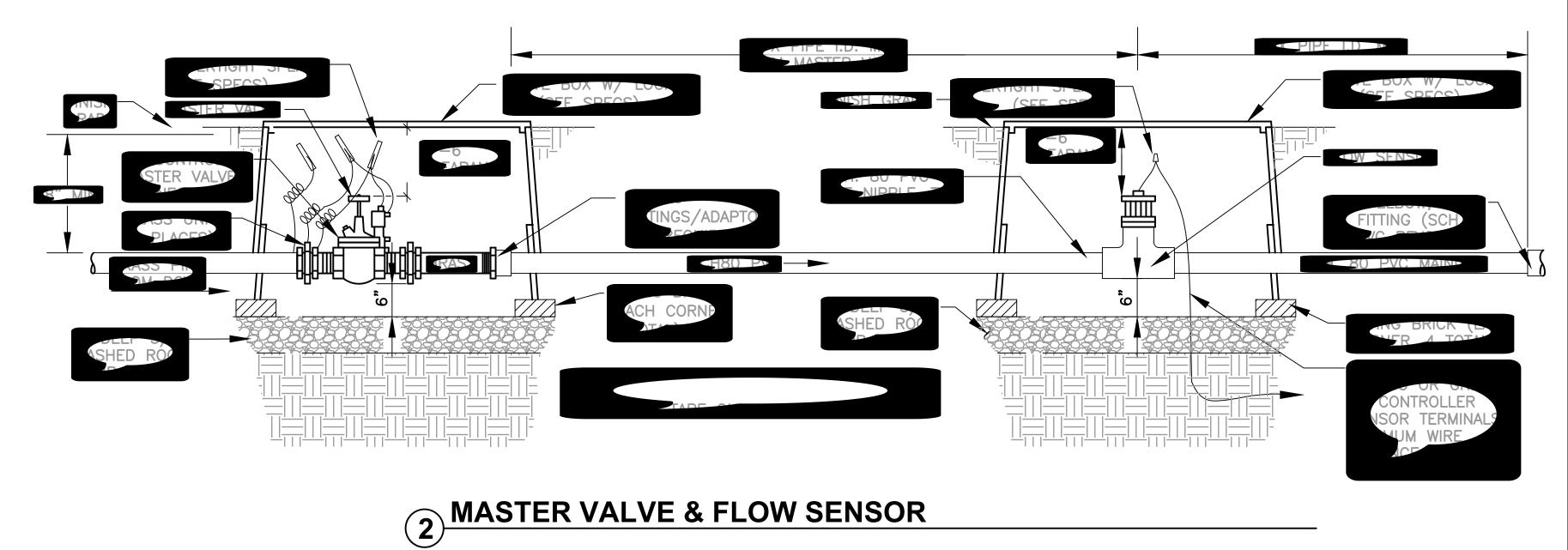
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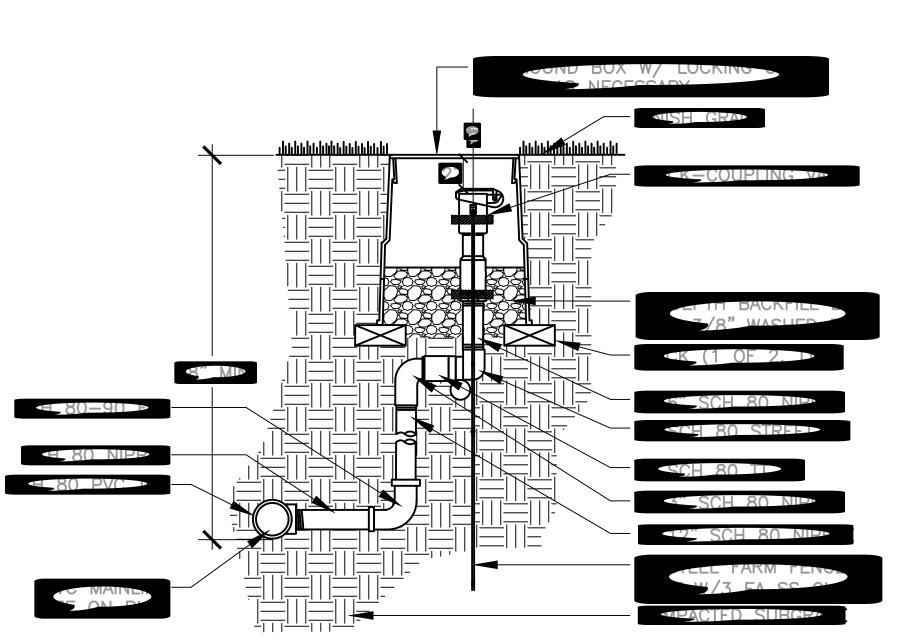
LANDSCAPE DETAILS

CHECKED:
PROJECT NO: 2023004.00

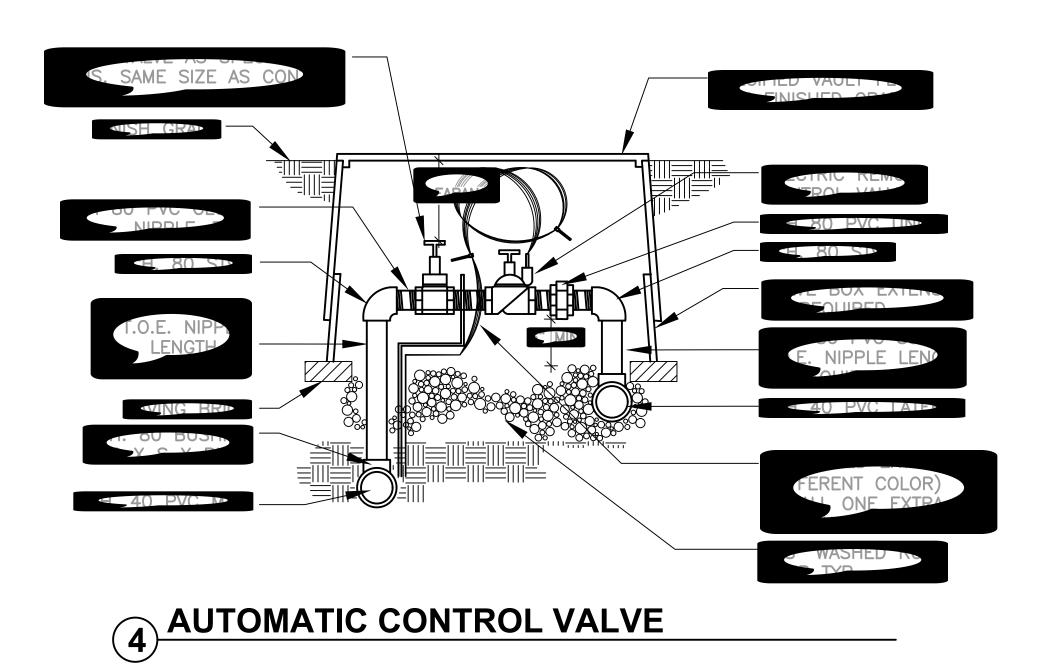
PLEASE CALL 811 3 Working Days **BEFORE YOU DIG**

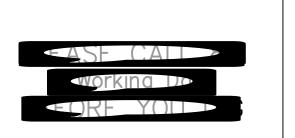


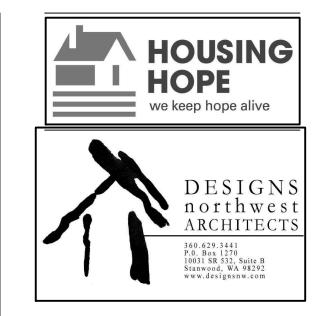
















HOUSING HOPE SCRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: JULY 14, 2023

	REVIS	SION SCHEDULE
#	Date	Description

IRRIGATION DETAILS

SCALE: 1/8" = 1'-0"

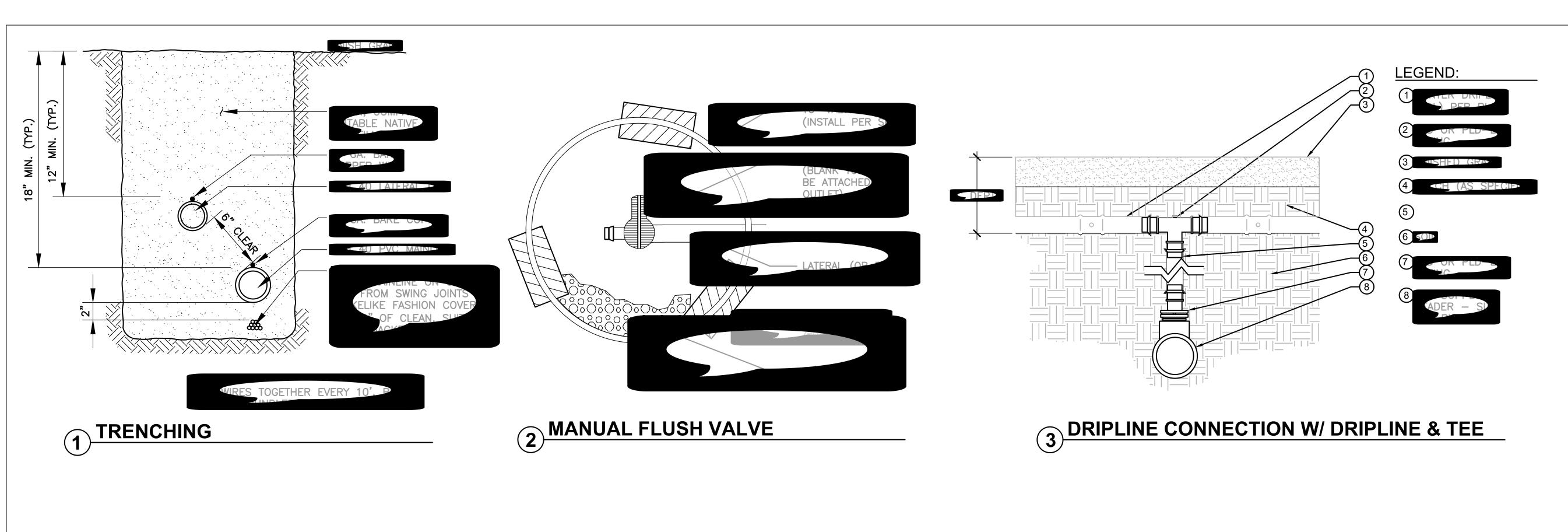
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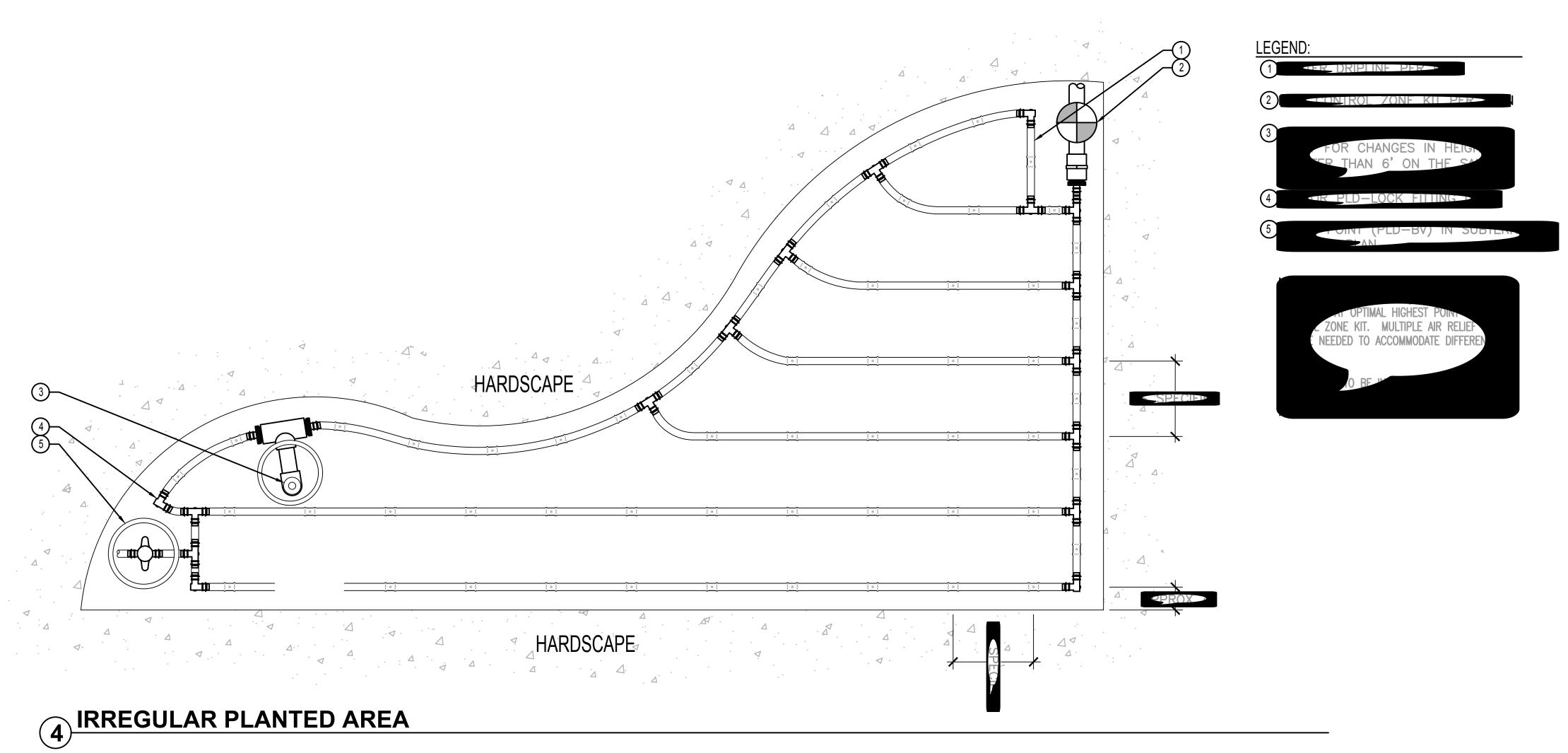
CHECKED: JA

PROJECT NO: 2023004.00

SHEET:

L5.3











HOUSING HOPE SCRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: JULY 14, 2023

	REVIS	SION SCHEDULE
#	Date	Description

IRRIGATION DETAILS

SCALE: 1/8" = 1'-0"

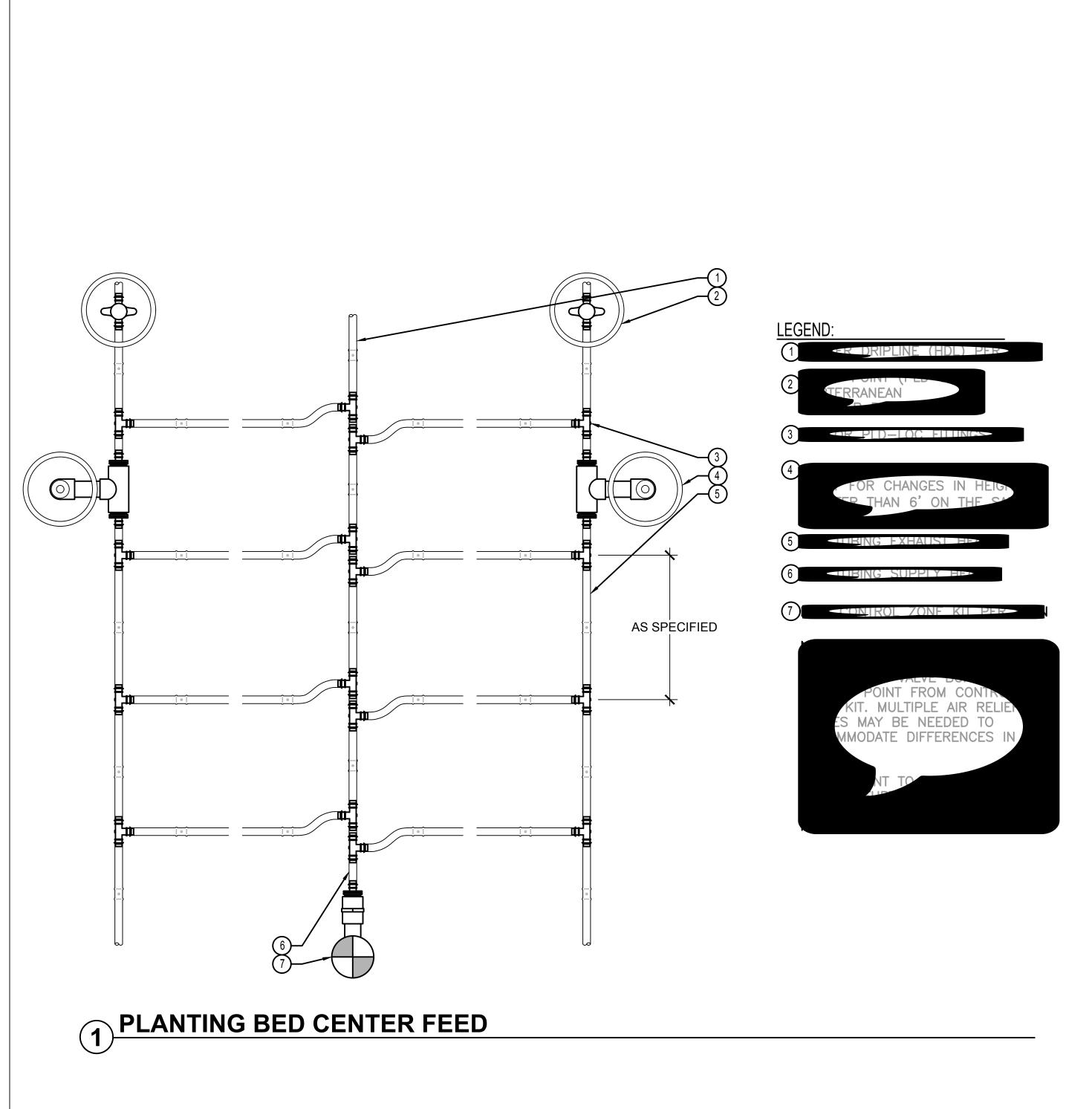
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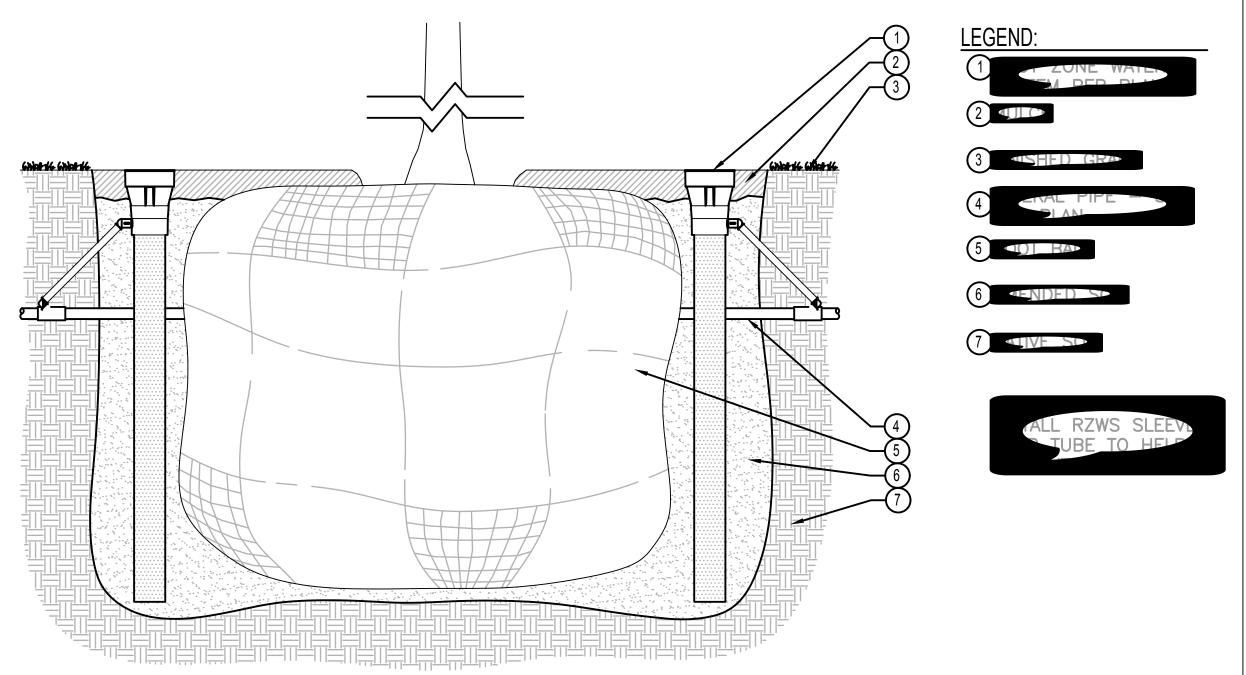
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PROJECT NO: 2023004.00

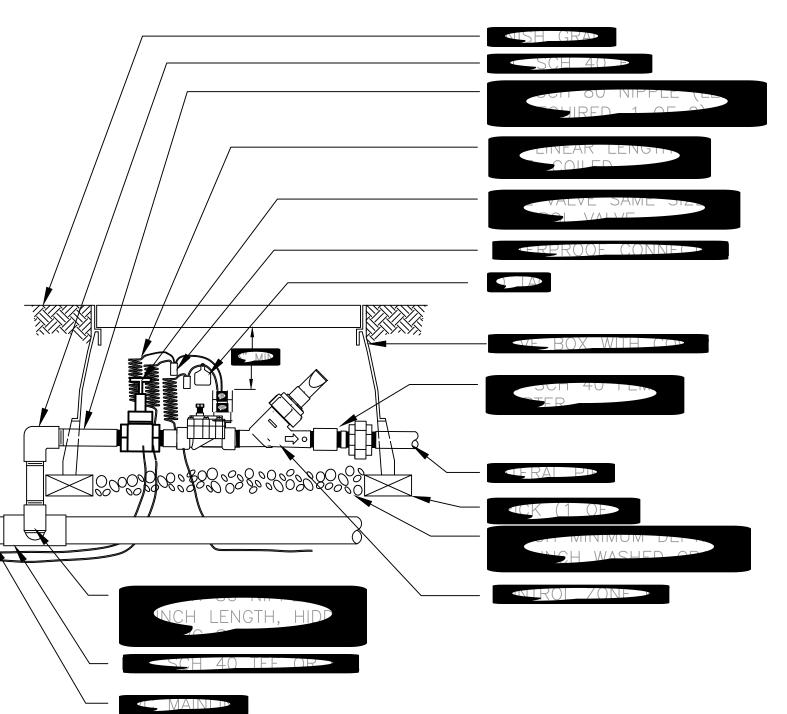
SHEET:

L5.4

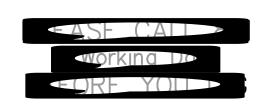




2 ROOT ZONE WATERING SYSTEM



3 DRIP AUTOMATIC CONTROL VALVE









HOUSING HOPE SCRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: JULY 14, 2023

	REVIS	SION SCHEDULE
#	Date	Description

CONTENTS:

IRRIGATION DETAILS

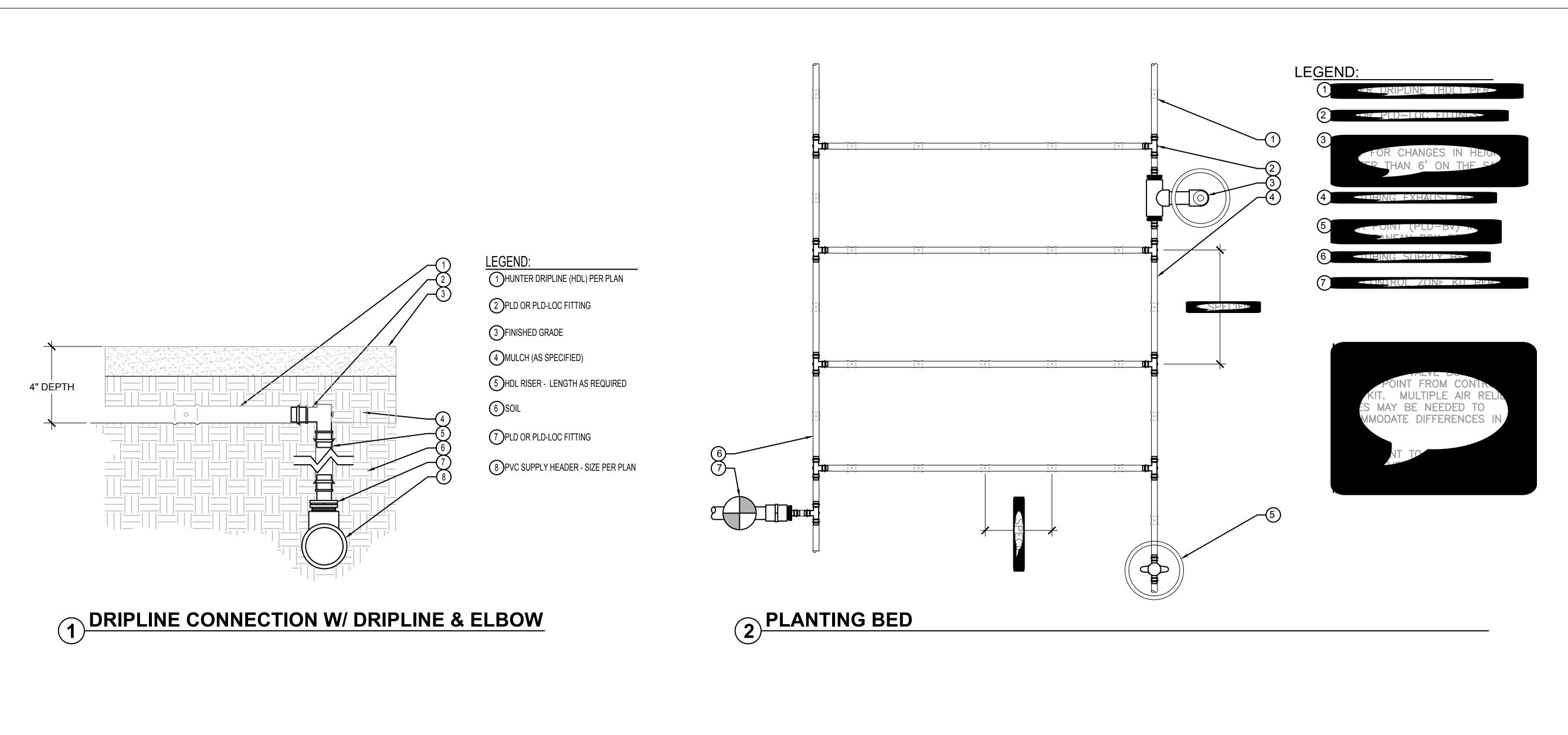
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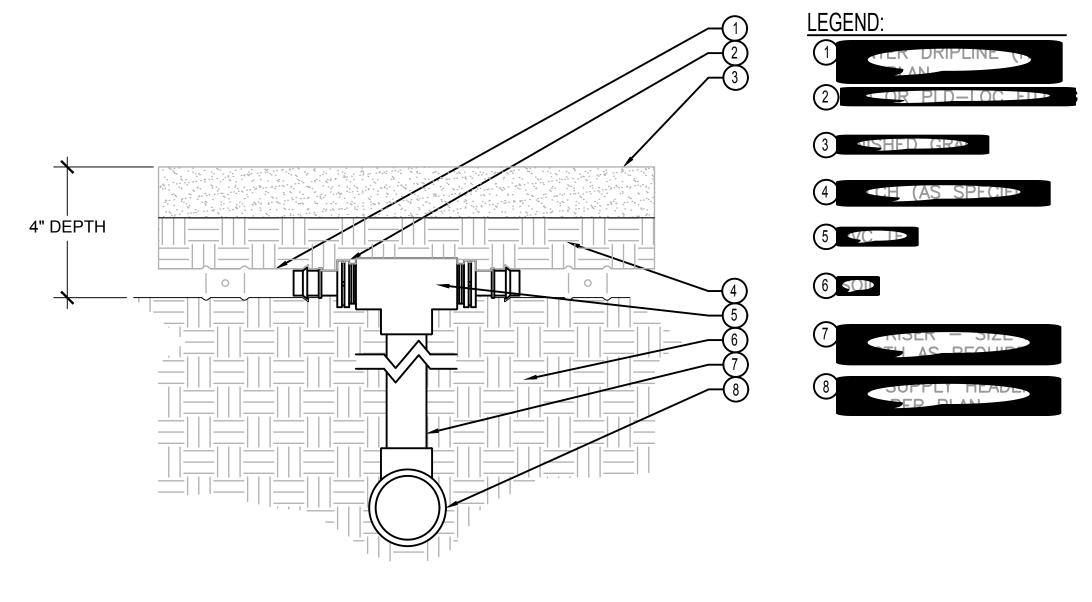
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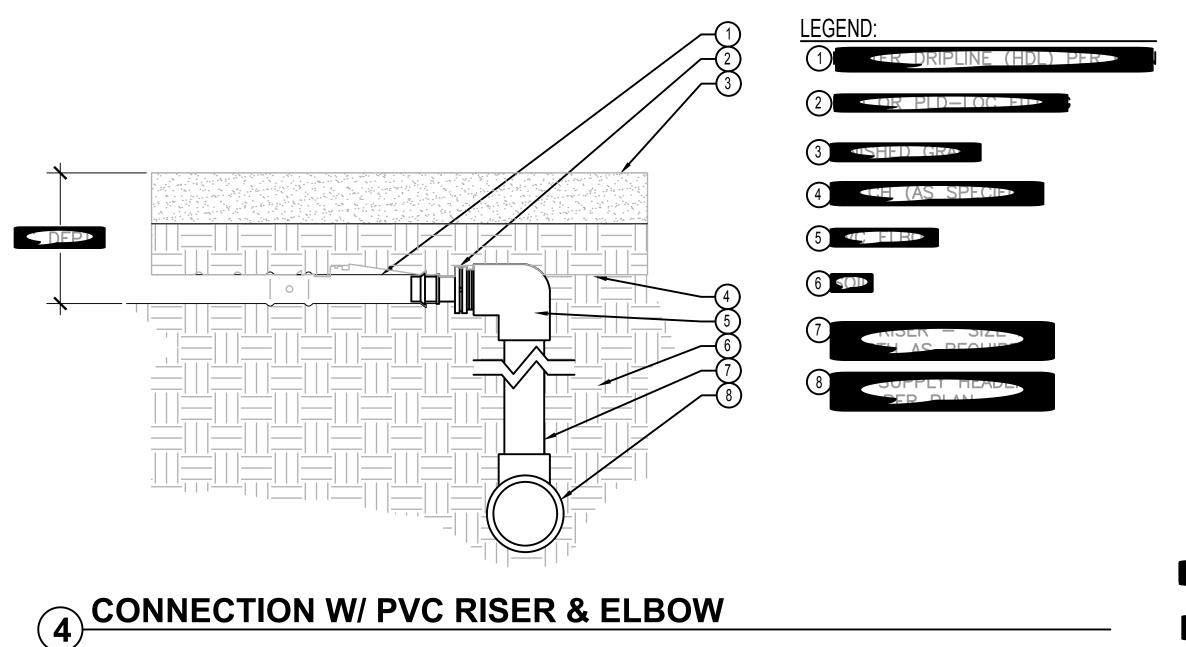
PROJECT NO: 2023004.00

SHEET:





3 DRIPLINE CONNECTION W/ PVC RISER & TEE





DETAILS

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DESIGNS northwest ARCHITECTS

SCALE: 1/8" = 1'-0"

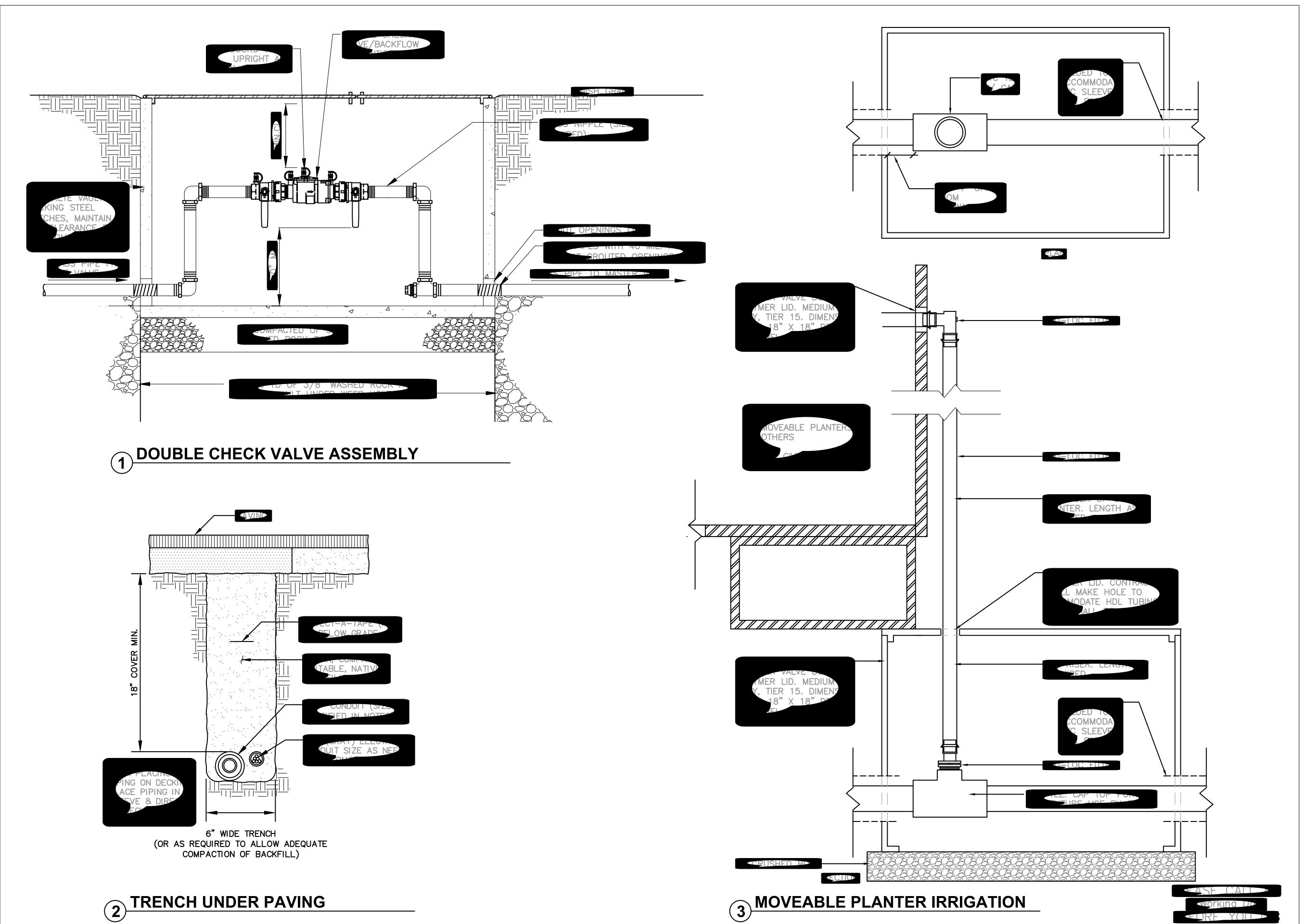
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CHECKED: JA

PROJECT NO: 2023004.00

SHEET:

L56









HOUSING HOPE SCRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: JULY 14, 2023

	REVIS	SION SCHEDULE
#	Date	Description

IRRIGATION DETAILS

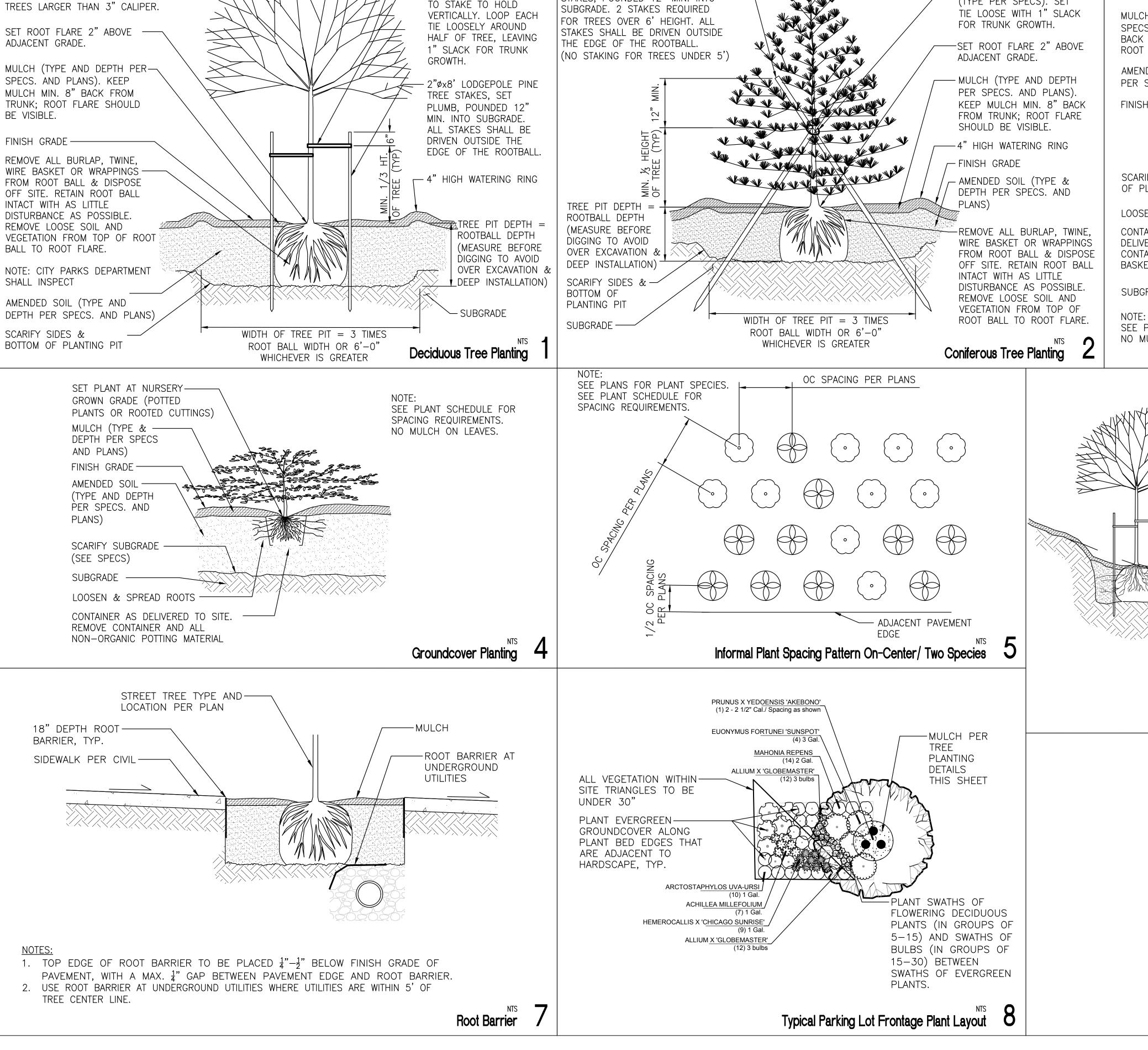
SCALE: 1/8" = 1'-0"

DRAWN: LZ

CHECKED: JA

PROJECT NO: 2023004.00

L5.7



- SECURE TREE WITH TIE

TO STAKE TO HOLD

(TYPE PER SPECS.) NAIL

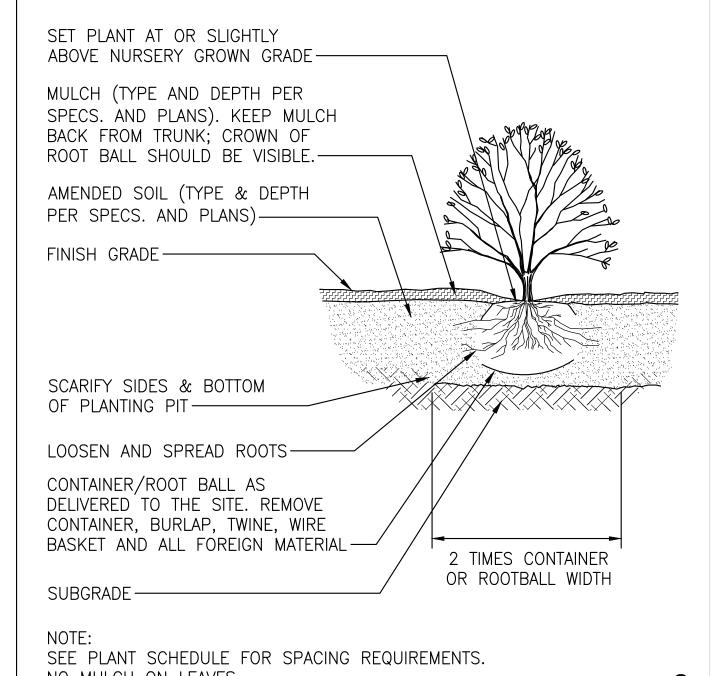
OR STAPLE TIE MATERIAL

2"øx8' LODGEPOLE PINE TREE

STAKES, POUNDED 12" MIN. INTO

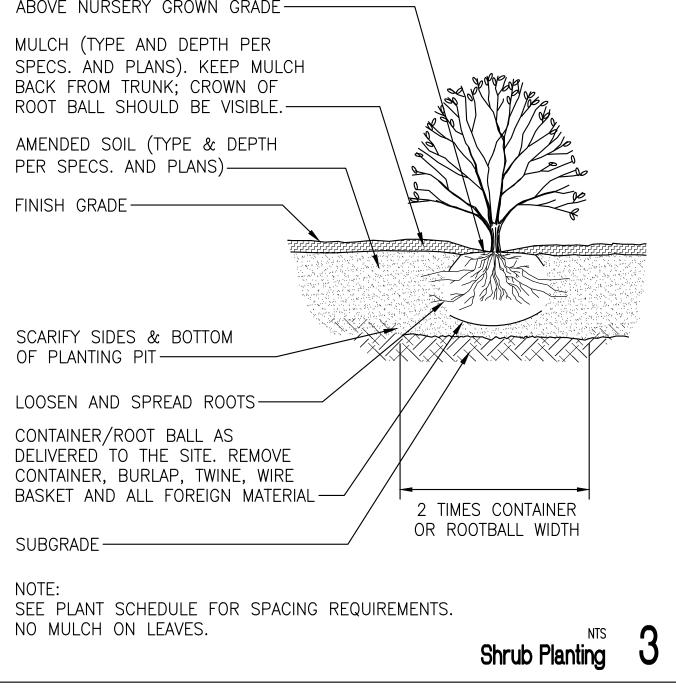
DO NOT STAKE TREES LESS THAN 6'-0"

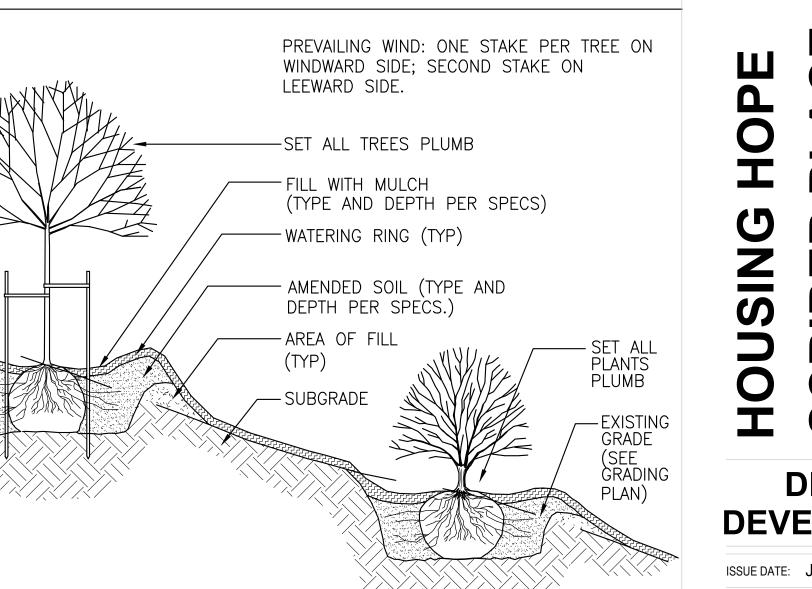
HEIGHT. TRIANGULAR STAKE DECIDUOUS



SECURE TREE WITH TIE

(TYPE PER SPECS). SET



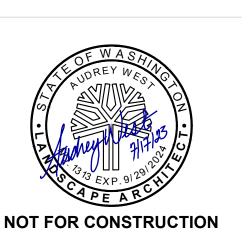


Plant Placement on Slope









Δ

DESIGN DEVELOPMENT

ISSUE DATE: JULY 14, 2023

REVISION SCHEDULE # Date Description

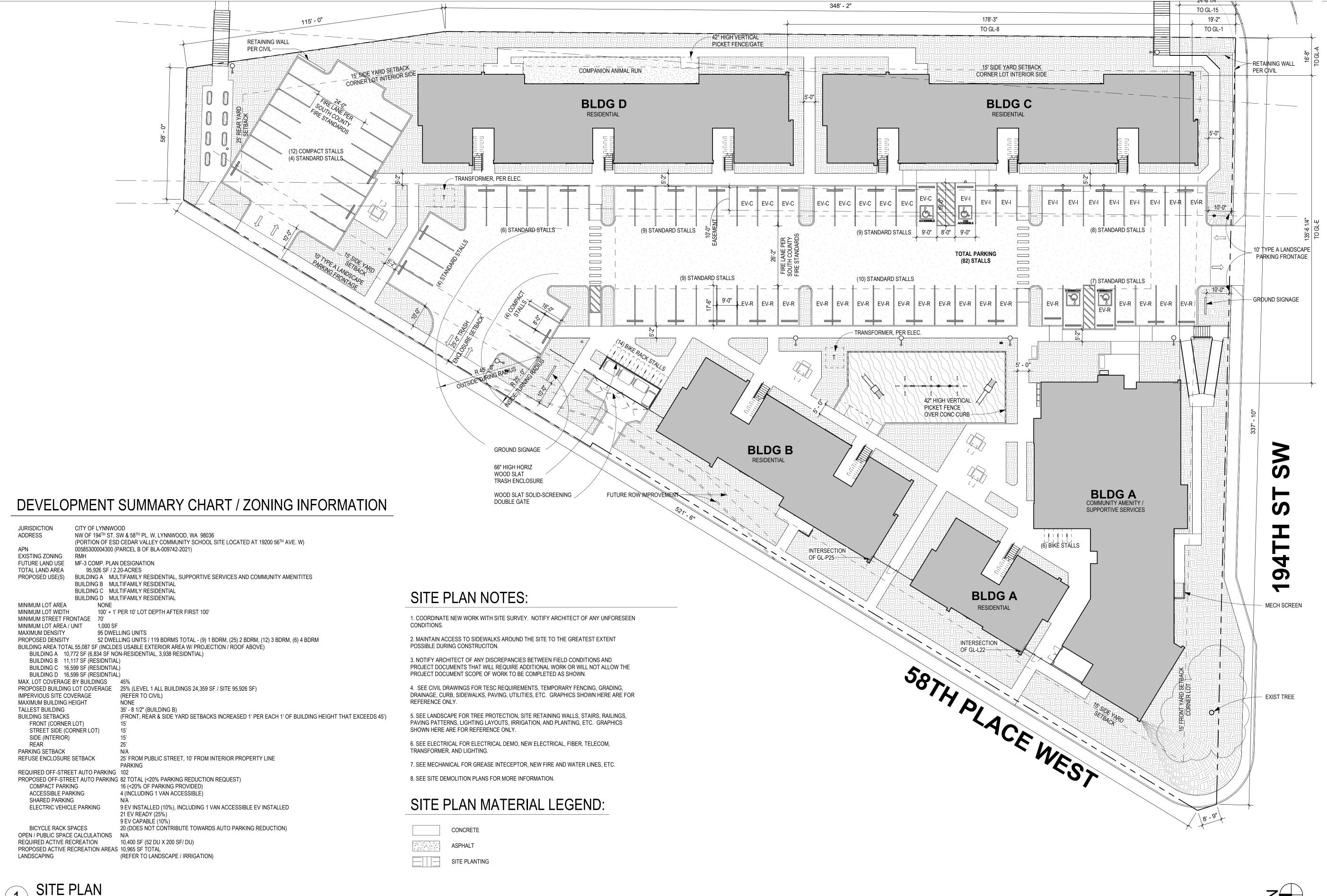
CONTENTS:

LANDSCAPE **PLANTING DETAILS**

DRAWN: PROJECT NO: 2023004.00

SCALE:

PLEASE CALL 811 3 Working Days **BEFORE YOU DIG**

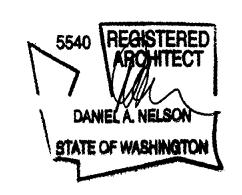


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119 MAIN ST, STE #200 SEATTLE, WA 98104-2579 (206) 322-3322



1 RIBER

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 29, 2023

REVISION SCHEDULE

Description

CONTENTS:

Date

SITE PLAN

SCALE: As indicated DRAWN: RB, AM CHECKED: KW PROJECT NO: 2023004.00



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L 39 M 39 N 39 O 39 P 39 Q 39 R 39 S 39 T 39 U 39 V 39 V 39 X 39 X 7 39 Z 39 AA 39 AB 39 AC 39 AE 39	96' - 0" 90' - 0" 96' - 0"	396' - 0" 396' - 0" 396' - 0" 396' - 0" 396' - 0" 396' - 0" 396' - 0"	396' - 0" 396' - 0"	396' - 6" 396' - 5" 396' - 4" 396' - 6" 396' - 6" 396' - 4" 396' - 3" 396' - 2" 396' - 1" 396' - 1" 396' - 1"
M 39 N 39 N 39 O 39 P 39 Q 39 R 39 T 39 U 39 V 39 V 39 X 39 X 39 X 39 X 39 AA 39 AB 39 AC 39 AD 39 AE 39	90' - 0" 96' - 0"	396' - 0" 396' - 0" 396' - 0" 396' - 0" 396' - 0" 396' - 0"	396' - 0" 396' - 0"	396' - 5" 396' - 4" 396' - 5" 396' - 6" 396' - 4" 396' - 3" 396' - 2" 396' - 1" 396' - 1"
N 39 O 39 P 39 Q 39 R 39 S 39 T 39 V 39 V 39 X 39 X 39 X 39 X 39 AA 39 AB 39 AC 39 AD 39 AE 39	96' - 0" 96' - 0"	396' - 0" 396' - 0" 396' - 0" 396' - 0" 396' - 0"	396' - 0" 396' - 0"	396' - 4" 396' - 5" 396' - 6" 396' - 4" 396' - 3" 396' - 2" 396' - 1" 396' - 1"
O 39 P 39 Q 39 R 39 S 39 T 39 U 39 V 39 V 39 X 39 X 39 X 39 AA 39 AA 39 AB 39 AC 39 AD 39 AE 39	96' - 0" 96' - 0" 96' - 0" 96' - 0" 96' - 0" 96' - 0" 96' - 0"	396' - 0" 396' - 0" 396' - 0" 396' - 0" 396' - 0"	396' - 0" 396' - 0" 396' - 0" 396' - 0" 396' - 0" 396' - 0" 396' - 0"	396' - 5" 396' - 6" 396' - 4" 396' - 3" 396' - 2" 396' - 1" 396' - 1" 396' - 1"
P 39 Q 39 R 39 S 39 T 39 U 39 V 39 W 39 X 39 X 39 X 39 AA 39 AA 39 AB 39 AC 39 AD 39 AE 39	96' - 0" 96' - 0" 96' - 0" 96' - 0" 96' - 0" 96' - 0"	396' - 0" 396' - 0" 396' - 0" 396' - 0"	396' - 0" 396' - 0" 396' - 0" 396' - 0" 396' - 0" 396' - 0"	396' - 6" 396' - 4" 396' - 3" 396' - 2" 396' - 1" 396' - 1" 396' - 1"
Q 39 R 39 S 39 T 39 U 39 V 39 V 39 X 39 X 39 X 39 AA 39 AB 39 AC 39 AD 39 AE 39	96' - 0" 96' - 0" 96' - 0" 96' - 0" 96' - 0" 96' - 0"	396' - 0" 396' - 0" 396' - 0"	396' - 0" 396' - 0" 396' - 0" 396' - 0" 396' - 0"	396' - 4" 396' - 3" 396' - 2" 396' - 1" 396' - 1"
R 39 S 39	96' - 0" 96' - 0" 96' - 0" 96' - 0" 96' - 0"	396' - 0" 396' - 0"	396' - 0" 396' - 0" 396' - 0" 396' - 0" 396' - 0"	396' - 3" 396' - 2" 396' - 1" 396' - 1" 396' - 1"
S 39 T 39 U 39 V 39 W 39 X 39 Y 39 Z 39 AA 39 AB 39 AC 39 AD 39 AE 39	96' - 0" 96' - 0" 96' - 0" 96' - 0" 96' - 0"	396' - 0"	396' - 0" 396' - 0" 396' - 0" 396' - 0"	396' - 2" 396' - 1" 396' - 1" 396' - 1"
T 39 U 39 V 39 W 39 X 39 Y 39 Z 39 AA 39 AB 39 AC 39 AD 39 AE 39	96' - 0" 96' - 0" 96' - 0" 96' - 0"		396' - 0" 396' - 0" 396' - 0"	396' - 1" 396' - 1" 396' - 1"
U 39 V 39 W 39 X 39 Y 39 Z 39 AA 39 AB 39 AC 39 AD 39 AE 39	96' - 0" 96' - 0" 96' - 0" 96' - 0"	396' - 0"	396' - 0" 396' - 0"	396' - 1" 396' - 1"
V 39 W 39 X 39 Y 39 Z 39 AA 39 AB 39 AC 39 AD 39 AE 39	96' - 0" 96' - 0" 96' - 0"		396' - 0"	396' - 1"
W 39 X 39 Y 39 Z 39 AA 39 AB 39 AC 39 AD 39 AE 39	96' - 0" 96' - 0"			
X 39 Y 39 Z 39 AA 39 AB 39 AC 39 AD 39 AE 39	96' - 0"		396' - 0"	2061 0"
Y 39 Z 39 AA 39 AB 39 AC 39 AD 39 AE 39				396' - 0"
Z 39 AA 39 AB 39 AC 39 AD 39 AE 39	96' - 0"		395' - 3"	396' - 0"
AA 39 AB 39 AC 39 AD 39 AE 39				
AB 39 AC 39 AD 39 AE 39	96' - 0"			
AC 39 AD 39 AE 39	96' - 0"			
AD 39 AE 39	95' - 8"			
AE 39	95' - 6"			
	95' - 2"			
AF 39	94' - 11"			
, ii	95' - 4"			
AG 39	95' - 8"			
AH 39	96' - 0"			
AI 39	96' - 0"			
AJ 39	96' - 0"			
AK 39	96' - 0"			
AL 39	96' - 0"			
AM 39	96' - 0"			
AN 39	96' - 0"			
AO 39	96' - 0"			
AP 39	96' - 0"			
AQ 39	96' - 0"			

AVERAGE EXISTING GRADE CALC

SUMMARY:

BUILDING A AVG. EXISTING GRADE: 395' - 7 3/4"
BUILDING B AVG. EXISTING GRADE: 396' - 1"
BUILDING C AVG. EXISTING GRADE: 395' - 10 1/2"
BUILDING D AVG. EXISTING GRADE: 396' - 2 1/4"

BLDG A

SUM OF MID-POINT ELEVATIONS = 17012' - 7" = 17012.583

NUMBER OF WALL SEGEMENTS = 43

17012.583/43 = 395.642 = 395' - 7 3/4"

BLDG B

SUM OF MID-POINT ELEVATIONS = 7921' - 6" = 7921.5' NUMBER OF WALL SEGEMENTS = 20 7921.5'/20 = 396.075 = **396' - 1"**

BLDG C

SUM OF MID-POINT ELEVATIONS = 9501' NUMBER OF WALL SEGEMENTS = 24 9501'/24 = 395.875 = **395' - 10 1/2"**

BLDG D

SUM OF MID-POINT ELEVATIONS = 9508' - 6" = 9508.5' NUMBER OF WALL SEGEMENTS = 24 9508.5'/24 = 396.1875 = **396' - 2 1/4"**









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CRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

REVISION SCHEDULE

Date Description

CONTENTS:

AVERAGE EXISTING GRADE CALC

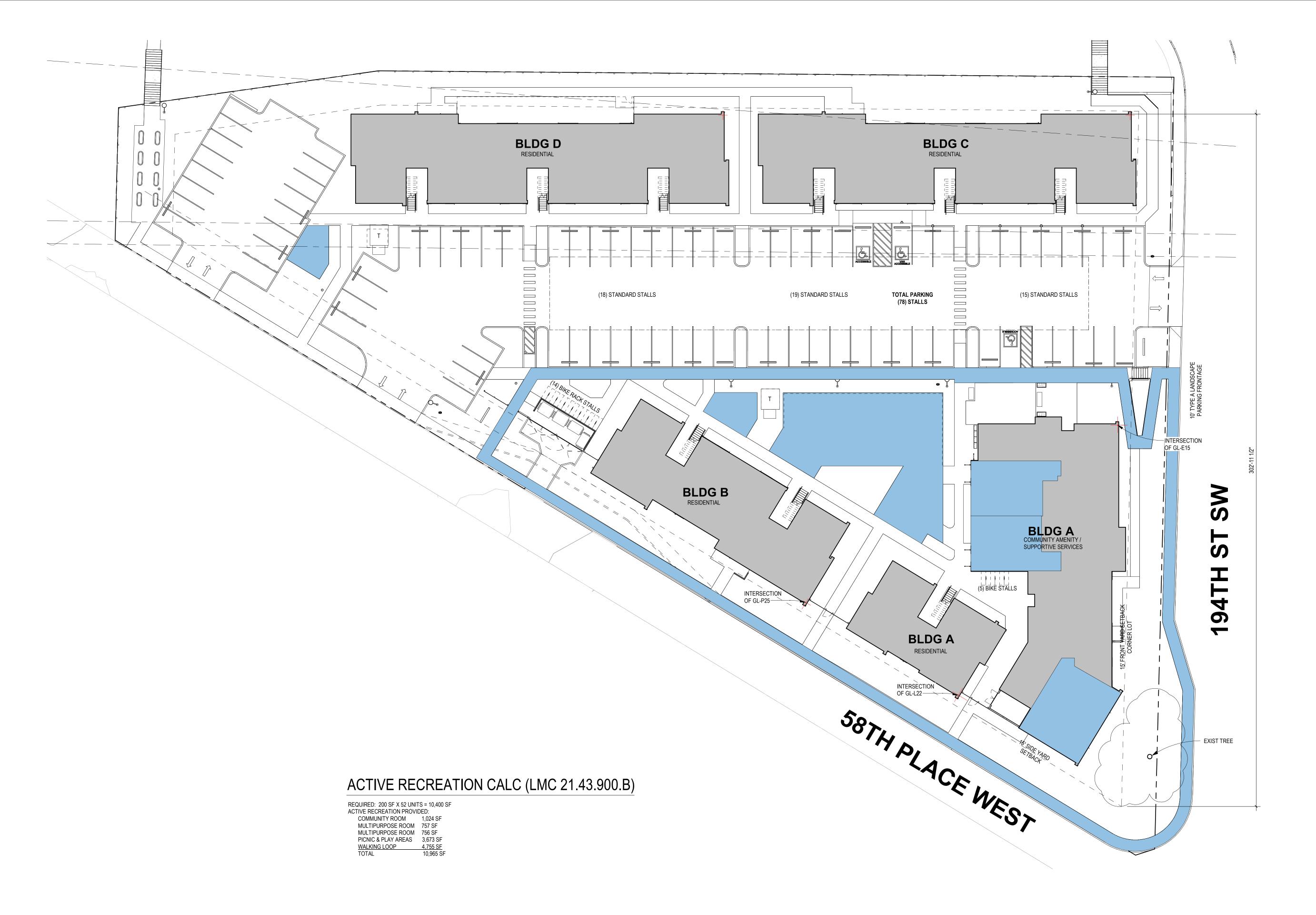
SCALE: 1" = 30'-0"

DRAWN: RB, AM

CHECKED: KW

PROJECT NO: 2023004.00

A1.1









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HOUSING HOPE SCRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

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Date Description

CONTENTS:

ACTIVE RECREATION PLAN

SCALE: 1" = 20'-0"

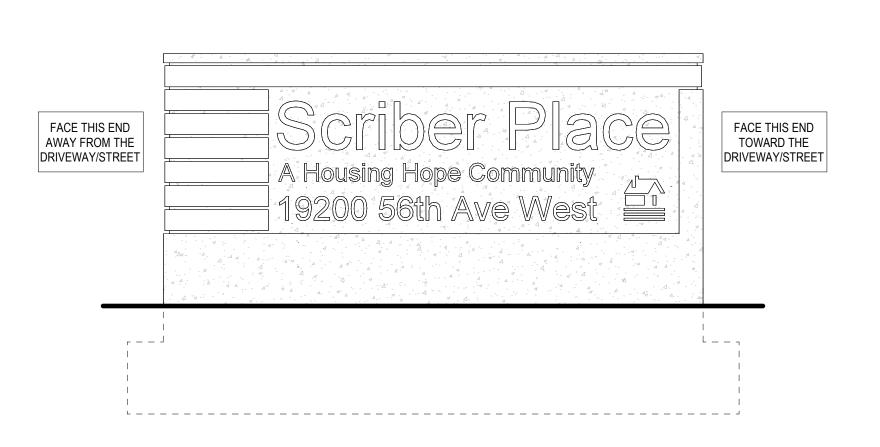
DRAWN: RB, AM

CHECKED: KW

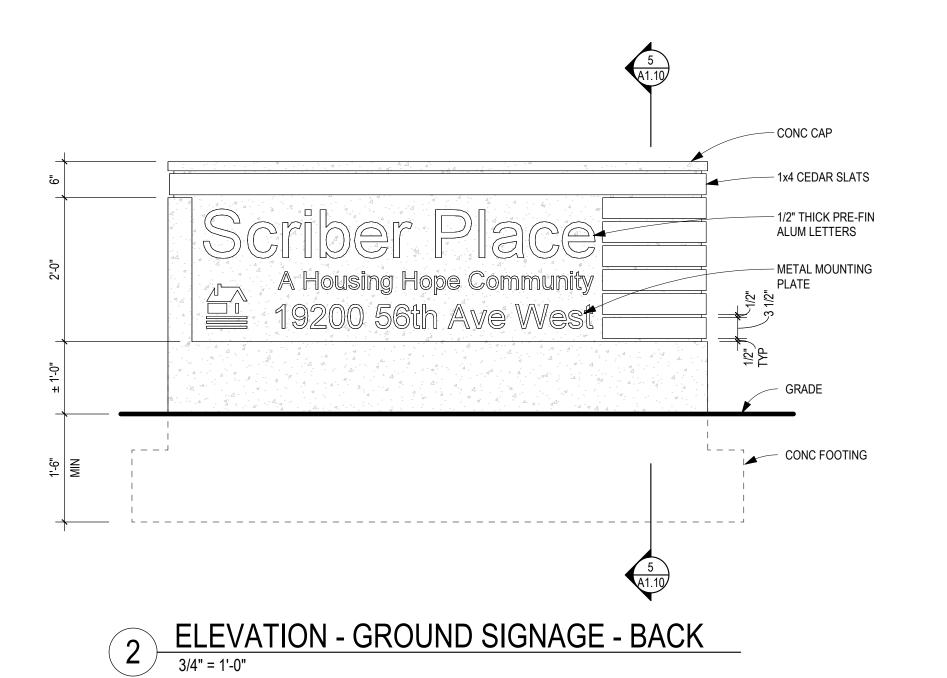
PROJECT NO: 2023004.00

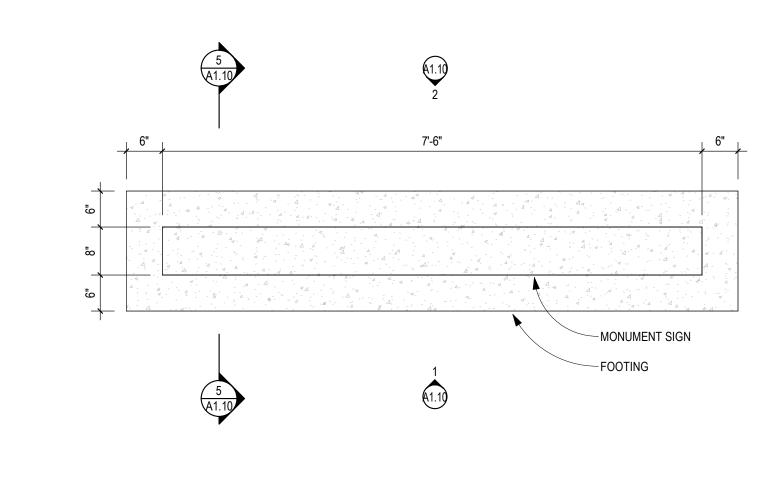
SHEET:

A1.2



1 ELEVATION - GROUND SIGNAGE - FRONT
3/4" = 1'-0"

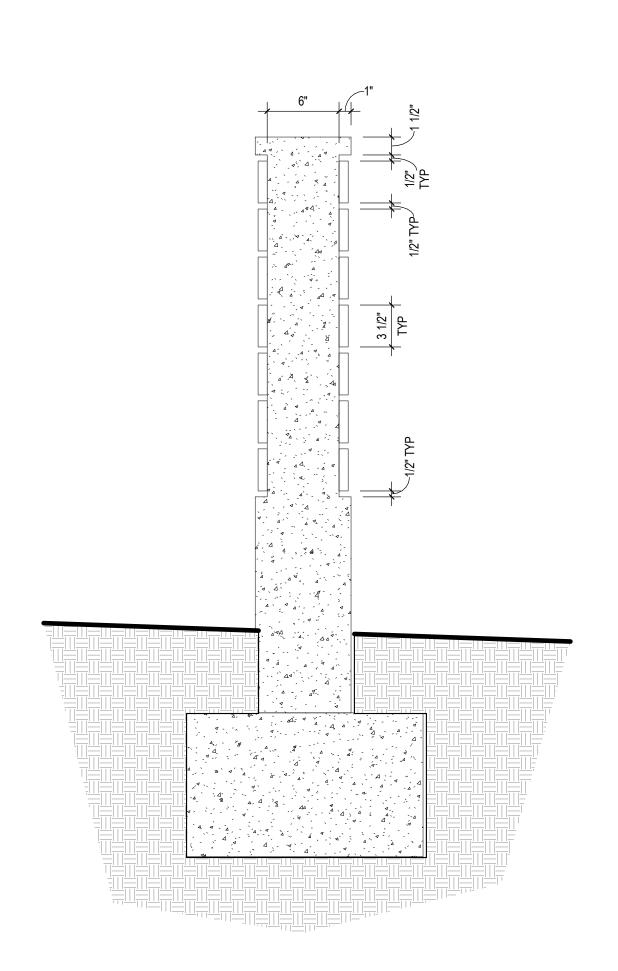




PLAN - GROUND SIGNAGE

3/4" = 1'-0"





5 SECTION - GROUND SIGNAGE
1 1/2" = 1'-0"



HOUSING HOPE SCRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

REVISION SCHEDULE

Date Description

SITE DETAILS GROUND SIGNAGE

SCALE: As indicated

DRAWN: RB, AM

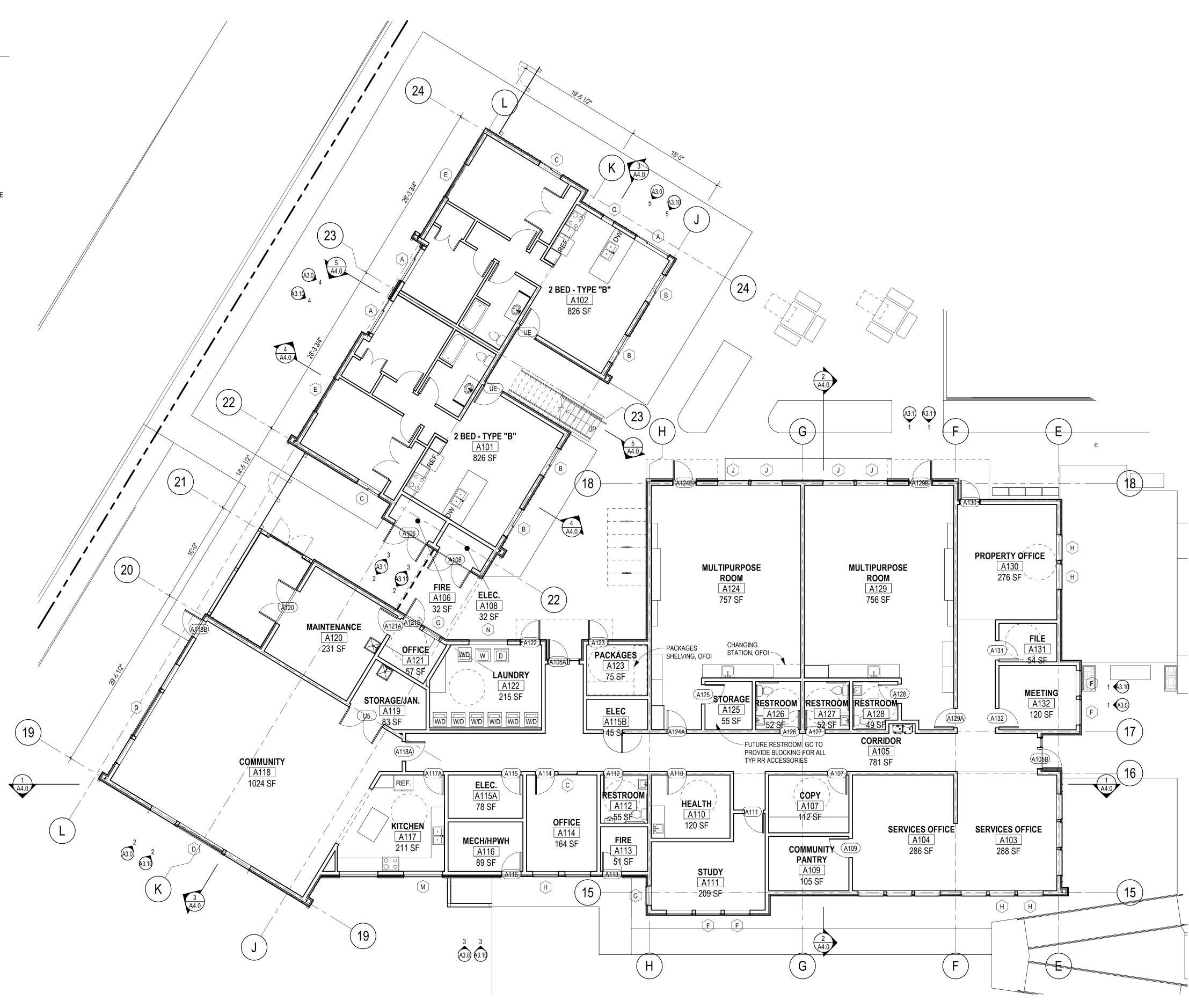
CHECKED: KW

PROJECT NO: 2023004.00

SHEET:

A1.10

- 1. REFER TO T1.0 FOR GENERAL NOTES.
- 2. REFER TO A7 SHEETS FOR INTERIOR PARTITION SCHEDULE.
- 3. REFER TO BUILDING SECTION (A4 SHEETS) AND SCHEDULES (A7 SHEETS) FOR EXTERIOR WALL, FLOOR, AND CEILING ASSEMBLIES.
- 4. SEE CIVIL & LANDSCAPE DRAWINGS FOR EXTERIOR OF BUILDING CONDITIONS BEYOND THE BUILDING PERIMETER.
- 5. REFER TO SCHEDULES (A7 SHEETS) FOR ADDITIONAL INFORMATION.
- 6. NOT ALL REQUIRED ACCESS PANELS HAVE BEEN SHOWN. PROVIDE ACCESS PANELS AS REQUIRED. COORDINATE THEIR LOCATION WITH ALL MECHANICAL AND ELECTRICAL ITEMS LOCATED IN WALLS & CEILINGS. PAINT TO MATCH ADJACENT SURFACES.
- 7. ROOMS WITH CAPACITY GREATER THAN 50 OCCUPANTS SHALL HAVE CLEARLY VISIBLE SIGNAGE INDICATING OCCUPANT CAPACITY FOR THAT ROOM.
- 8. SEE ENLARGED UNIT PLANS FOR UNIT DOOR TYPES.
- 9. SENSORY ACCESSIBLE UNITS PER SECTION 504 (HUD) NOTED WITH AN ASTERISK (*)









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SING HOPE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

REVISION SCHEDULE

Description

CONTENTS:

Date

BUILDING A -LEVEL 1 PLAN

SCALE: As indicated

DRAWN: RB, AM

CHECKED: KW

PROJECT NO: 2023004.00

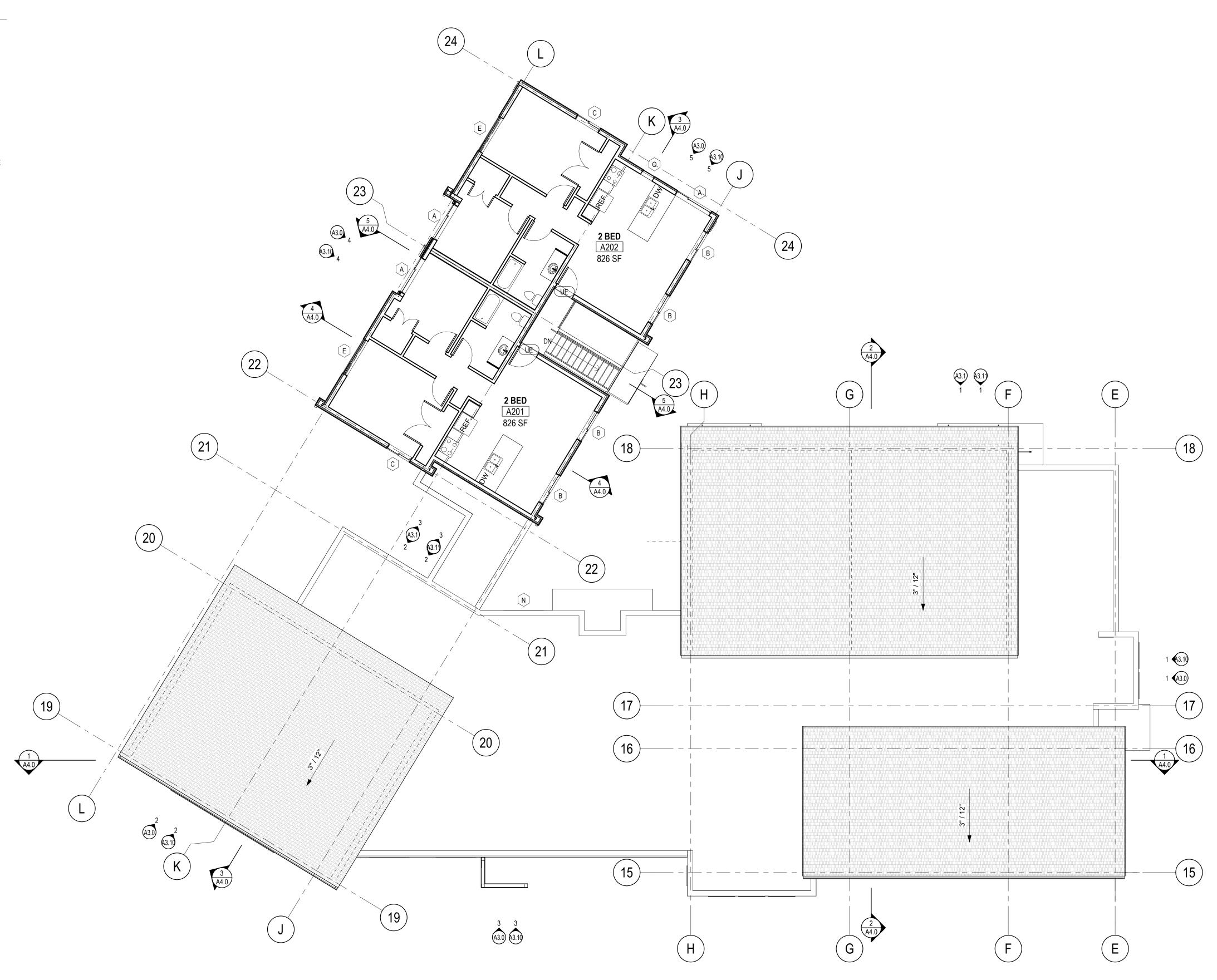
SHEET:

A2.11

- 1. REFER TO T1.0 FOR GENERAL NOTES.
- 2. REFER TO A7 SHEETS FOR INTERIOR PARTITION SCHEDULE.
- 3. REFER TO BUILDING SECTION (A4 SHEETS) AND SCHEDULES (A7 SHEETS) FOR EXTERIOR WALL, FLOOR, AND CEILING ASSEMBLIES.
- 4. SEE CIVIL & LANDSCAPE DRAWINGS FOR EXTERIOR OF BUILDING CONDITIONS BEYOND THE BUILDING PERIMETER.
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- 8. SEE ENLARGED UNIT PLANS FOR UNIT DOOR TYPES.
- 9. SENSORY ACCESSIBLE UNITS PER SECTION 504 (HUD) NOTED WITH AN ASTERISK (*)

ROOF PLAN NOTES:

- 1. FOR ROOF TYPE ASSEMBLIES SEE BUILDING SECTIONS (A4 SHEETS)
- 2. SEE EXTERIOR ELEVATIONS (A3 SHEETS) FOR DOWNSPOUT LOCATIONS. COORDINATE WITH CIVIL. NOTIFY ARCHITECT OF ANY CONFLICTS.
- 3. SIZE FALL PROTECTION POSTS TO HAVE 10" FREE LENGTH OF POST ABOVE THE DEEPEST INSULATION LOCATION FOR WATERPROOFING. ALL POSTS TO BE THE SAME HEIGHT.
- 4. DRAWINGS INDICATE GENERAL & TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER, TYPICAL DETAILS SHALL APPLY.
- 5. ROOF PIPING AND VENT PENETRATION LOCATIONS ARE SHOWN FOR CONTRACTOR COORDINATION AND FOR DESIGN INTENT. FOR ACTUAL PENETRATION QUANTITIES REQUIRED, SEE MECH.









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SING HOPE BER PLACI

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

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Description

CONTENTS:

BUILDING A -LEVEL 2 PLAN & ROOF PLAN

SCALE: As indicated
DRAWN: RB, AM
CHECKED: KW
PROJECT NO: 2023004.00
SHEET:

A2.12

ROOF PLAN NOTES:

- FOR ROOF TYPE ASSEMBLIES SEE BUILDING SECTIONS (A4 SHEETS)
- SEE EXTERIOR ELEVATIONS (A3 SHEETS) FOR DOWNSPOUT LOCATIONS. COORDINATE WITH CIVIL. NOTIFY ARCHITECT OF ANY CONFLICTS.
- SIZE FALL PROTECTION POSTS TO HAVE 10" FREE LENGTH OF POST ABOVE THE DEEPEST INSULATION LOCATION FOR WATERPROOFING. ALL POSTS TO BE THE
- DRAWINGS INDICATE GENERAL & TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER, TYPICAL DETAILS SHALL APPLY.
- ROOF PIPING AND VENT PENETRATION LOCATIONS ARE SHOWN FOR CONTRACTOR COORDINATION AND FOR DESIGN INTENT. FOR ACTUAL PENETRATION QUANTITIES REQUIRED, SEE MECH.

ROOF VENT CALCULATIONS - BLDG A

NOTE:
GABLE VENTS BASIS OF DESIGN: 12" x 18" = 93 SQ IN NFVA 18" x 24" = 190 SQ IN NFVA 24" x 30" = 317 SQ IN NFVA

ROOF AREA A1 TOTAL ATTIC AREA: TOTAL ATTIC AREA: 306 SF
REQUIRED NFVA (AREA/150): 2.04 SF (293.76 SQ IN) TOTAL VENT PROVIDED: 2 GABLE VENTS (18X 24") = 380 SQ IN 380 SQ IN > 293.76, THEREFORE **OK**

ROOF AREA A2 TOTAL ATTIC AREA: TOTAL ATTIC AREA: 322 SF

REQUIRED NFVA (AREA/150): 2.15 SF (309.6 SQ IN)

TOTAL VENT PROVIDED: 2 GABLE VENTS (18X 24") = 380 SQ IN

380 SQ IN > 309.6, THEREFORE **OK**

ROOF AREA A3 TOTAL ATTIC AREA:

REQUIRED NFVA (AREA/150): 2.17 SF (312.48 SQ IN)

TOTAL VENT PROVIDED: 2 GABLE VENTS (18X 24") = 380 SQ IN

380 SQ IN > 312.48, THEREFORE OK

ROOF AREA A4 TOTAL ATTIC AREA:

REQUIRED NFVA (AREA/150): 2.04 SF (293.76 SQ IN) TOTAL VENT PROVIDED: 2 GABLE VENTS (18X 24") = 380 SQ IN 380 SQ IN > 293.76, THEREFORE **OK**

ROOF AREA A5 TOTAL ATTIC AREA:

REQUIRED NFVA (AREA/150): 6.75 SF (972 SQ IN) TOTAL VENT PROVIDED: 4 GABLE VENTS (24" X 30") = 1268 SQ IN

ROOF AREA A6 TOTAL ATTIC AREA:

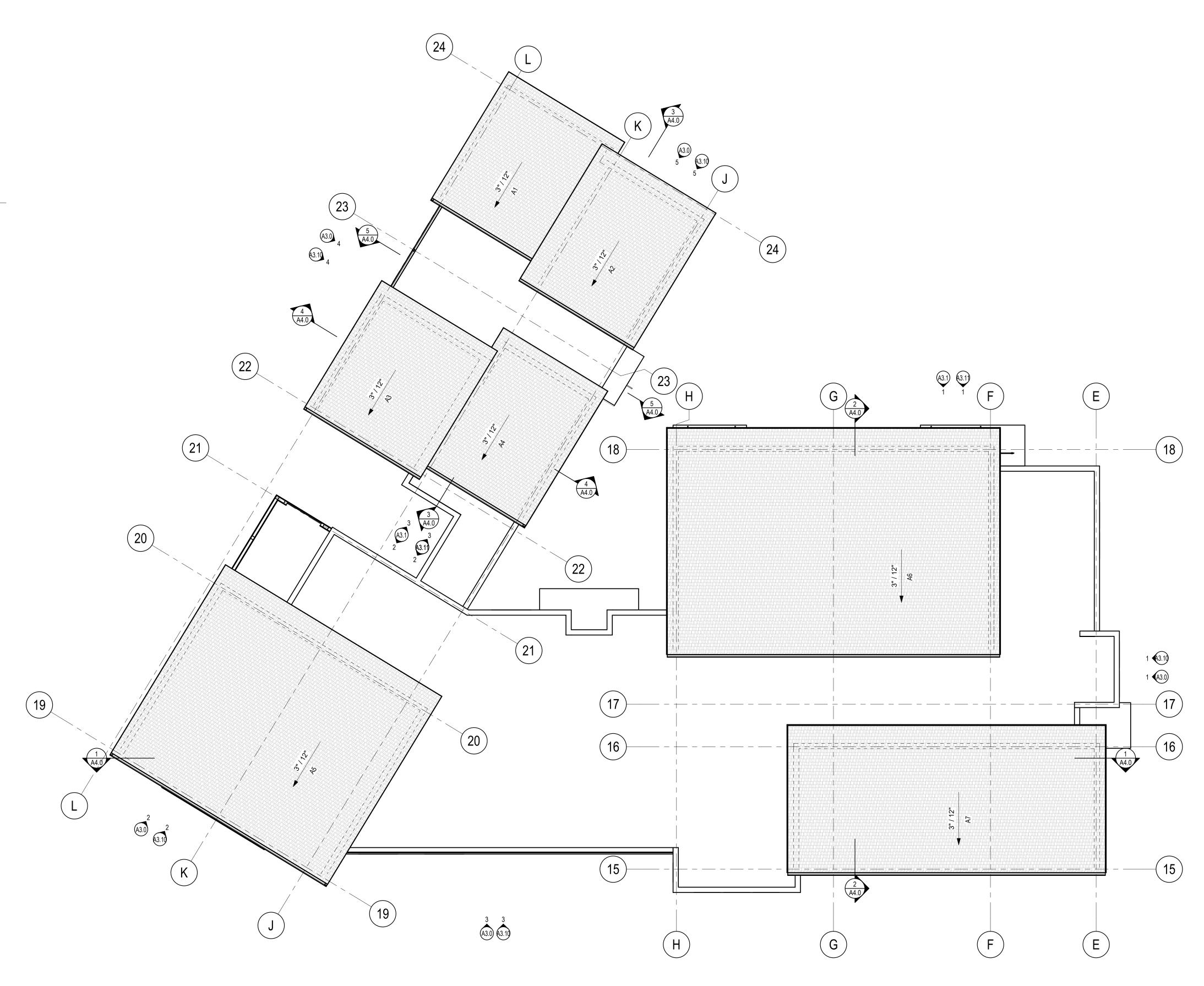
REQUIRED NFVA (AREA/150): 9.37 SF (1949.28 SQ IN) TOTAL VENT PROVIDED: 7 GABLE VENTS (24" X 30") = 2219 SQ IN 2219 SQ IN > 1949.28, THEREFORE **OK**

ROOF AREA A7 TOTAL ATTIC AREA:

REQUIRED NFVA (AREA/150): 5.36 SF (771.84 SQ IN)

TOTAL VENT PROVIDED: 3 GABLE VENTS (24" X 30") = 951 SQ IN 951 SQ IN > 771.84, THEREFORE **OK**

1268 SQ IN > 972, THEREFORE **OK**









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RIBER

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

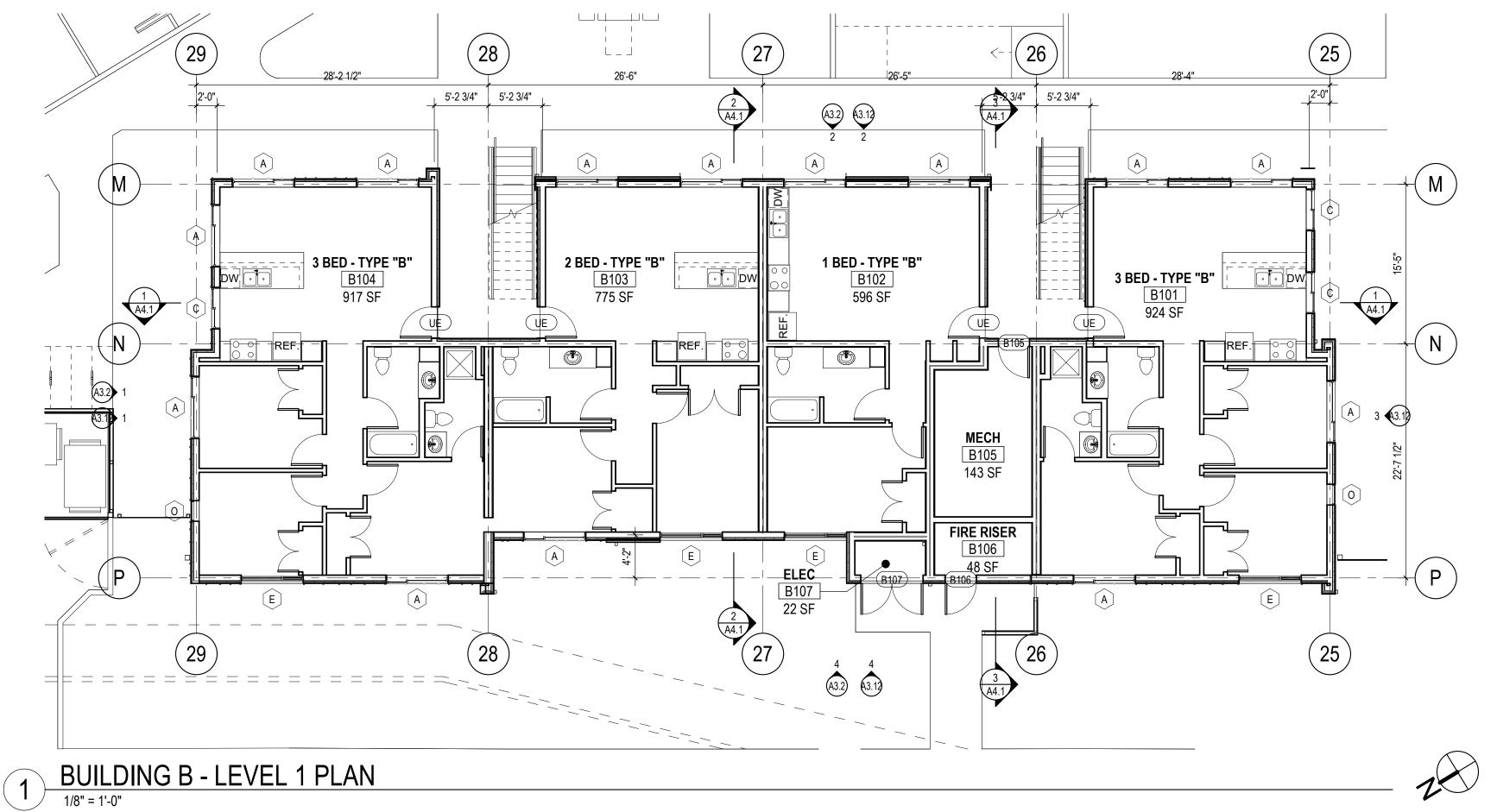
REVISION SCHEDULE # Date Description

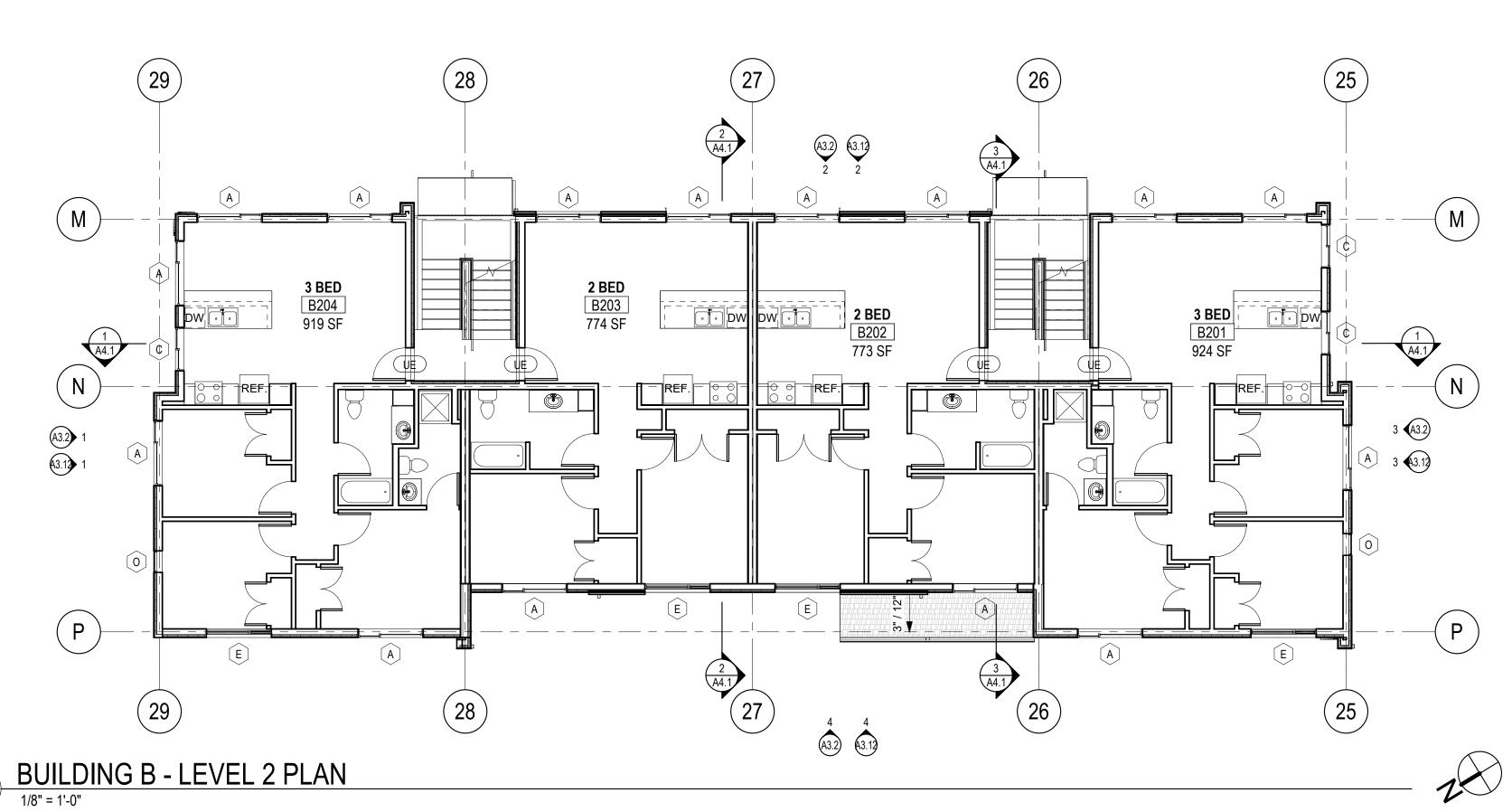
CONTENTS:

BUILDING A -ROOF PLAN

As indicated RB, AM PROJECT NO: 2023004.00

- 1. REFER TO T1.0 FOR GENERAL NOTES.
- 2. REFER TO A7 SHEETS FOR INTERIOR PARTITION SCHEDULE.
- 3. REFER TO BUILDING SECTION (A4 SHEETS) AND SCHEDULES (A7 SHEETS) FOR EXTERIOR WALL, FLOOR, AND CEILING ASSEMBLIES.
- 4. SEE CIVIL & LANDSCAPE DRAWINGS FOR EXTERIOR OF BUILDING CONDITIONS BEYOND THE BUILDING PERIMETER.
- 5. REFER TO SCHEDULES (A7 SHEETS) FOR ADDITIONAL INFORMATION.
- 6. NOT ALL REQUIRED ACCESS PANELS HAVE BEEN SHOWN. PROVIDE ACCESS PANELS AS REQUIRED. COORDINATE THEIR LOCATION WITH ALL MECHANICAL AND ELECTRICAL ITEMS LOCATED IN WALLS & CEILINGS. PAINT TO MATCH ADJACENT SURFACES.
- 7. ROOMS WITH CAPACITY GREATER THAN 50 OCCUPANTS SHALL HAVE CLEARLY VISIBLE SIGNAGE INDICATING OCCUPANT CAPACITY FOR THAT ROOM.
- 8. SEE ENLARGED UNIT PLANS FOR UNIT DOOR TYPES.
- 9. SENSORY ACCESSIBLE UNITS PER SECTION 504 (HUD) NOTED WITH AN ASTERISK (*)











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RIBER

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

Description

REVISION SCHEDULE

CONTENTS:

BUILDING B -**LEVEL 1 & 2 PLAN**

SCALE: As indicated
DRAWN: RB, AM
CHECKED: KW
PROJECT NO: 2023004.00
SHEET:

- 1. REFER TO T1.0 FOR GENERAL NOTES.
- 2. REFER TO A7 SHEETS FOR INTERIOR PARTITION SCHEDULE.
- REFER TO BUILDING SECTION (A4 SHEETS) AND SCHEDULES (A7 SHEETS) FOR EXTERIOR WALL, FLOOR, AND CEILING ASSEMBLIES.
- 4. SEE CIVIL & LANDSCAPE DRAWINGS FOR EXTERIOR OF BUILDING CONDITIONS BEYOND THE BUILDING PERIMETER.
- 5. REFER TO SCHEDULES (A7 SHEETS) FOR ADDITIONAL INFORMATION.
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- 8. SEE ENLARGED UNIT PLANS FOR UNIT DOOR TYPES.
- 9. SENSORY ACCESSIBLE UNITS PER SECTION 504 (HUD) NOTED WITH AN ASTERISK (*)

ROOF PLAN NOTES:

- FOR ROOF TYPE ASSEMBLIES SEE BUILDING SECTIONS (A4 SHEETS)
- SEE EXTERIOR ELEVATIONS (A3 SHEETS) FOR DOWNSPOUT LOCATIONS. COORDINATE WITH CIVIL. NOTIFY ARCHITECT OF ANY CONFLICTS.
- SIZE FALL PROTECTION POSTS TO HAVE 10" FREE LENGTH OF POST ABOVE THE DEEPEST INSULATION LOCATION FOR WATERPROOFING. ALL POSTS TO BE THE SAME HEIGHT.
- DRAWINGS INDICATE GENERAL & TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER, TYPICAL DETAILS SHALL APPLY.
- ROOF PIPING AND VENT PENETRATION LOCATIONS ARE SHOWN FOR CONTRACTOR COORDINATION AND FOR DESIGN INTENT. FOR ACTUAL PENETRATION QUANTITIES REQUIRED, SEE MECH.

ROOF VENT CALCULATIONS - BLDG B

<u>NOTE:</u> GABLE VENTS BASIS OF DESIGN: 12" x 18" = 93 SQ IN NFVA 18" x 24" = 190 SQ IN NFVA 24" x 30" = 317 SQ IN NFVA

ROOF AREA B1 TOTAL ATTIC AREA: REQUIRED NFVA (AREA/150): 2 SF (288 SQ IN)

TOTAL VENT PROVIDED: 2 GABLE VENTS (18X 24") = 380 SQ IN 380 SQ IN > 288, THEREFORE **OK**

ROOF AREA B2 TOTAL ATTIC AREA:

REQUIRED NFVA (AREA/150): 3.85 SF (554.4 SQ IN) 2 GABLE VENTS (24" X 30") = 634 SQ IN TOTAL VENT PROVIDED: 634 SQ IN > 554.4, THEREFORE **OK**

ROOF AREA B3 TOTAL ATTIC AREA:

REQUIRED NFVA (AREA/150): 9.31 SF (1340.64 SQ IN) TOTAL VENT PROVIDED: 5 GABLE VENTS (24" X 30") = 1585 SQ IN 1585 SQ IN > 1340.64, THEREFORE **OK**

ROOF AREA B4

TOTAL ATTIC AREA:

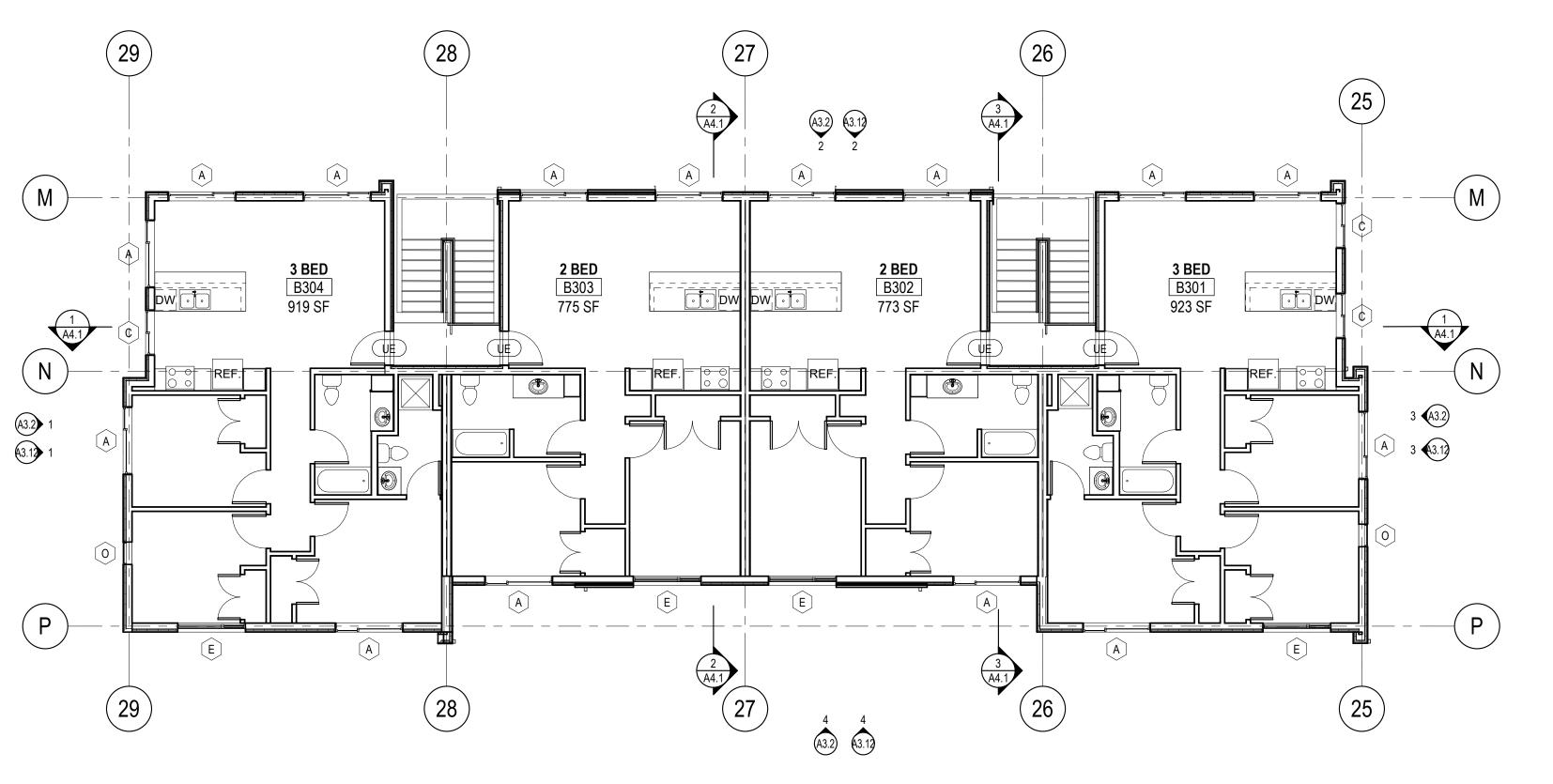
REQUIRED NFVA (AREA/150): 2.01 SF (289.44 SQ IN)

TOTAL VENT PROVIDED: 2 GABLE VENTS (18X 24") = 380 SQ IN 380 SQ IN > 289.44, THEREFORE **OK**

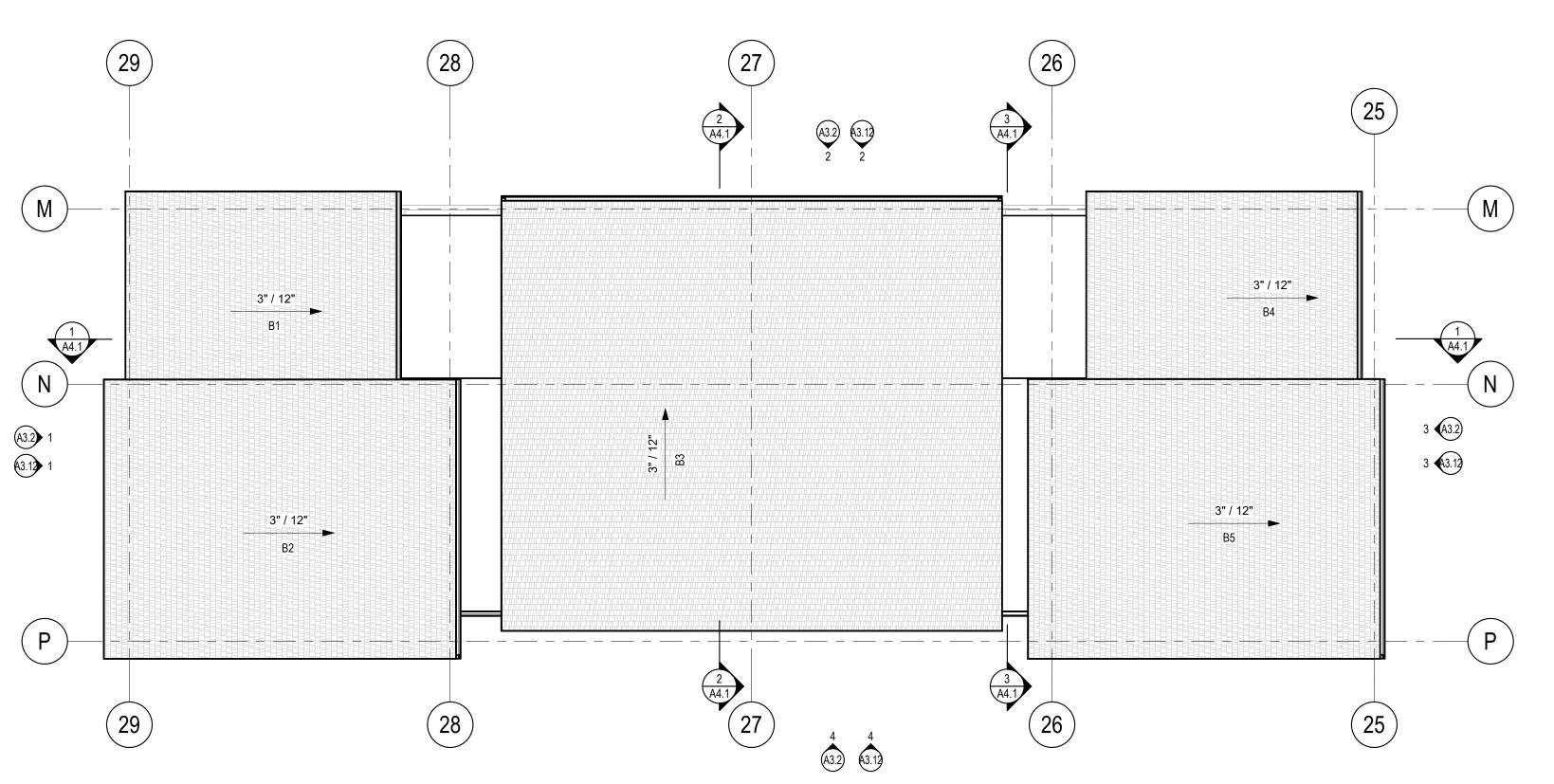
ROOF AREA B5 TOTAL ATTIC AREA:

REQUIRED NFVA (AREA/150): 3.88 SF (558.72 SQ IN) TOTAL VENT PROVIDED: 2 GABLE VENTS (24" X 30") = 634 SQ IN

634 SQ IN > 558.72, THERÉFORE **OK**







HOUSING we keep hope alive





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DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

REVISION SCHEDULE # Date Description

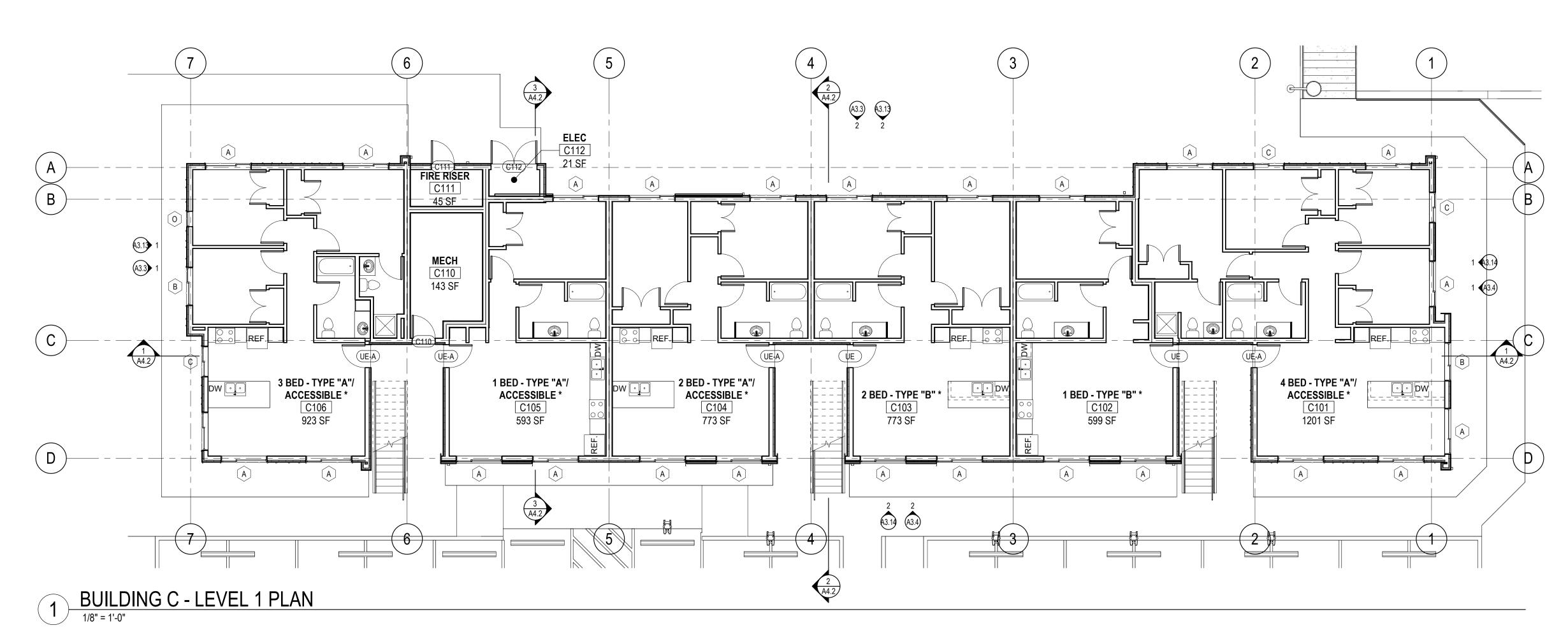
CONTENTS:

BUILDING B -**LEVEL 3 PLAN & ROOF PLAN**

SCALE: As indicated
DRAWN: RB, AM CHECKED: KW PROJECT NO: 2023004.00

BUILDING B - ROOF PLAN

- 1. REFER TO T1.0 FOR GENERAL NOTES.
- 2. REFER TO A7 SHEETS FOR INTERIOR PARTITION SCHEDULE.
- 3. REFER TO BUILDING SECTION (A4 SHEETS) AND SCHEDULES (A7 SHEETS) FOR EXTERIOR WALL, FLOOR, AND CEILING ASSEMBLIES.
- 4. SEE CIVIL & LANDSCAPE DRAWINGS FOR EXTERIOR OF BUILDING CONDITIONS BEYOND THE BUILDING PERIMETER.
- 5. REFER TO SCHEDULES (A7 SHEETS) FOR ADDITIONAL INFORMATION.
- 6. NOT ALL REQUIRED ACCESS PANELS HAVE BEEN SHOWN. PROVIDE ACCESS PANELS AS REQUIRED. COORDINATE THEIR LOCATION WITH ALL MECHANICAL AND ELECTRICAL ITEMS LOCATED IN WALLS & CEILINGS. PAINT TO MATCH ADJACENT SURFACES.
- 7. ROOMS WITH CAPACITY GREATER THAN 50 OCCUPANTS SHALL HAVE CLEARLY VISIBLE SIGNAGE INDICATING OCCUPANT CAPACITY FOR THAT ROOM.
- 8. SEE ENLARGED UNIT PLANS FOR UNIT DOOR TYPES.
- 9. SENSORY ACCESSIBLE UNITS PER SECTION 504 (HUD) NOTED WITH AN ASTERISK (*)









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SCRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

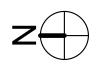
REVISION SCHEDULE

Date Description

CONTENTS:

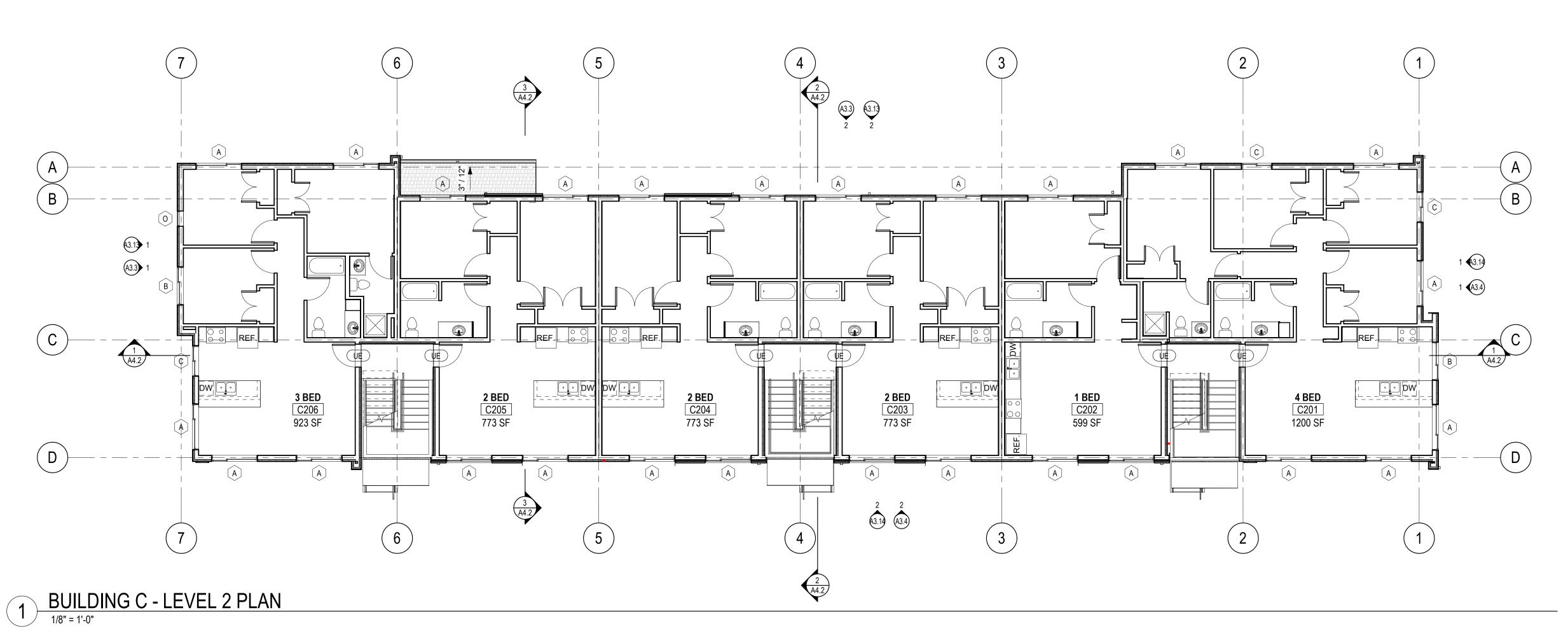
BUILDING C -LEVEL 1 PLAN

SCALE: As indicated
DRAWN: RB, AM
CHECKED: KW
PROJECT NO: 2023004.00
SHEET:



A2.31

- 1. REFER TO T1.0 FOR GENERAL NOTES.
- 2. REFER TO A7 SHEETS FOR INTERIOR PARTITION SCHEDULE.
- 3. REFER TO BUILDING SECTION (A4 SHEETS) AND SCHEDULES (A7 SHEETS) FOR EXTERIOR WALL, FLOOR, AND CEILING ASSEMBLIES.
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DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023 REVISION SCHEDULE

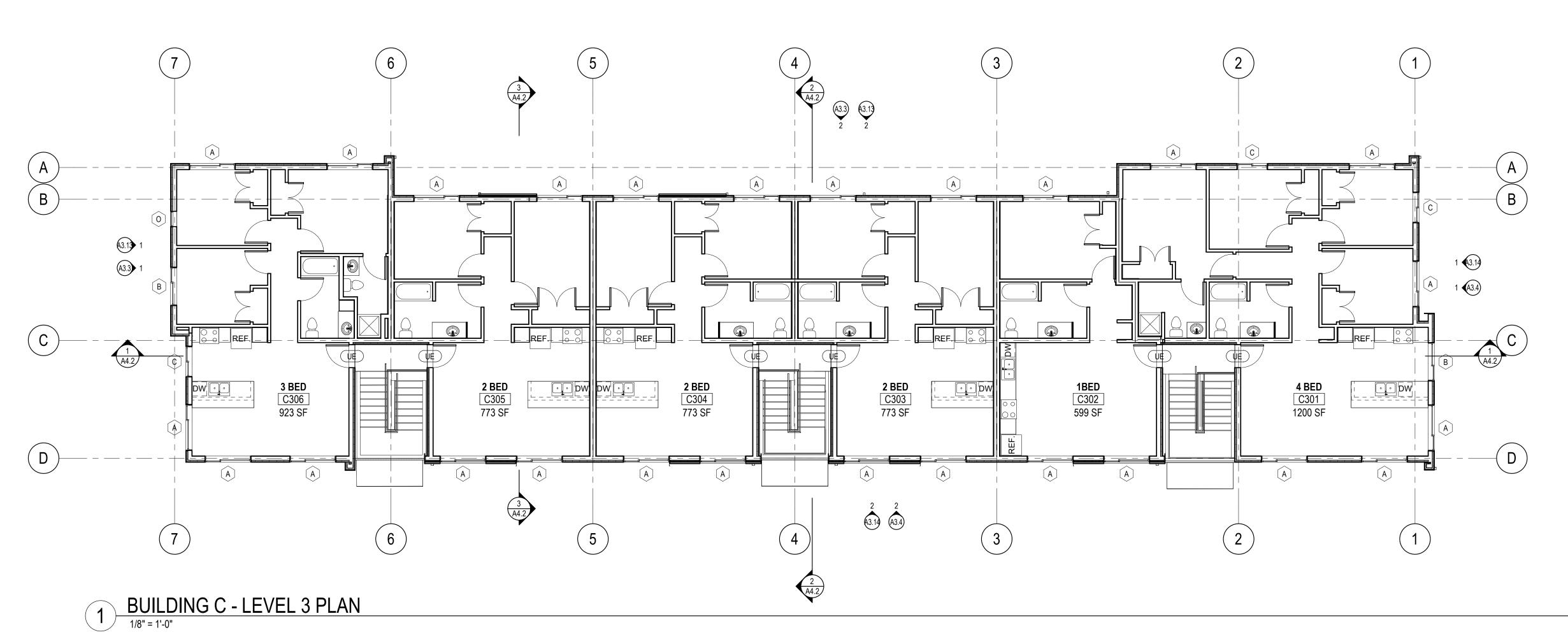
Description

CONTENTS:

BUILDING C -**LEVEL 2 PLAN**

SCALE: As indicated
DRAWN: RB, AM
CHECKED: KW
PROJECT NO: 2023004.00
SHEET:

- 1. REFER TO T1.0 FOR GENERAL NOTES.
- 2. REFER TO A7 SHEETS FOR INTERIOR PARTITION SCHEDULE.
- 3. REFER TO BUILDING SECTION (A4 SHEETS) AND SCHEDULES (A7 SHEETS) FOR EXTERIOR WALL, FLOOR, AND CEILING ASSEMBLIES.
- 4. SEE CIVIL & LANDSCAPE DRAWINGS FOR EXTERIOR OF BUILDING CONDITIONS BEYOND THE BUILDING PERIMETER.
- 5. REFER TO SCHEDULES (A7 SHEETS) FOR ADDITIONAL INFORMATION.
- 6. NOT ALL REQUIRED ACCESS PANELS HAVE BEEN SHOWN. PROVIDE ACCESS PANELS AS REQUIRED. COORDINATE THEIR LOCATION WITH ALL MECHANICAL AND ELECTRICAL ITEMS LOCATED IN WALLS & CEILINGS. PAINT TO MATCH ADJACENT SURFACES.
- 7. ROOMS WITH CAPACITY GREATER THAN 50 OCCUPANTS SHALL HAVE CLEARLY VISIBLE SIGNAGE INDICATING OCCUPANT CAPACITY FOR THAT ROOM.
- 8. SEE ENLARGED UNIT PLANS FOR UNIT DOOR TYPES.
- 9. SENSORY ACCESSIBLE UNITS PER SECTION 504 (HUD) NOTED WITH AN ASTERISK (*)









119 MAIN ST, STE #200 SEATTLE, WA 98104-2579 (206) 322-3322

SCRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

REVISION SCHEDULE

Description

CONTENTS:

BUILDING C -LEVEL 3 PLAN

SCALE: As indicated
DRAWN: RB, AM
CHECKED: KW
PROJECT NO: 2023004.00
SHEET:

A2.33

ROOF PLAN NOTES:

- FOR ROOF TYPE ASSEMBLIES SEE BUILDING SECTIONS (A4 SHEETS)
- SEE EXTERIOR ELEVATIONS (A3 SHEETS) FOR DOWNSPOUT LOCATIONS. COORDINATE WITH CIVIL. NOTIFY ARCHITECT OF ANY CONFLICTS.
- SIZE FALL PROTECTION POSTS TO HAVE 10" FREE LENGTH OF POST ABOVE THE DEEPEST INSULATION LOCATION FOR WATERPROOFING. ALL POSTS TO BE THE SAME HEIGHT.
- DRAWINGS INDICATE GENERAL & TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER, TYPICAL DETAILS SHALL APPLY.
- ROOF PIPING AND VENT PENETRATION LOCATIONS ARE SHOWN FOR CONTRACTOR COORDINATION AND FOR DESIGN INTENT. FOR ACTUAL PENETRATION QUANTITIES REQUIRED, SEE MECH.

ROOF VENT CALCULATIONS - BLDG C

<u>NOTE:</u> GABLE VENTS BASIS OF DESIGN: 12" x 18" = 93 SQ IN NFVA 18" x 24" = 190 SQ IN NFVA 24" x 30" = 317 SQ IN NFVA

ROOF AREA C1 TOTAL ATTIC AREA:

REQUIRED NFVA (AREA/150): 3.87 SF (557.28 SQ IN) TOTAL VENT PROVIDED: 2 GABLE VENTS (24" X 30") = 634 SQ IN

ROOF AREA C2

634 SQ IN > 557.28, THEREFORE **OK**

TOTAL ATTIC AREA: 322 SF
REQUIRED NFVA (AREA/150): 2.15 SF (309.6 SQ IN)

TOTAL VENT PROVIDED: 2 GABLE VENTS (18" X 24") = 380 SQ IN

380 SQ IN > 309.6, THEREFORE **OK**

ROOF AREA C3 TOTAL ATTIC AREA: 1393 SF

REQUIRED NFVA (AREA/150): 9.29 SF (1337.76 SQ IN)

TOTAL VENT PROVIDED: 5 GABLE VENTS (24" X 30") = 1585 SQ IN 1585 SQ IN > 1337.76, THEREFORE **OK**

ROOF AREA C4 TOTAL ATTIC AREA:

1393 SF

REQUIRED NFVA (AREA/150): 9.29 SF (1337.76 SQ IN)

TOTAL VENT PROVIDED: 5 GABLE VENTS (24" X 30") = 1585 SQ IN 1585 SQ IN > 1337.76, THEREFORE **OK**

ROOF AREA C5 TOTAL ATTIC AREA:

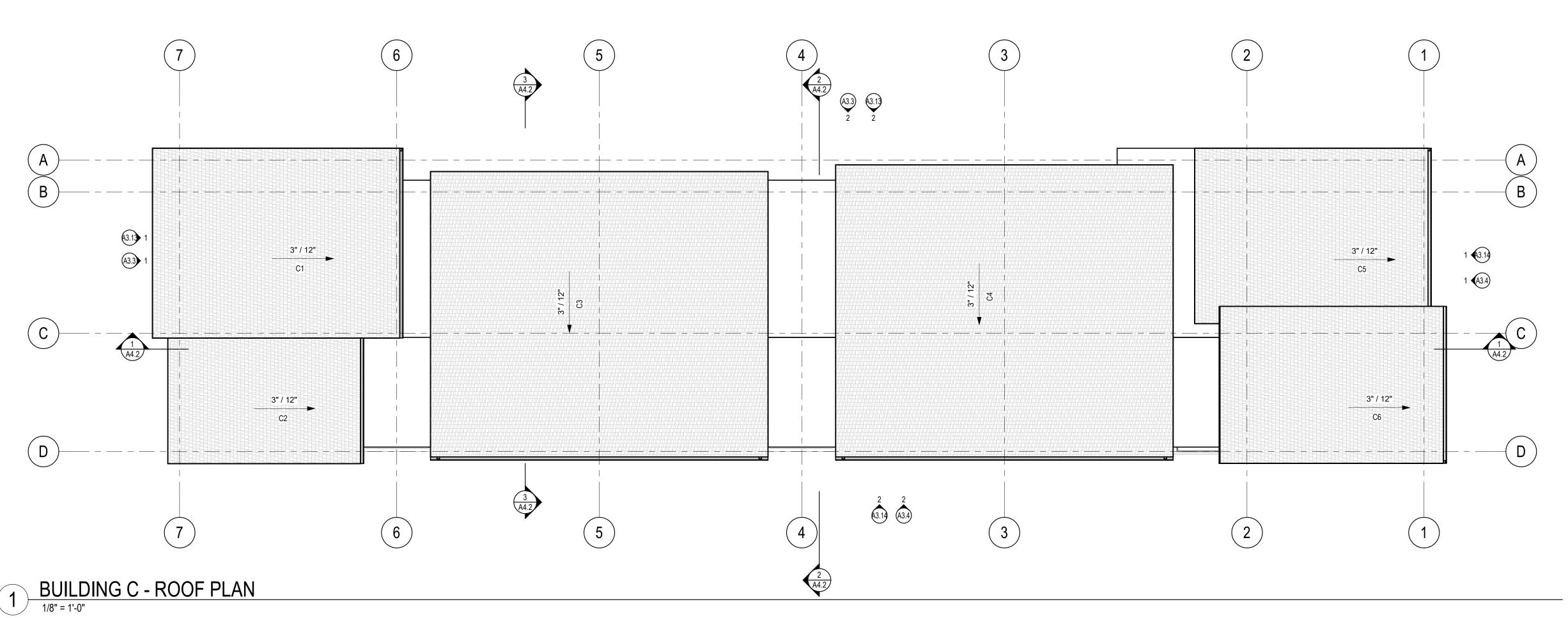
REQUIRED NFVA (AREA/150): 3.4 SF (489.6 SQ IN) TOTAL VENT PROVIDED: 2 GABLE VENTS (24" X 30") = 634 SQ IN

634 SQ IN > 489.6, THEREFORE **OK**

ROOF AREA C6 TOTAL ATTIC AREA:

REQUIRED NFVA (AREA/150): 2.75 SF (396 SQ IN)

TOTAL VENT PROVIDED: 2 GABLE VENTS (24" X 30") = 634 SQ IN 634 SQ IN > 396, THEREFORE **OK**









119 MAIN ST, STE #200 SEATTLE, WA 98104-2579 (206) 322-3322

HOPE **S**(

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

REVISION SCHEDULE

Description

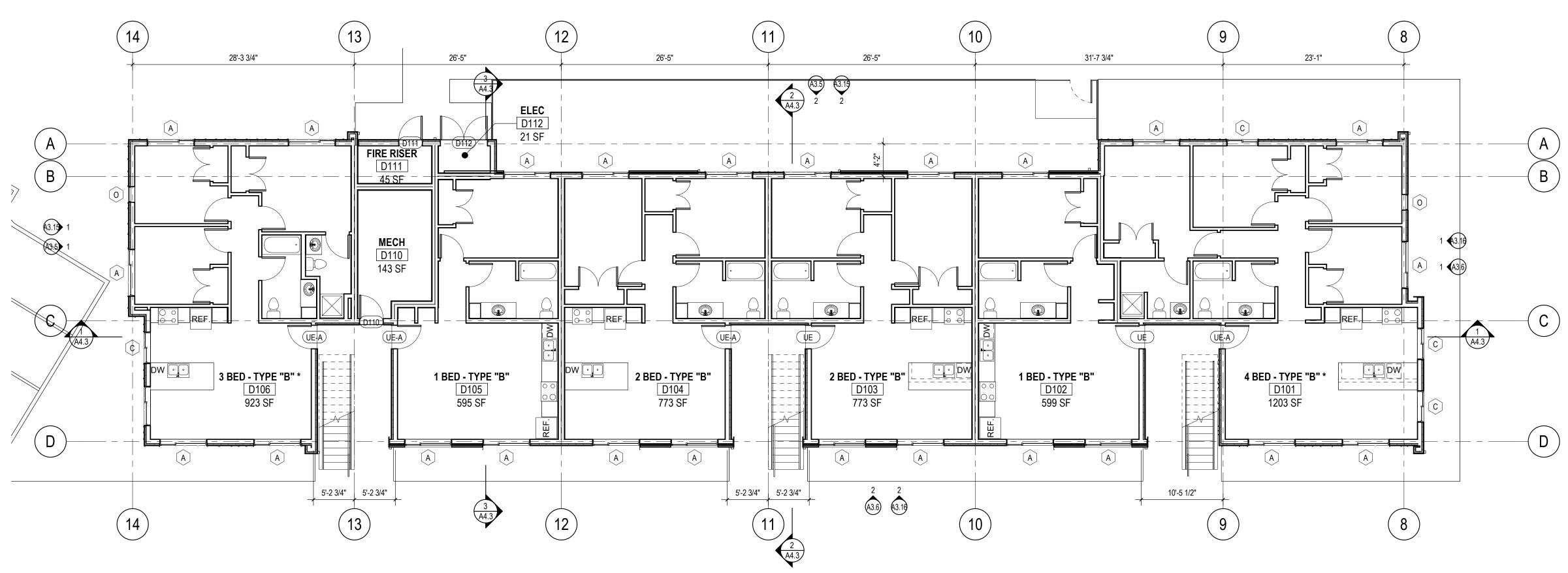
CONTENTS:

BUILDING C -**ROOF PLAN**

SCALE: As indicated
DRAWN: RB, AM
CHECKED: KW
PROJECT NO: 2023004.00
SHEET:

PLAN NOTES:

- 1. REFER TO T1.0 FOR GENERAL NOTES.
- 2. REFER TO A7 SHEETS FOR INTERIOR PARTITION SCHEDULE.
- 3. REFER TO BUILDING SECTION (A4 SHEETS) AND SCHEDULES (A7 SHEETS) FOR EXTERIOR WALL, FLOOR, AND CEILING ASSEMBLIES.
- 4. SEE CIVIL & LANDSCAPE DRAWINGS FOR EXTERIOR OF BUILDING CONDITIONS BEYOND THE BUILDING PERIMETER.
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- 7. ROOMS WITH CAPACITY GREATER THAN 50 OCCUPANTS SHALL HAVE CLEARLY VISIBLE SIGNAGE INDICATING OCCUPANT CAPACITY FOR THAT ROOM.
- 8. SEE ENLARGED UNIT PLANS FOR UNIT DOOR TYPES.
- 9. SENSORY ACCESSIBLE UNITS PER SECTION 504 (HUD) NOTED WITH AN ASTERISK (*)









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HOUSING HOPE SCRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

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Description

CONTENTS:

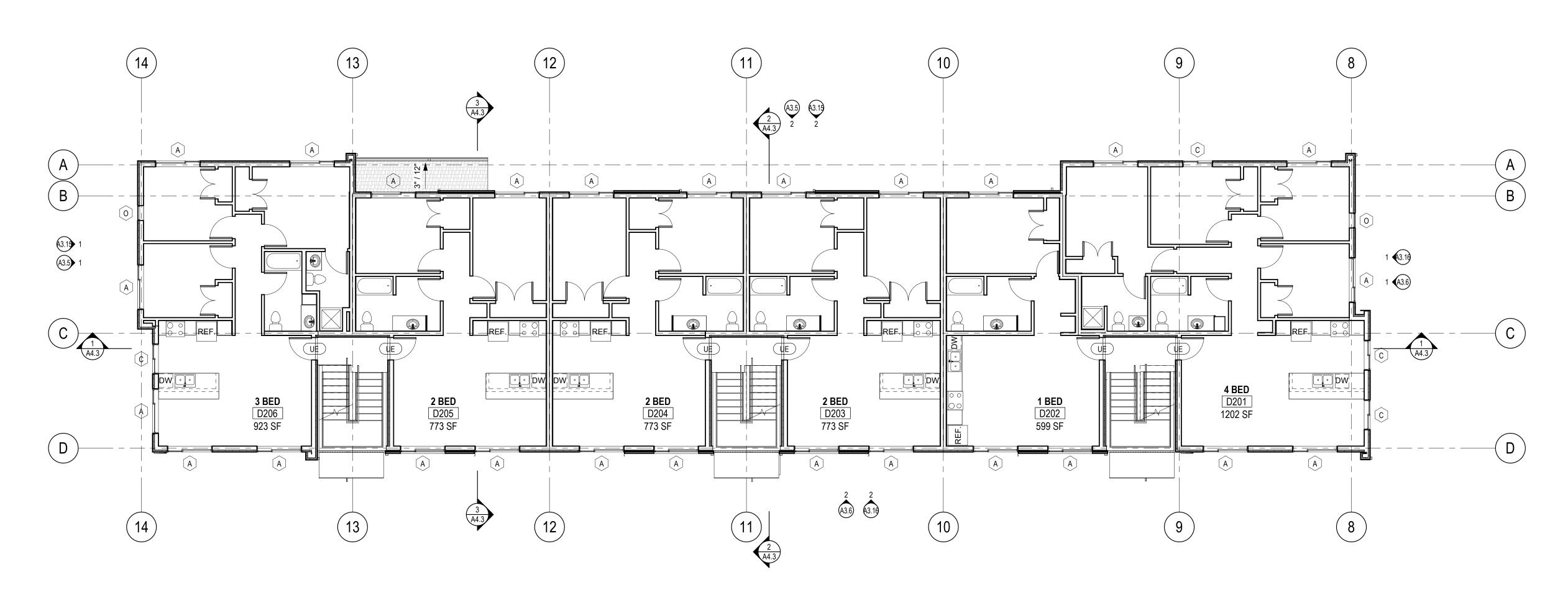
BUILDING D -LEVEL 1 PLAN

SCALE: As indicated
DRAWN: RB, AM
CHECKED: KW
PROJECT NO: 2023004.00
SHEET:

A2.41

PLAN NOTES:

- 1. REFER TO T1.0 FOR GENERAL NOTES.
- 2. REFER TO A7 SHEETS FOR INTERIOR PARTITION SCHEDULE.
- 3. REFER TO BUILDING SECTION (A4 SHEETS) AND SCHEDULES (A7 SHEETS) FOR EXTERIOR WALL, FLOOR, AND CEILING ASSEMBLIES.
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SCRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

REVISION SCHEDULE

Description

CONTENTS:

BUILDING D -LEVEL 2 PLAN

SCALE: As indicated

DRAWN: RB, AM

CHECKED: KW

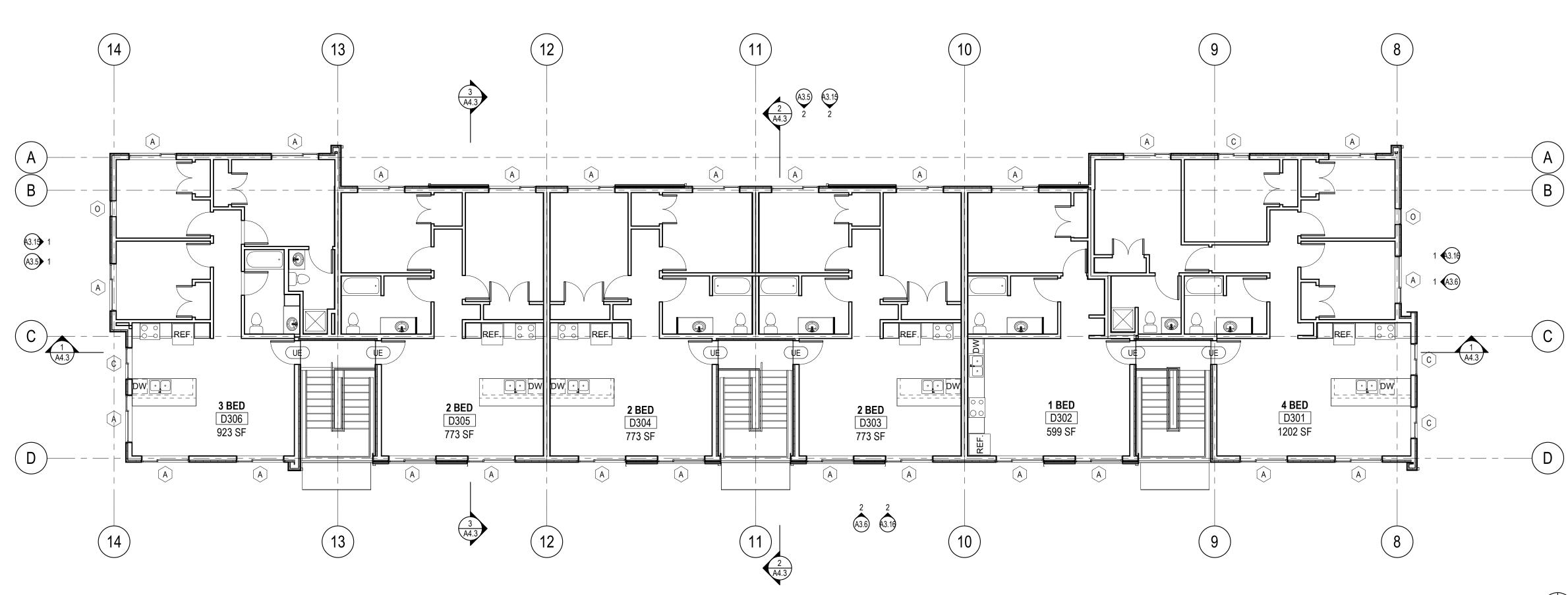
PROJECT NO: 2023004.00

SHEET:

A2.42

PLAN NOTES:

- 1. REFER TO T1.0 FOR GENERAL NOTES.
- 2. REFER TO A7 SHEETS FOR INTERIOR PARTITION SCHEDULE.
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HOUSING HOPE SCRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

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Description

CONTENTS:

BUILDING D -LEVEL 3 PLAN

SCALE: As indicated

DRAWN: RB, AM

CHECKED: KW

PROJECT NO: 2023004.00

SHEET:

A2.43

ROOF PLAN NOTES:

- FOR ROOF TYPE ASSEMBLIES SEE BUILDING SECTIONS (A4 SHEETS)
- SEE EXTERIOR ELEVATIONS (A3 SHEETS) FOR DOWNSPOUT LOCATIONS. COORDINATE WITH CIVIL. NOTIFY ARCHITECT OF ANY CONFLICTS.
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ROOF VENT CALCULATIONS - BLDG D

NOTE: GABLE VENTS BASIS OF DESIGN: 12" x 18" = 93 SQ IN NFVA

18" x 24" = 190 SQ IN NFVA 24" x 30" = 317 SQ IN NFVA

ROOF AREA D1 TOTAL ATTIC AREA: REQUIRED NFVA (AREA/150): 3.87 SF (557.28 SQ IN)

TOTAL VENT PROVIDED: 2 GABLE VENTS (24" X 30") = 634 SQ IN 634 SQ IN > 557.28, THEREFORE **OK**

ROOF AREA D2 TOTAL ATTIC AREA: 322 SF

REQUIRED NFVA (AREA/150): 2.15 SF (309.6 SQ IN) TOTAL VENT PROVIDED: 2 GABLE VENTS (18" X 24") = 380 SQ IN 380 SQ IN > 309.6, THEREFORE **OK**

ROOF AREA D3 TOTAL ATTIC AREA: 1393 SF

REQUIRED NFVA (AREA/150): 9.29 SF (1337.76 SQ IN) TOTAL VENT PROVIDED: 5 GABLE VENTS (24" X 30") = 1585 SQ IN 1585 SQ IN > 1337.76, THEREFORE **OK**

ROOF AREA D4 TOTAL ATTIC AREA:

1393 SF

REQUIRED NFVA (AREA/150): 9.29 SF (1337.76 SQ IN)
TOTAL VENT PROVIDED: 5 GABLE VENTS (24" X 30") = 1585 SQ IN 1585 SQ IN > 1337.76, THEREFORE **OK**

ROOF AREA D5 TOTAL ATTIC AREA:

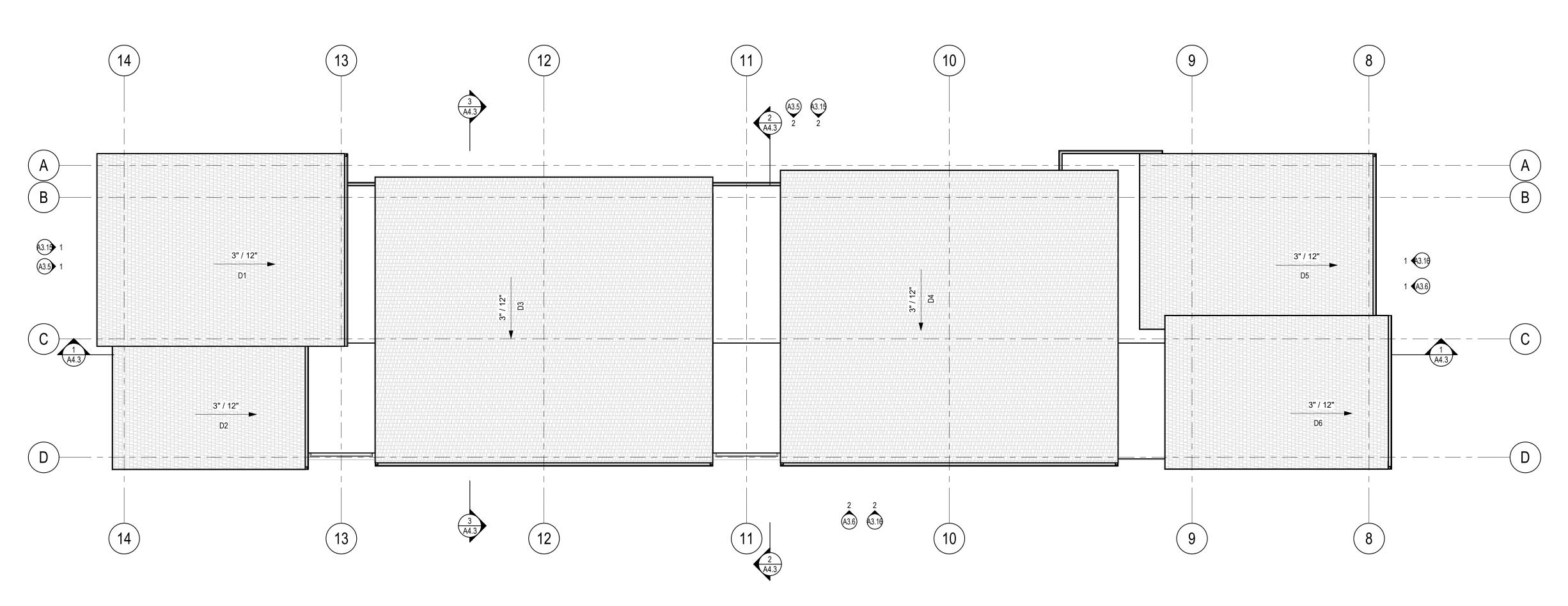
REQUIRED NFVA (AREA/150): 3.4 SF (489.6 SQ IN) TOTAL VENT PROVIDED: 2 GABLE VENTS (24" X 30") = 634 SQ IN

634 SQ IN > 489.6, THEREFORE <u>**OK**</u>

ROOF AREA D6 TOTAL ATTIC AREA:

413 SF REQUIRED NFVA (AREA/150): 2.75 SF (396 SQ IN)

TOTAL VENT PROVIDED: 2 GABLE VENTS (24" X 30") = 634 SQ IN 634 SQ IN > 396, THEREFORE <u>**OK**</u>









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DESIGN DEVELOPMENT

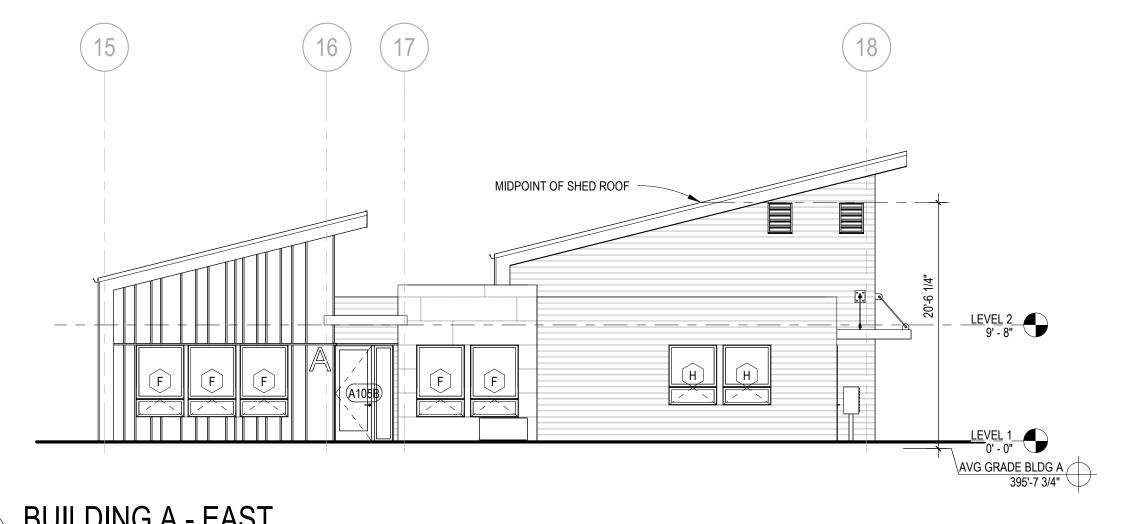
ISSUE DATE: SEPTEMBER 20, 2023

REVISION SCHEDULE Description

CONTENTS:

BUILDING D -**ROOF PLAN**

SCALE: As indicated
DRAWN: RB, AM
CHECKED: KW
PROJECT NO: 2023004.00
SHEET:





SIDING TYPE 1: FIBER-CEMENT PANEL SIDING

<u>SIDING TYPE 2</u>: FIBER-CEMENT BATTEN SIDING - VARIABLE WIDTH PATTERN

SIDING TYPE 3: FIBER-CEMENT LAP SIDING

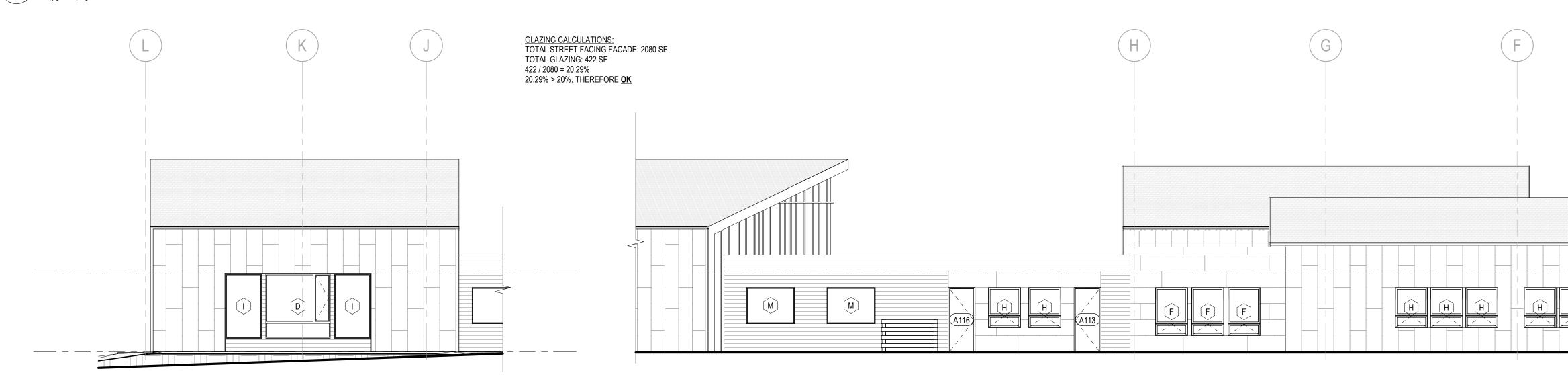






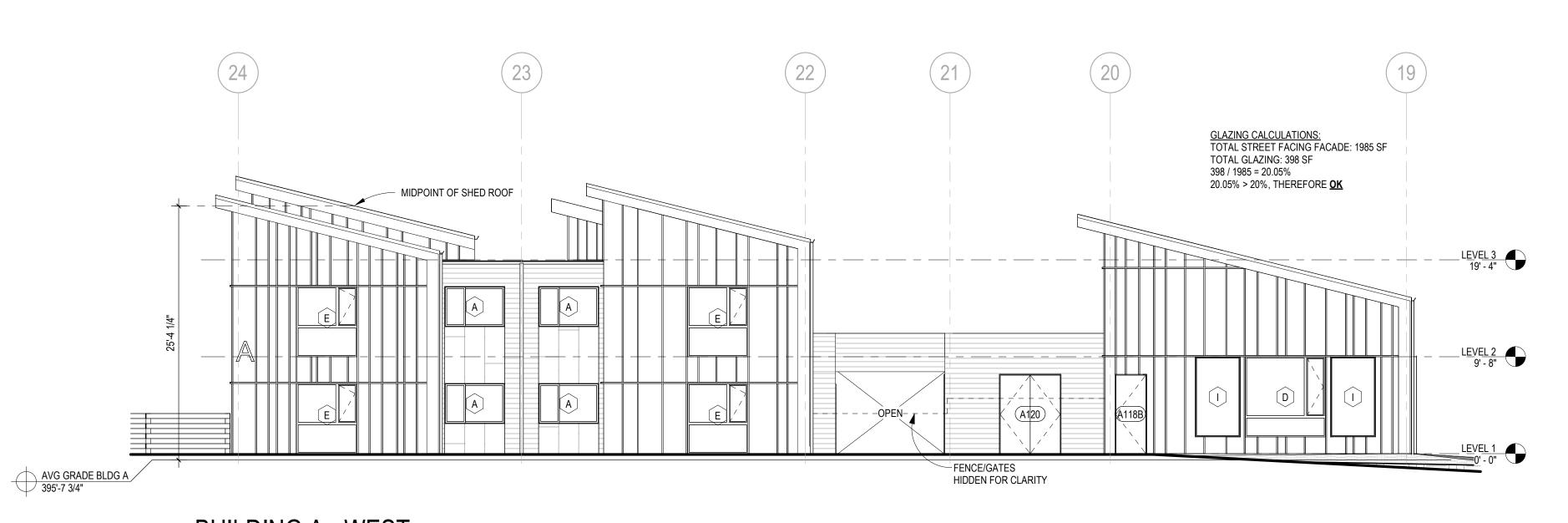
119 MAIN ST, STE #200 SEATTLE, WA 98104-2579 (206) 322-3322

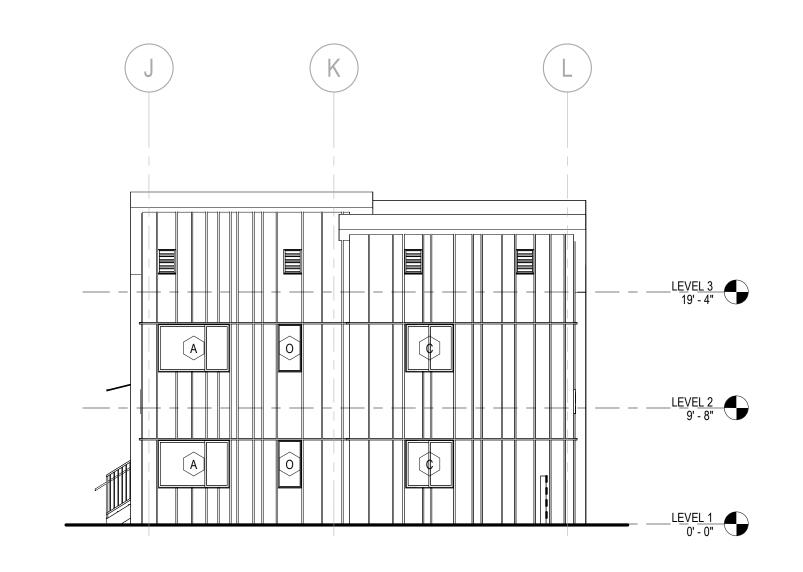
BUILDING A - EAST
1/8" = 1'-0"



BUILDING A - SOUTH 2

BUILDING A - SOUTH 1





5 BUILDING A - NORTH 3

1/8" = 1'-0"

CONTENTS: **EXTERIOR ELEVATIONS -BUILDING A**

Date

SCALE: 1/8" = 1'-0"

DRAWN: RB, AM CHECKED: KW PROJECT NO: 2023004.00

CRIBER

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

REVISION SCHEDULE

Description

SIDING TYPE 1: FIBER-CEMENT PANEL SIDING

SIDING TYPE 2: FIBER-CEMENT BATTEN SIDING - VARIABLE WIDTH PATTERN

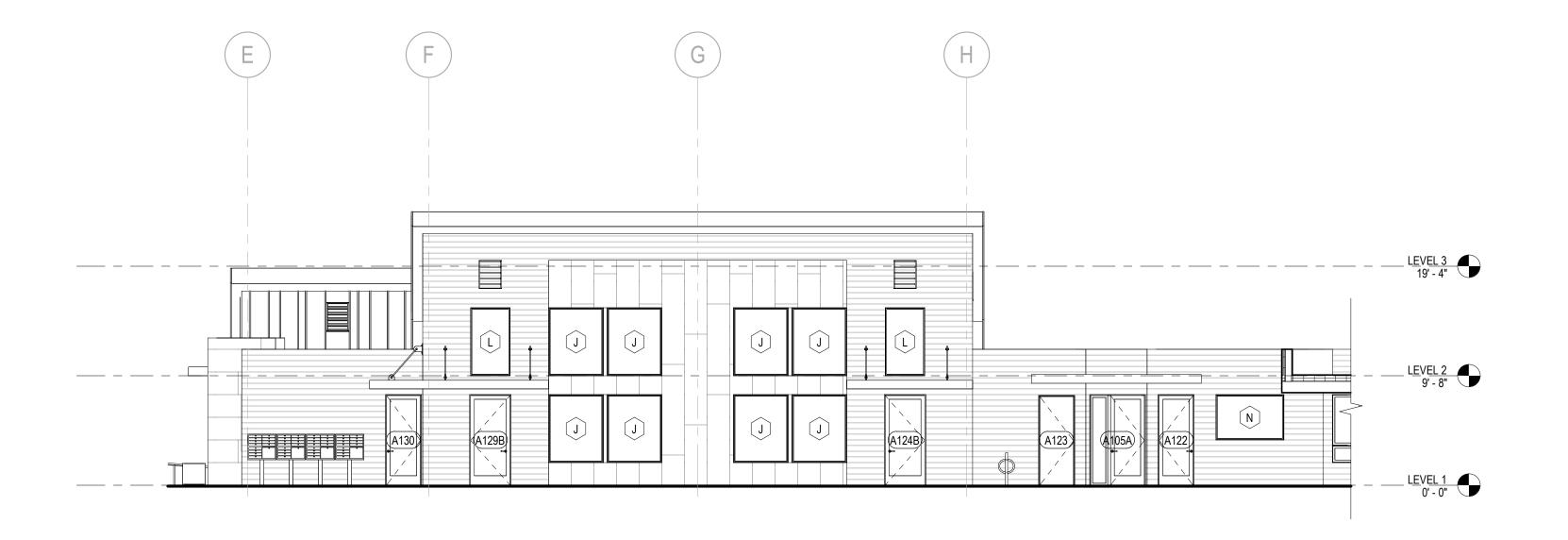
SIDING TYPE 3: FIBER-CEMENT LAP SIDING

HOUSING HOPE we keep hope alive

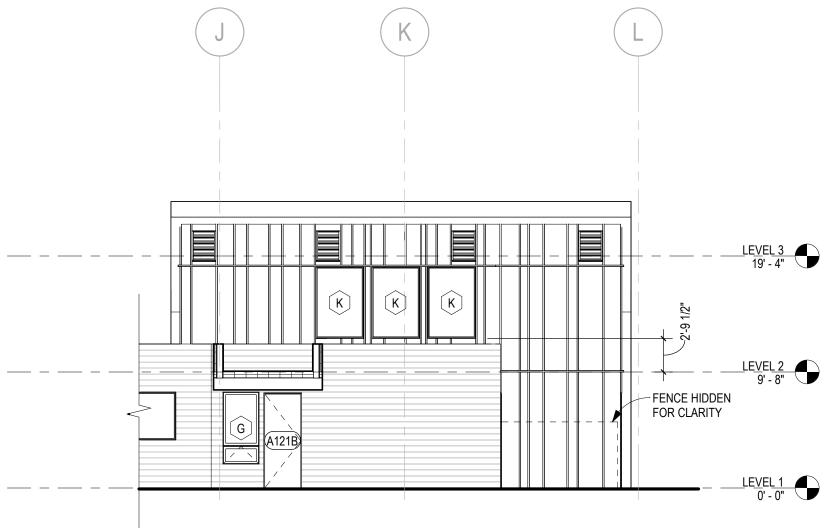




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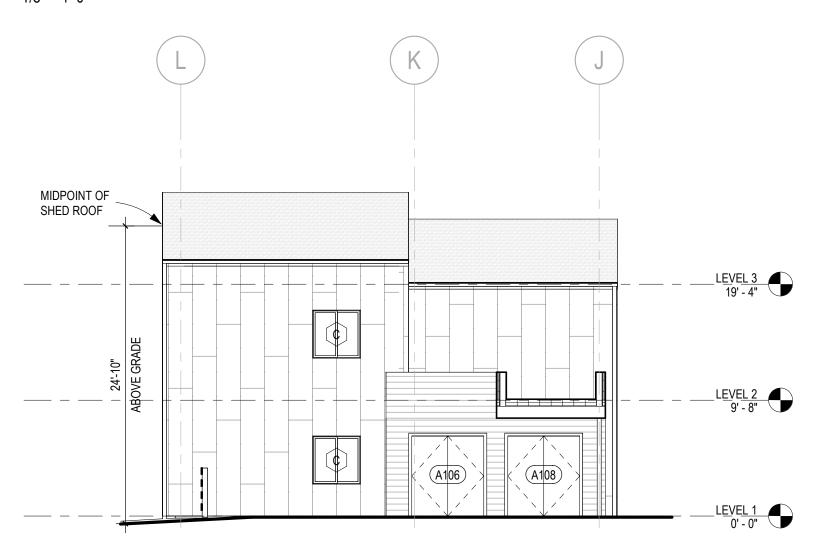


1 BUILDING A - NORTH 1
1/8" = 1'-0"



2 BUILDING A - NORTH 2

1/8" = 1'-0"



3 BUILDING A - SOUTH 3

1/8" = 1'-0"



HOPE

7

EXTERIOR
ELEVATIONS BUILDING A

SCALE: 1/8" = 1'-0"

DRAWN: RB, AM

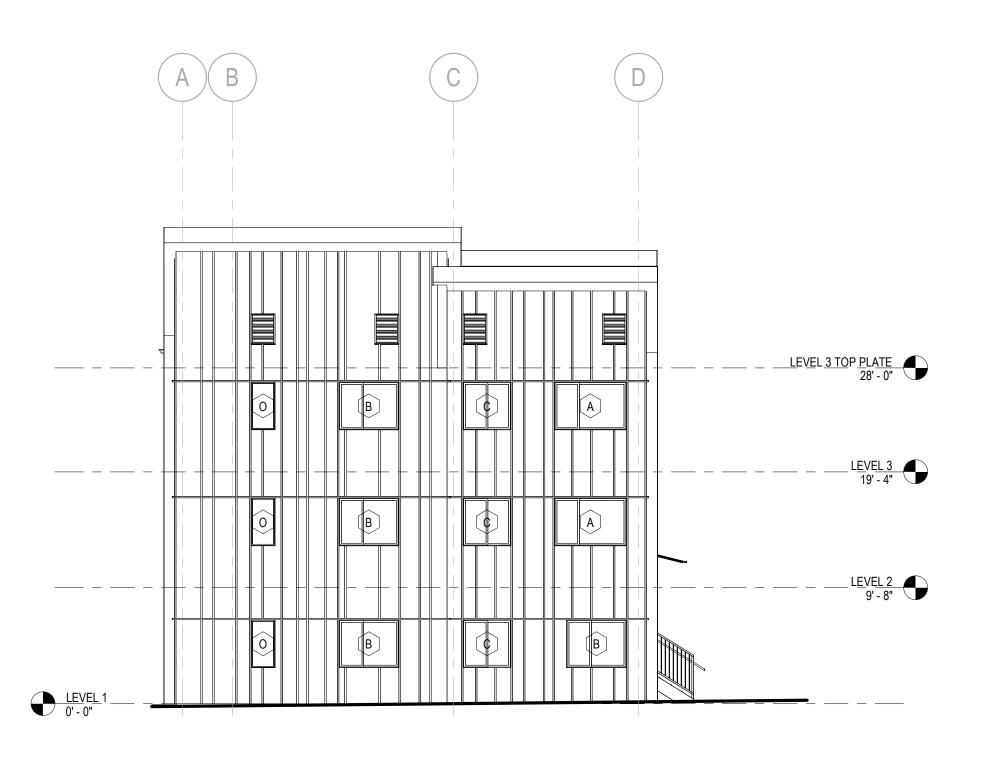
CHECKED: KW

PROJECT NO: 2023004.00

SHEET:

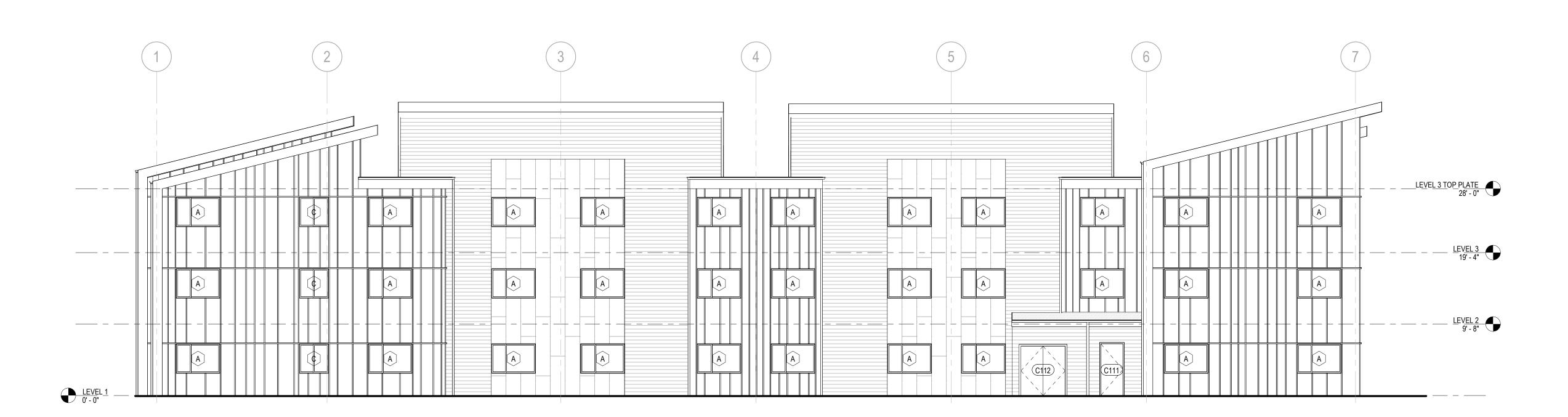


CONTRACTOR IS RESPONSIBLE FOR COORDINATING DRAWINGS AND SPECIFICATIONS



1 BUILDING C - NORTH

1/8" = 1'-0"



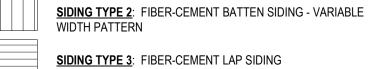
BUILDING C - EAST

1/8" = 1'-0"



SIDING TYPE 2: FIBER-CEMENT PANEL SIDING

SIDING TYPE 2: FIBER-CEMENT BATTEN SIDING









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HOUSING HOPE SCRIBER PLACE

DESIGN DEVELOPMENT

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Date Description

CONTENTS:

EXTERIOR ELEVATIONS -BUILDING C

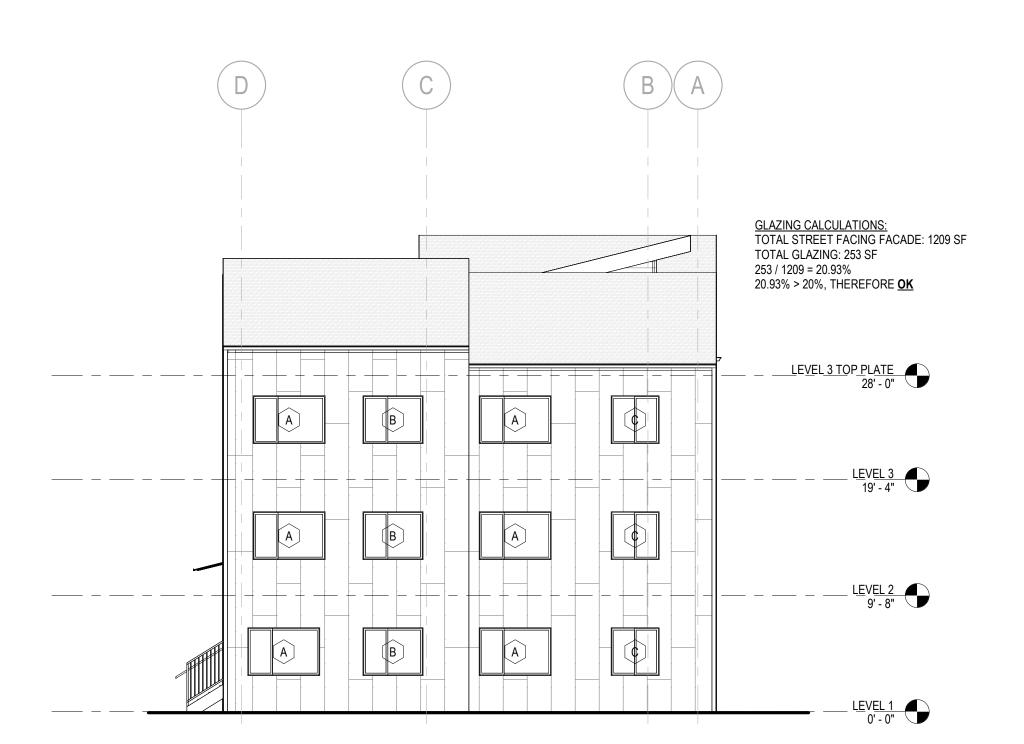
SCALE: 1/8" = 1'-0"

DRAWN: RB, AM

CHECKED: KW

PROJECT NO: 2023004.00

SHEET:



1 BUILDING C - SOUTH

1/8" = 1'-0"



2 BUILDING C - WEST

1/8" = 1'-0"



SIDING TYPE 1: FIBER-CEMENT PANEL SIDING

SIDING TYPE 2: FIBER-CEMENT BATTEN SIDING - VARIABLE WIDTH PATTERN

SIDING TYPE 3: FIBER-CEMENT LAP SIDING



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HOUSING HOPE SCRIBER PLACE

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REVISION SCHEDULE

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CONTENTS:

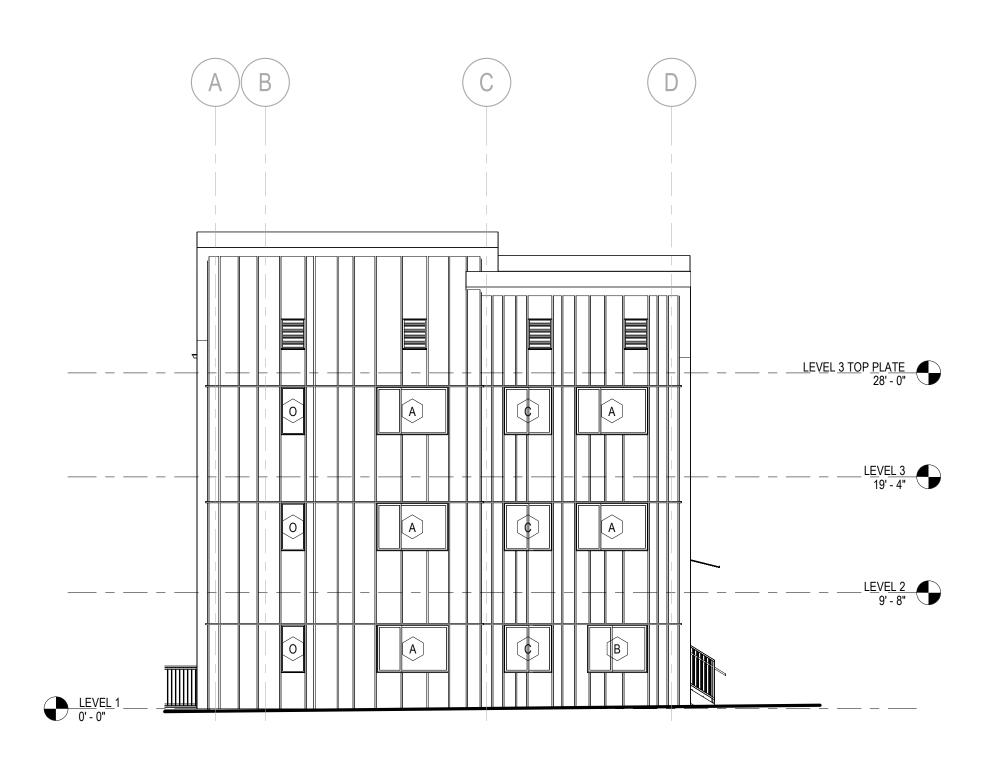
EXTERIOR ELEVATIONS -BUILDING C

SCALE: 1/8" = 1'-0"

DRAWN: RB, AM

CHECKED: KW

PROJECT NO: 2023004.00







BUILDING D - EAST

1/8" = 1'-0"



SIDING TYPE 1: FIBER-CEMENT PANEL SIDING

SIDING TYPE 2: FIBER-CEMENT BATTEN SIDING - VARIABLE WIDTH PATTERN

WIDTH PATTERN

SIDING TYPE 3: FIBER-CEMENT LAP SIDING







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HOUSING HOPE SCRIBER PLACE

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REVISION SCHEDULE

Date Description

CONTENTS:

EXTERIOR ELEVATIONS -BUILDING D

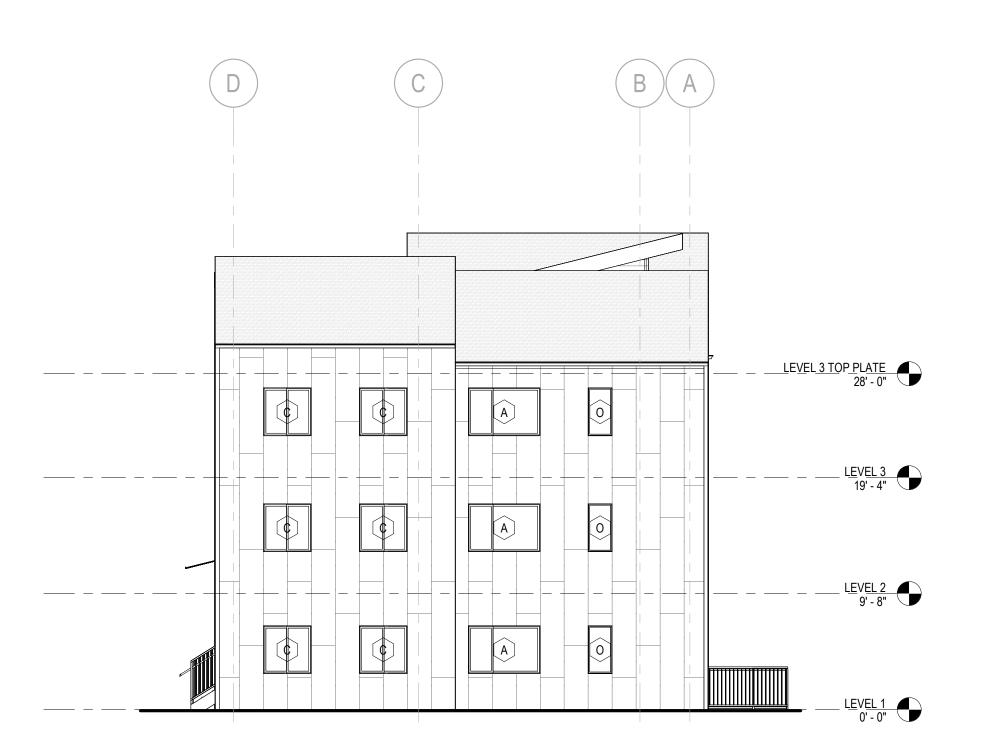
SCALE: 1/8" = 1'-0"

DRAWN: RB, AM

CHECKED: KW

PROJECT NO: 2023004.00

SHEET:



ELEVATION LEGEND

SIDING TYPE 1: FIBER-CEMENT PANEL SIDING

<u>SIDING TYPE 2</u>: FIBER-CEMENT BATTEN SIDING - VARIABLE WIDTH PATTERN

SIDING TYPE 3: FIBER-CEMENT LAP SIDING





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DESIGN DEVELOPMENT

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ISSUE DATE: SEPTEMBER 20, 2023

REVISION SCHEDULE Description

CONTENTS:

EXTERIOR ELEVATIONS -BUILDING D

SCALE: 1/8" = 1'-0"

DRAWN: RB, AM CHECKED: KW PROJECT NO: 2023004.00

A3.6

BUILDING D - SOUTH

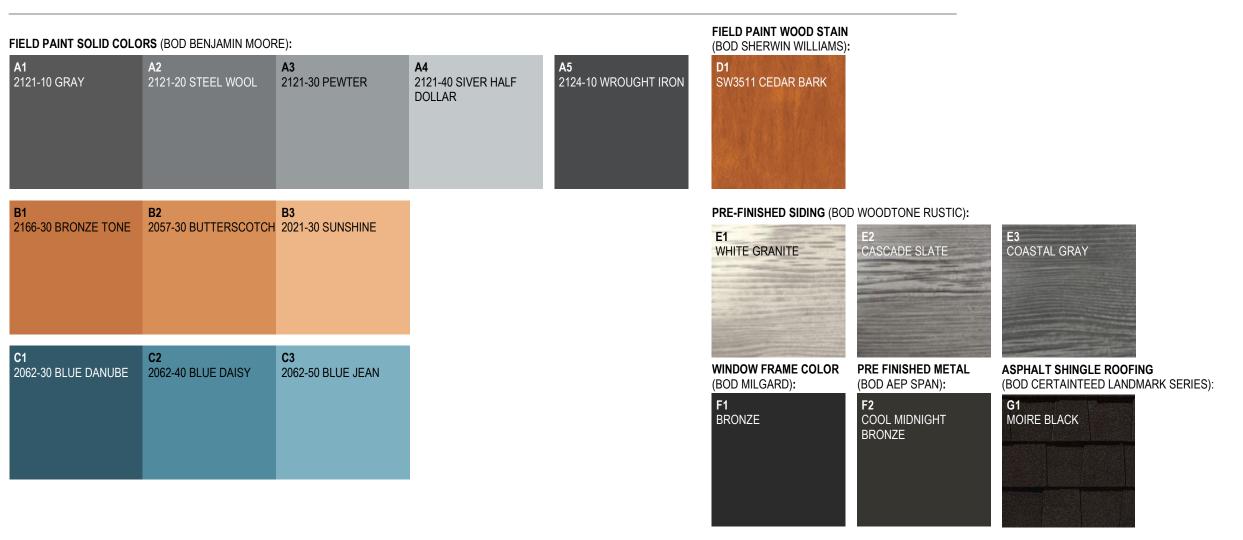


BUILDING D - WEST



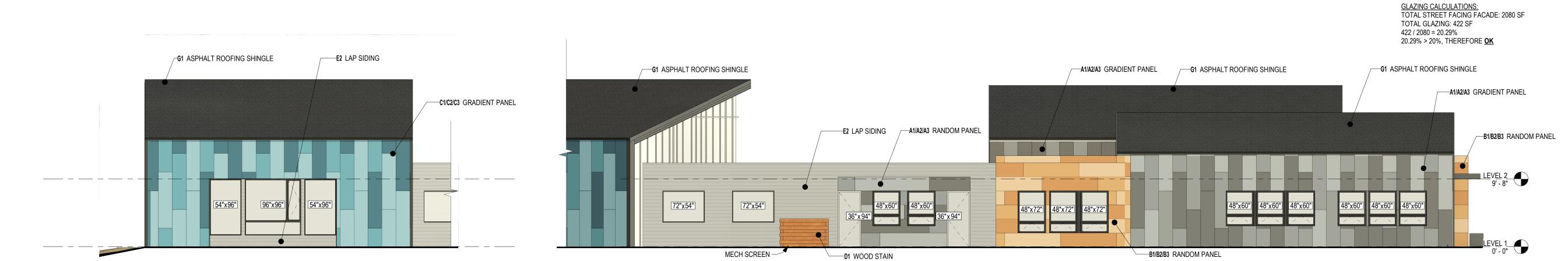
BUILDING A - SOUTH 2 COLOR

EXTERIOR PAINT COLOR SCHEDULE





(206) 322-3322



BUILDING A - SOUTH 1 COLOR

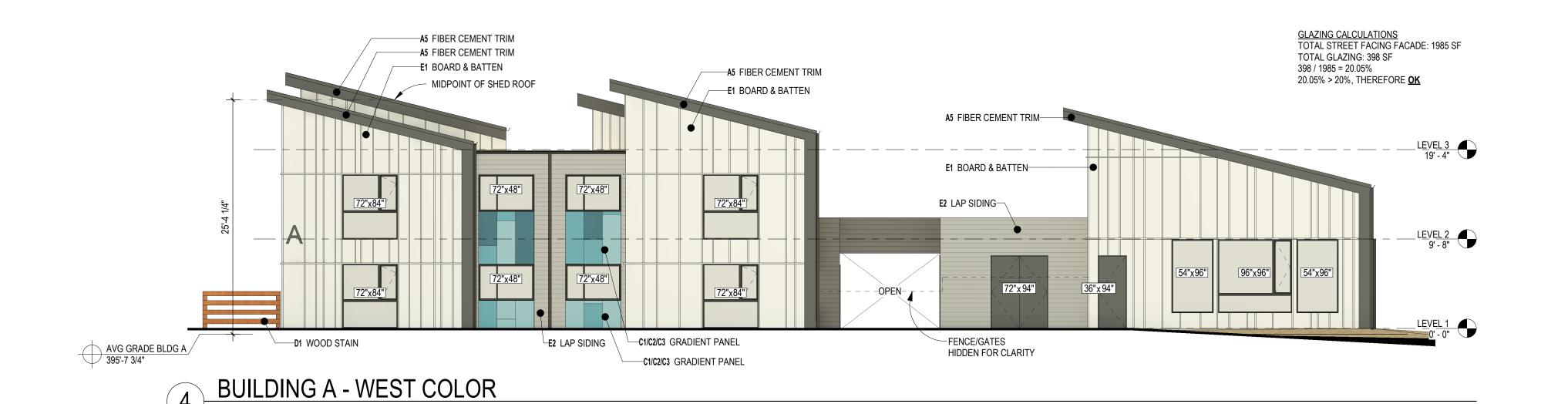
HOUSING HOPE SCRIBER PLAC

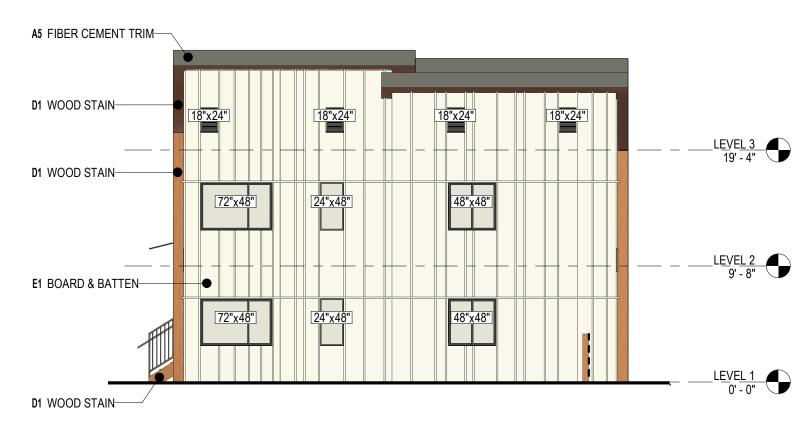
DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

REVISION SCHEDULE

Date Description





5 BUILDING A - NORTH 3 COLOR

COLOR
ELEVATIONS BUILDING A

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

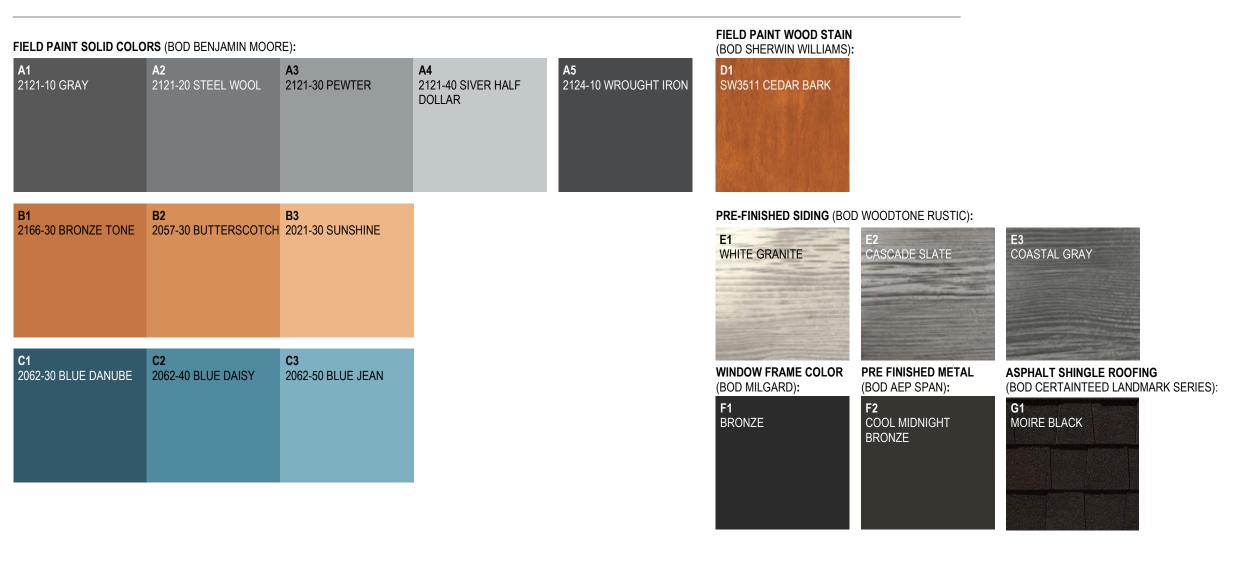
DRAWN: RB, AM

CHECKED: KW

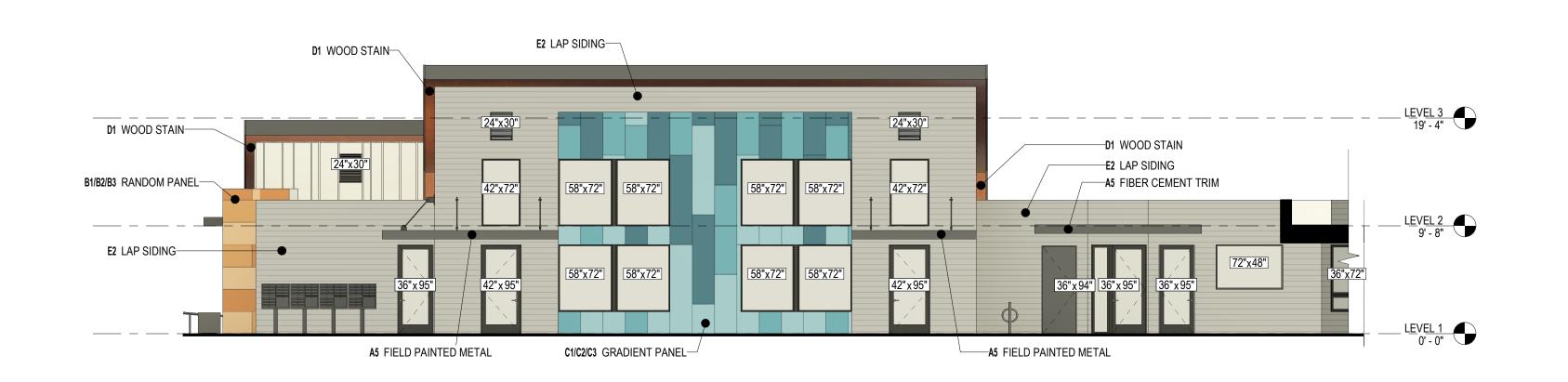
PROJECT NO: 2023004.00

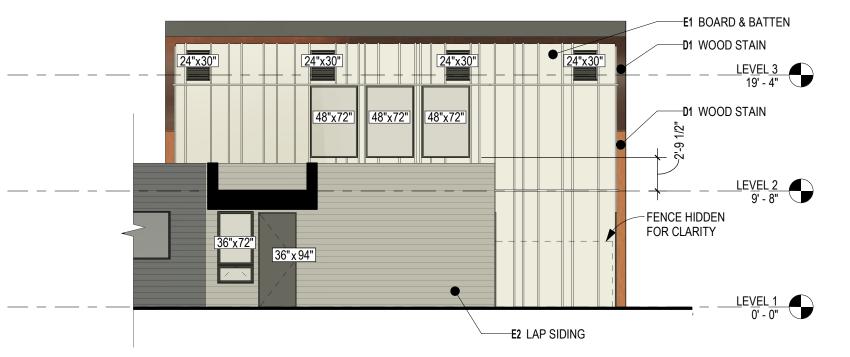
SHEET:

EXTERIOR PAINT COLOR SCHEDULE









1 BUILDING A - NORTH 1 - COLOR

1/8" = 1'-0"

BUILDING A - NORTH 2 - COLOR 1/8" = 1'-0"



3 BUILDING A - SOUTH 3 COLOR

1/8" = 1'-0"

HOUSING HOPE SCRIBER PLACE

DESIGN DEVELOPMENT

REVISION SCHEDULE

Date Description

COLOR ELEVATIONS - BUILDING A

SCALE: 1/8" = 1'-0"

DRAWN: RB, AM

CHECKED: KW

PROJECT NO: 2023004.00

SHEET:









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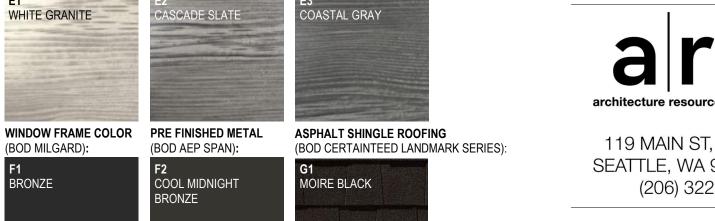
DESIGN

DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

REVISION SCHEDULE

Description



FIELD PAINT WOOD STAIN (BOD SHERWIN WILLIAMS):

WHITE GRANITE

(BOD MILGARD):

BRONZE

PRE-FINISHED SIDING (BOD WOODTONE RUSTIC):



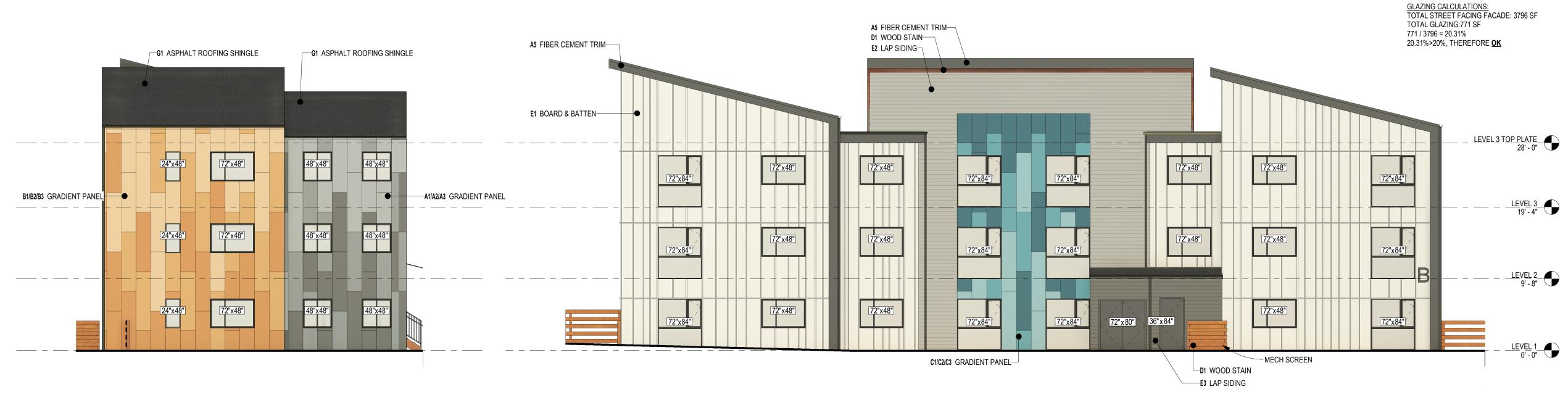
166-30 BRONZE TONE 2057-30 BUTTERSCOTCH 2021-30 SUNSHINE

 C1
 C2
 C3

 2062-30 BLUE DANUBE
 2062-40 BLUE DAISY
 2062-50 BLUE JEAN

BUILDING B - NORTH COLOR
1/8" = 1'-0"

BUILDING B - EAST COLOR
1/8" = 1'-0"



CONTENTS:

Date

COLOR **ELEVATIONS -BUILDING B**

SCALE: 1/8" = 1'-0" RB, AM DRAWN: CHECKED: KW PROJECT NO: 2023004.00

A5 FIBER CEMENT TRIM E1 BOARD & BATTEN D1 WOOD STAIN LEVEL 3 TOP PLATE 28°-0" 124"x48" 160"x48" 160"x48" 172"x48" 100 WOOD STAIN LEVEL 2 9'-8" D1 WOOD STAIN LEVEL 2 9'-8" D1 WOOD STAIN LEVEL 2 9'-8" D1 WOOD STAIN

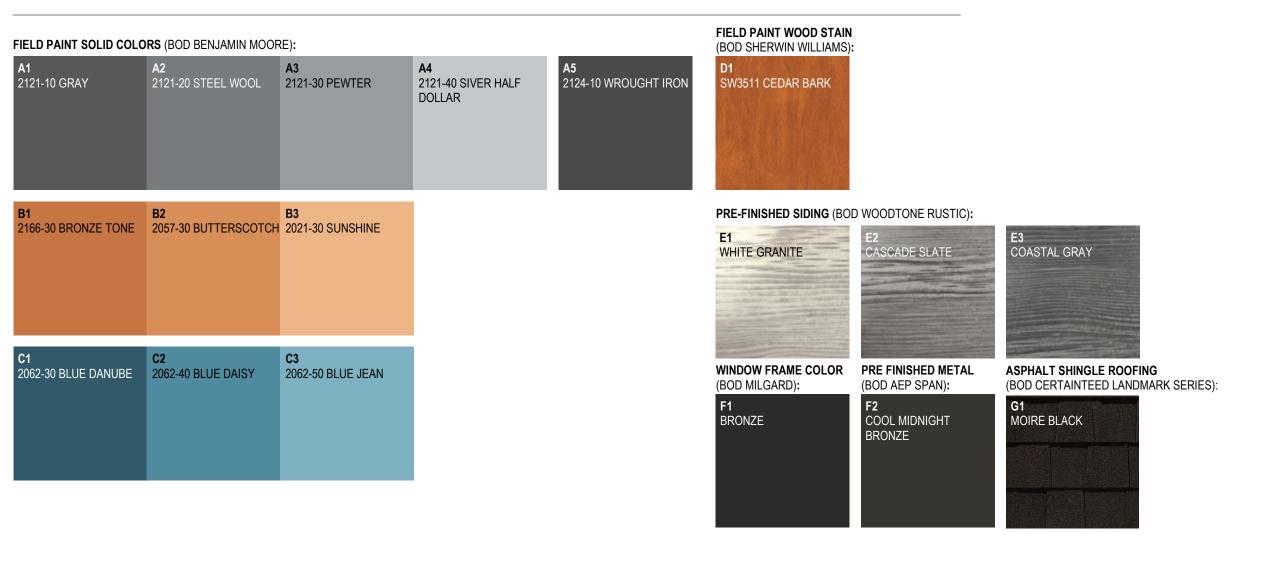
1 BUILDING C - NORTH COLOR 1/8" = 1'-0"



2 BUILDING C - EAST COLOR

1/8" = 1'-0"

EXTERIOR PAINT COLOR SCHEDULE









119 MAIN ST, STE #200 SEATTLE, WA 98104-2579 (206) 322-3322

OUSING HOPE CRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

REVISION SCHEDULE

Date Description

CONTENTS:

COLOR ELEVATIONS -BUILDING C

SCALE: 1/8" = 1'-0"

DRAWN: RB, AM

CHECKED: KW

PROJECT NO: 2023004.00

SHEET:

TOTAL STREET FACING FACADE: 1209 SF TOTAL GLAZING 253 SF 253 1709 = 201935 20193% > 2019, THEREFORE OK 20193% > 20193%

1 BUILDING C - SOUTH COLOR



EXTERIOR PAINT COLOR SCHEDULE









119 MAIN ST, STE #200 SEATTLE, WA 98104-2579 (206) 322-3322

SUSING HOPE RIBER PLACE

DESIGN DEVELOPMENT

S(

ISSUE DATE: SEPTEMBER 20, 2023

REVISION SCHEDULE

Date Description

CONTENTS:

COLOR ELEVATIONS-BUILDING C

SCALE: 1/8" = 1'-0"

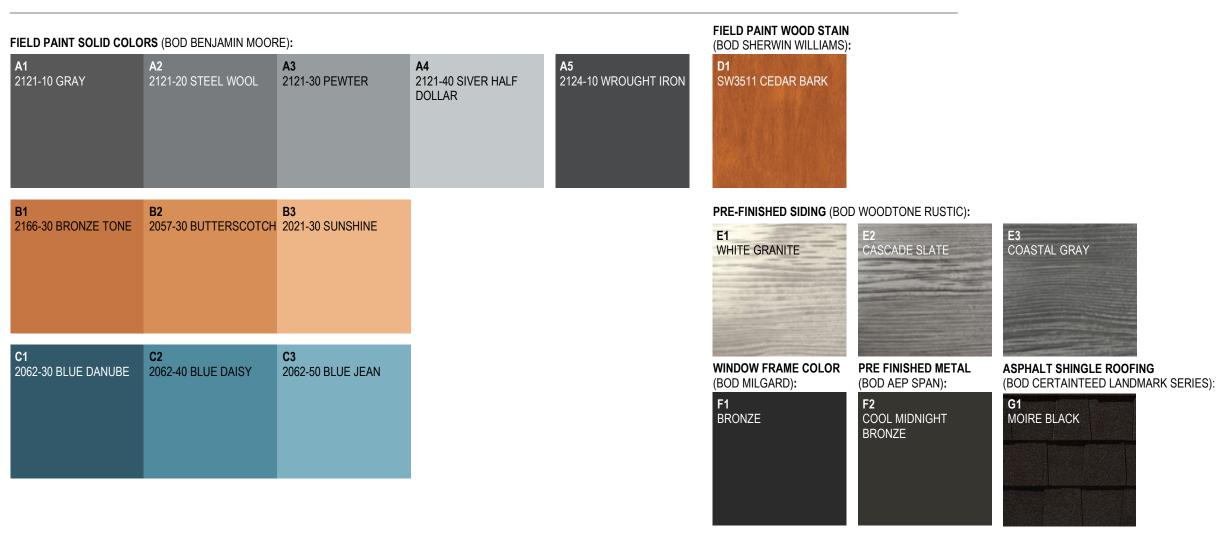
DRAWN: RB, AM

CHECKED: KW

PROJECT NO: 2023004.00



EXTERIOR PAINT COLOR SCHEDULE









119 MAIN ST, STE #200 SEATTLE, WA 98104-2579 (206) 322-3322

HOUSING HOPE SCRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

REVISION SCHEDULE

Date Description

CONTENTS:

COLOR ELEVATIONS -BUILDING D

SCALE: 1/8" = 1'-0"

DRAWN: RB, AM

CHECKED: KW

PROJECT NO: 2023004.00

SHEET:

A3.15



BUILDING D - NORTH COLOR

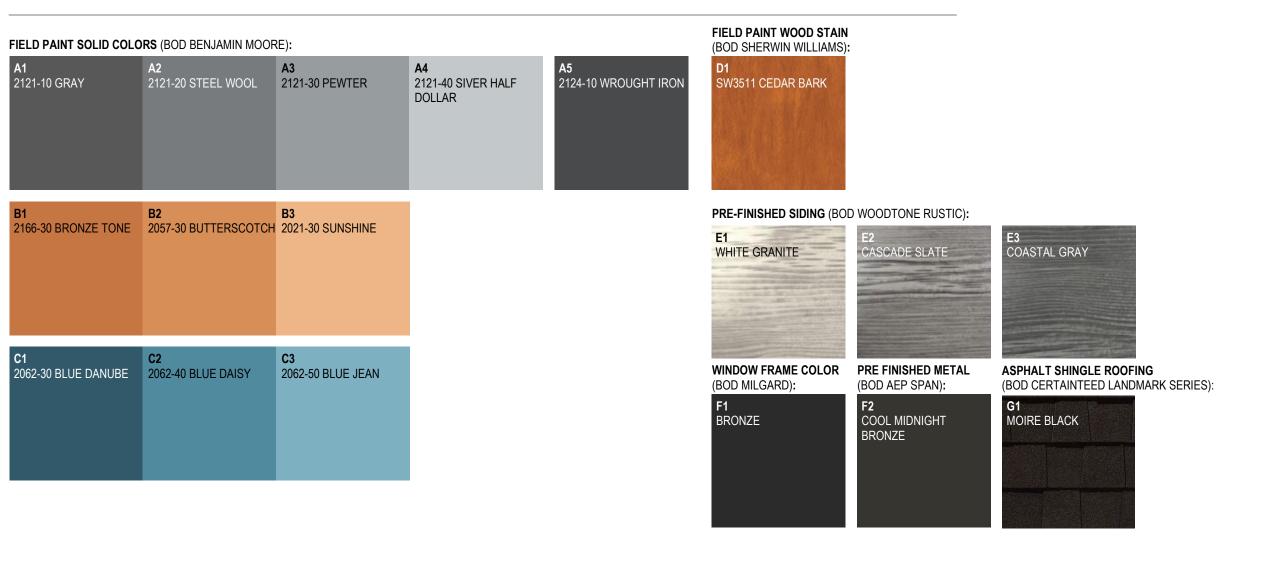
BIB2B3 GRADIENT PANEL BIB2B3 GRADIENT PANEL LEVEL 3 TOP PLATE 28'-0' A1A2IA3 GRADIENT PANEL LEVEL 2 9'-8' DI WOOD STAIN

1 BUILDING D - SOUTH COLOR 1/8" = 1'-0"



BUILDING D - WEST COLOR 1/8" = 1'-0"

EXTERIOR PAINT COLOR SCHEDULE









119 MAIN ST, STE #200 SEATTLE, WA 98104-2579 (206) 322-3322

SUSING HOPE

DESIGN DEVELOPMENT

S

ISSUE DATE: SEPTEMBER 20, 2023

Date Description

CONTENTS:

COLOR ELEVATIONS -BUILDING D

SCALE: 1/8" = 1'-0"

DRAWN: RB, AM

CHECKED: KW

PROJECT NO: 2023004.00









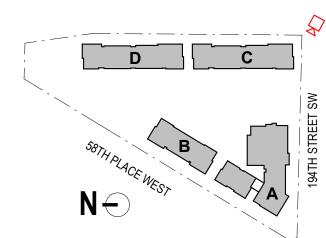
SCRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

Description

REVISION SCHEDULE



CONTENTS:

RENDERING SOUTHEAST

SCALE: 1" = 160'-0"

DRAWN: RB, AM

CHECKED: KW

PROJECT NO: 2023004.00

SHEET:









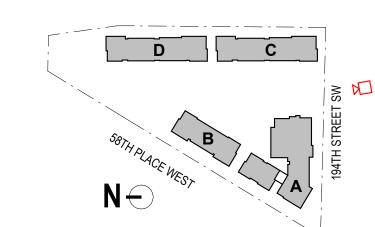
SCRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

REVISION SCHEDULE

Description



CONTENTS:

RENDERING SOUTH

SCALE: 1" = 160'-0"

DRAWN: RB, AM

CHECKED: KW

PROJECT NO: 2023004.00

SHEET:







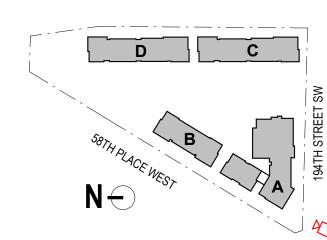


DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

Description

REVISION SCHEDULE



CONTENTS:

RENDERING SOUTHWEST CORNER

SCALE: 1" = 160'-0"

DRAWN: RB, AM

CHECKED: KW

PROJECT NO: 2023004.00

SHEET:









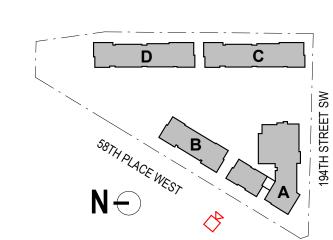
SCRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 25, 2023

REVISION SCHEDULE

Description



CONTENTS:

RENDERING WEST

SCALE: 1" = 160'-0"

DRAWN: RB, AM

CHECKED: KW

PROJECT NO: 2023004.00

SHEET:









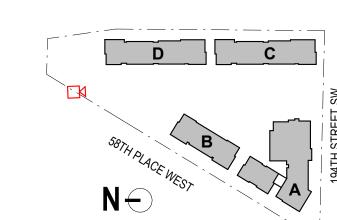
SCRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

Description

REVISION SCHEDULE



CONTENTS:

RENDERING NORTH

SCALE: 1" = 160'-0"

DRAWN: RB, AM

CHECKED: KW

PROJECT NO: 2023004.00

SHEET:









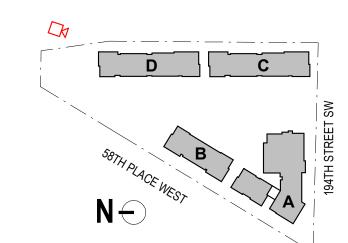
SCRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

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REVISION SCHEDULE



CONTENTS:

RENDERING NORTH EAST

SCALE: 1" = 160'-0"

DRAWN: RB, AM

CHECKED: KW

PROJECT NO: 2023004.00

SHEET:









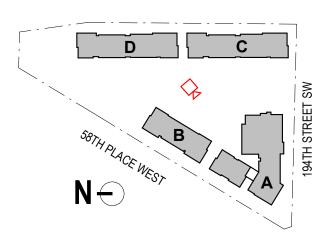
HOUSING HOPE SCRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

Description

REVISION SCHEDULE



CONTENTS:

RENDERING PLAY AREA

SCALE: 1" = 160'-0"

DRAWN: RB, AM

CHECKED: KW

PROJECT NO: 2023004.00

SHEET:

- 1. REFER TO STRUCTURAL FOR ADDITIONAL STRUCTURAL
- 2. REFER TO DETAILS FOR LOCATIONS OF SPRAY FOAM AND RIGID INSULATION AT EXTERIOR WALLS.
- 3. GYPSUM BOARD FASTENING TO BE 1" TYPE S DRYWALL SCREWS AT 8" O.C. AT VERTICAL JOINTS, 12" O.C. AT WALL PERIMETER AND INTERMEDIATE STUDS.

ASSEMBLIES

- 2-LAYERS 5/8 TYPE-X GYPSUM WALL BOARD, LEVEL-4

REQUIREMENTS

- CAST IN PLACE CONCRETE SLAB, PER STRUCT OVER - RIGID INSULATION U-0.048 MAX (R-20 MIN) AROUND BUILDING'S PERIMETER AND 4' DEPTH OVER - UNDER-SLAB VAPOR BARRIER OVER - SUBGRADE, PER STRUCT AND GEOTECH

EXTERIOR WALL ASSEMBLY 1 (NOT RATED):

- SIDING (PER ELEVATIONS) OVER - 1x4 PT FURRING STRIPS FLAT FRAMED OR 2x4 PT FURRING STRIPS STANDARD FRAMED (PER ELEVS) AT 24" O.C. MAX OVER - WRB DRAINAGE PLANE

- WOOD FRAMED WALL, PER STRUCT, WITH U-0.046 MAX (R-21 MIN) HIGH-DENSITY BATT INSULATION OVER

EXTERIOR WALL ASSEMBLY 2 (1-HR RATED):

- 1x4 PT FURRING STRIPS FLAT FRAMED OR 2x4 PT FURRING STRIPS STANDARD FRAMED (PER ELEVS) AT 24" O.C. MAX OVER
- WRB DRAINAGE PLANE - 1-HR RATED GYPSUM SHEATHING SUBSTRATE PER STRUCT (IF FROM BOTH

LOW-SLOPE ROOF ASSEMBLY 1:

- TPO ROOFING OVER - 1/4" PROTECTION BOARD OVER
- TAPERED RIGID INSULATION (MIN R-60) OVER - VAPOR BARRIER/TEMP ROOF OVER - PLYWOOD SHEATHING PER STRUCT OVER
- TJI JOISTS PER STRUCT OVER - FINISHED GYPSUM WALL BOARD (1-LAYER 5/8)

SLOPED ROOF ASSEMBLY 2:

- ASPHALT COMPOSITE SHINGLES OVER - 2-LAYER SELF-ADHERED ROOFING UNDERLAYMENT OVER - PLYWOOD SHEATHING PER STRUCT OVER

- PRE-ENGINEERED WOOD TRUSS W/ BATT INSULATION (MIN R-60) OVER - FINISHED GYPSUM WALL BOARD (1-LAYER 5/8)







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HOPE RIBE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

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CONTENTS:

BUILDING SECTIONS - BLDG A

As indicated RB, AM CHECKED: KW
PROJECT NO: 2023004.00
SHEET: **A4.0**

FLOOR ASSEMBLY 1 (TYPICAL) - 1-HR RATED: - FINISH FLOOR OVER

- 1" GYPSUM CEMENT UNDERLAYMENT OVER - PLYWOOD SHEATHING PER STRUCT OVER - TJI WOOD JOISTS PER STRUCT W/ ACOUSTIC BATT INSULATION OVER - RESILIENT ACOUSTIC CLIPS OVER

FLOOR ASSEMBLY 2 (SLAB ON GRADE): - FINISH FLOOR (WHERE OCCURS) OVER

- MINERAL WOOL U-0.173 MAX (R-5 MIN) CONTINUOUS INSULATION OVER

- PLYWOOD SHEATHING, PER STRUCT OVER

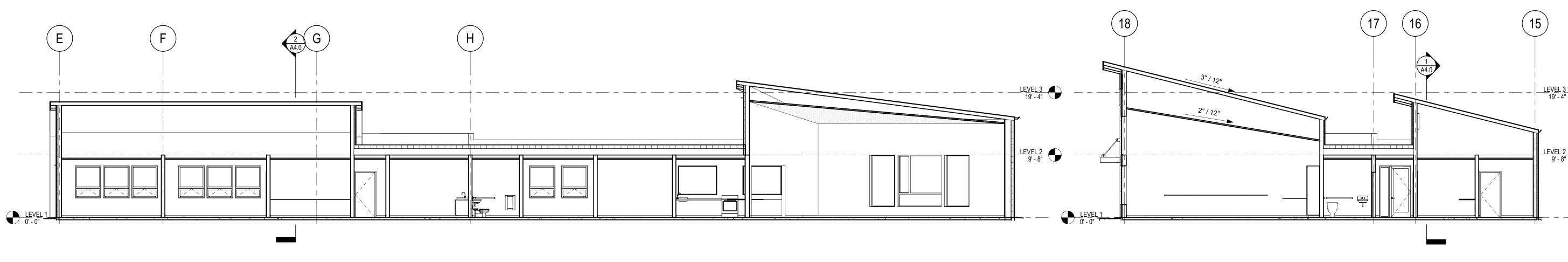
- VAPOR RETARDER - FINISHED GYPSUM WALL BOARD (1-LAYER 5/8), LEVEL 4 FINISH

- SIDING (PER ELEVATIONS) OVER

- MINERAL WOOL U-0.173 MAX (R-5 MIN) CONTINUOUSINSULATION OVER

- WOOD FRAMED WALL PER STRUCT WITH U-0.046 MAX (R-21 MIN) HIGH DENSITY BATT INSULATION OVER

- VAPOR RETARDER - FINISHED GYPSUM WALL BOARD (1-LAYER 5/8 TYPE-X)



1 BUILDING A LONG SECTION - COMMERCIAL

1/8" = 1'-0"

LEVEL 3 TOP PLATE
28' - 0" <u>LEVEL 3</u> 19' - 4" LEVEL 2 9' - 8"

LEVEL 3 TOP PLATE 28' - 0" _ LEVEL 3 19' - 4" LEVEL 2 9' - 8"

3 BUILDING A LONG SECTION - RESIDENTIAL

1/8" = 1'-0"

BUILDING A SHORT SECTION - RESIDENTIAL

1/8" = 1'-0"

BUILDING A STAIR SECTION - RESIDENTIAL

1/8" = 1'-0"

BUILDING A SHORT SECTION - COMMERCIAL

CONTRACTOR IS RESPONSIBLE FOR COORDINATING DRAWINGS AND SPECIFICATIONS

L<u>EVEL 3</u> 19' - 4"

LEVEL 2 9' - 8"

- 1. REFER TO STRUCTURAL FOR ADDITIONAL STRUCTURAL
- 2. REFER TO DETAILS FOR LOCATIONS OF SPRAY FOAM AND RIGID INSULATION AT EXTERIOR WALLS.
- 3. GYPSUM BOARD FASTENING TO BE 1" TYPE S DRYWALL SCREWS AT 8" O.C. AT VERTICAL JOINTS, 12" O.C. AT WALL PERIMETER AND INTERMEDIATE STUDS.

ASSEMBLIES

FLOOR ASSEMBLY 1 (TYPICAL) - 1-HR RATED: - FINISH FLOOR OVER

- 1" GYPSUM CEMENT UNDERLAYMENT OVER - PLYWOOD SHEATHING PER STRUCT OVER - TJI WOOD JOISTS PER STRUCT W/ ACOUSTIC BATT INSULATION OVER - RESILIENT ACOUSTIC CLIPS OVER - 2-LAYERS 5/8 TYPE-X GYPSUM WALL BOARD, LEVEL-4 FINISH

FLOOR ASSEMBLY 2 (SLAB ON GRADE):

- FINISH FLOOR (WHERE OCCURS) OVER - RIGID INSULATION U-0.048 MAX (R-20 MIN) AROUND BUILDING'S PERIMETER AND 4' DEPTH OVER - UNDER-SLAB VAPOR BARRIER OVER - SUBGRADE, PER STRUCT AND GEOTECH REQUIREMENTS

EXTERIOR WALL ASSEMBLY 1 (NOT RATED):

- 1x4 PT FURRING STRIPS FLAT FRAMED OR 2x4 PT FURRING STRIPS STANDARD FRAMED (PER ELEVS) AT 24" O.C. MAX OVER - MINERAL WOOL U-0.173 MAX (R-5 MIN) CONTINUOUS INSULATION OVER - WRB DRAINAGE PLANE

- PLYWOOD SHEATHING, PER STRUCT OVER - WOOD FRAMED WALL, PER STRUCT, WITH U-0.046 MAX (R-21 MIN) HIGH-DENSITY BATT INSULATION OVER - VAPOR RETARDER

- FINISHED GYPSUM WALL BOARD (1-LAYER 5/8), LEVEL 4 FINISH

EXTERIOR WALL ASSEMBLY 2 (1-HR RATED):

- SIDING (PER ELEVATIONS) OVER - 1x4 PT FURRING STRIPS FLAT FRAMED OR 2x4 PT FURRING STRIPS STANDARD FRAMED (PER ELEVS) AT 24" O.C. MAX OVER
- MINERAL WOOL U-0.173 MAX (R-5 MIN) CONTINUOUSINSULATION OVER - WRB DRAINAGE PLANE - 1-HR RATED GYPSUM SHEATHING SUBSTRATE PER STRUCT (IF FROM BOTH
- SIDES) OVER - WOOD FRAMED WALL PER STRUCT WITH U-0.046 MAX (R-21 MIN) HIGH DENSITY BATT INSULATION OVER

- FINISHED GYPSUM WALL BOARD (1-LAYER 5/8 TYPE-X)

LOW-SLOPE ROOF ASSEMBLY 1:

- TPO ROOFING OVER - 1/4" PROTECTION BOARD OVER
- TAPERED RIGID INSULATION (MIN R-60) OVER - VAPOR BARRIER/TEMP ROOF OVER - PLYWOOD SHEATHING PER STRUCT OVER
- TJI JOISTS PER STRUCT OVER - FINISHED GYPSUM WALL BOARD (1-LAYER 5/8)

SLOPED ROOF ASSEMBLY 2:

- ASPHALT COMPOSITE SHINGLES OVER - 2-LAYER SELF-ADHERED ROOFING UNDERLAYMENT OVER - PLYWOOD SHEATHING PER STRUCT OVER - PRE-ENGINEERED WOOD TRUSS W/ BATT INSULATION (MIN R-60) OVER

- FINISHED GYPSUM WALL BOARD (1-LAYER 5/8)



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HOPE 1 RIBE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023 REVISION SCHEDULE

Description

CONTENTS:

BUILDING SECTIONS - BLDG B

As indicated RB, AM CHECKED: KW
PROJECT NO: 2023004.00
SHEET:

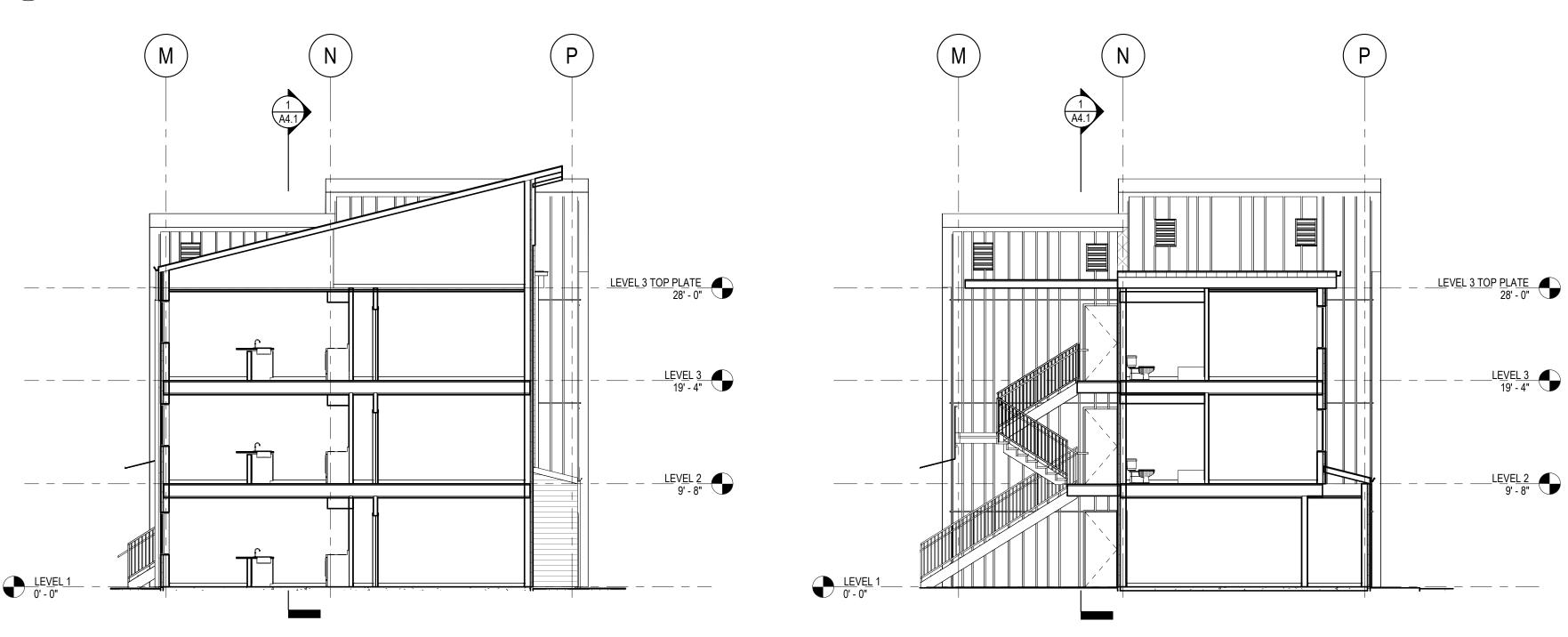
- CAST IN PLACE CONCRETE SLAB, PER STRUCT OVER

- SIDING (PER ELEVATIONS) OVER

- VAPOR RETARDER

(25)(28) (26)(29) <u>LEVEL 3 TOP PLATE</u> 28' - 0" LEVEL 3 19' - 4" _ LEVEL 2 9' - 8" _____

BUILDING B LONG SECTION



- 1. REFER TO STRUCTURAL FOR ADDITIONAL STRUCTURAL
- 2. REFER TO DETAILS FOR LOCATIONS OF SPRAY FOAM AND RIGID INSULATION AT EXTERIOR WALLS.
- 3. GYPSUM BOARD FASTENING TO BE 1" TYPE S DRYWALL SCREWS AT 8" O.C. AT VERTICAL JOINTS, 12" O.C. AT WALL PERIMETER AND INTERMEDIATE STUDS.

ASSEMBLIES

FLOOR ASSEMBLY 1 (TYPICAL) - 1-HR RATED:

- PLYWOOD SHEATHING PER STRUCT OVER - TJI WOOD JOISTS PER STRUCT W/ ACOUSTIC BATT INSULATION OVER - RESILIENT ACOUSTIC CLIPS OVER

FLOOR ASSEMBLY 2 (SLAB ON GRADE):

BUILDING'S PERIMETER AND 4' DEPTH OVER - UNDER-SLAB VAPOR BARRIER OVER - SUBGRADE, PER STRUCT AND GEOTECH REQUIREMENTS

EXTERIOR WALL ASSEMBLY 1 (NOT RATED):

- 1x4 PT FURRING STRIPS FLAT FRAMED OR 2x4 PT FURRING STRIPS STANDARD FRAMED (PER ELEVS) AT 24" O.C. MAX OVER - MINERAL WOOL U-0.173 MAX (R-5 MIN) CONTINUOUS INSULATION OVER - WRB DRAINAGE PLANE

- WOOD FRAMED WALL, PER STRUCT, WITH U-0.046 MAX (R-21 MIN) HIGH-DENSITY BATT INSULATION OVER - VAPOR RETARDER

EXTERIOR WALL ASSEMBLY 2 (1-HR RATED):

- SIDING (PER ELEVATIONS) OVER - 1x4 PT FURRING STRIPS FLAT FRAMED OR 2x4 PT FURRING STRIPS STANDARD FRAMED (PER ELEVS) AT 24" O.C. MAX OVER
- WRB DRAINAGE PLANE - 1-HR RATED GYPSUM SHEATHING SUBSTRATE PER STRUCT (IF FROM BOTH SIDES) OVER
- WOOD FRAMED WALL PER STRUCT WITH U-0.046 MAX (R-21 MIN) HIGH DENSITY BATT INSULATION OVER

LOW-SLOPE ROOF ASSEMBLY 1:

- TPO ROOFING OVER - 1/4" PROTECTION BOARD OVER
- TAPERED RIGID INSULATION (MIN R-60) OVER - VAPOR BARRIER/TEMP ROOF OVER - PLYWOOD SHEATHING PER STRUCT OVER
- TJI JOISTS PER STRUCT OVER - FINISHED GYPSUM WALL BOARD (1-LAYER 5/8)

SLOPED ROOF ASSEMBLY 2:

- ASPHALT COMPOSITE SHINGLES OVER - 2-LAYER SELF-ADHERED ROOFING UNDERLAYMENT OVER - PLYWOOD SHEATHING PER STRUCT OVER - PRE-ENGINEERED WOOD TRUSS W/ BATT INSULATION (MIN R-60) OVER

- FINISHED GYPSUM WALL BOARD (1-LAYER 5/8)







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HOPE **1** RIBE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

REVISION SCHEDULE Description

CONTENTS:

BUILDING SECTIONS-BLDG C

As indicated RB, AM CHECKED: KW
PROJECT NO: 2023004.00
SHEET:

A4.2

- FINISH FLOOR OVER

- 1" GYPSUM CEMENT UNDERLAYMENT OVER - 2-LAYERS 5/8 TYPE-X GYPSUM WALL BOARD, LEVEL-4 FINISH

- FINISH FLOOR (WHERE OCCURS) OVER - CAST IN PLACE CONCRETE SLAB, PER STRUCT OVER - RIGID INSULATION U-0.048 MAX (R-20 MIN) AROUND

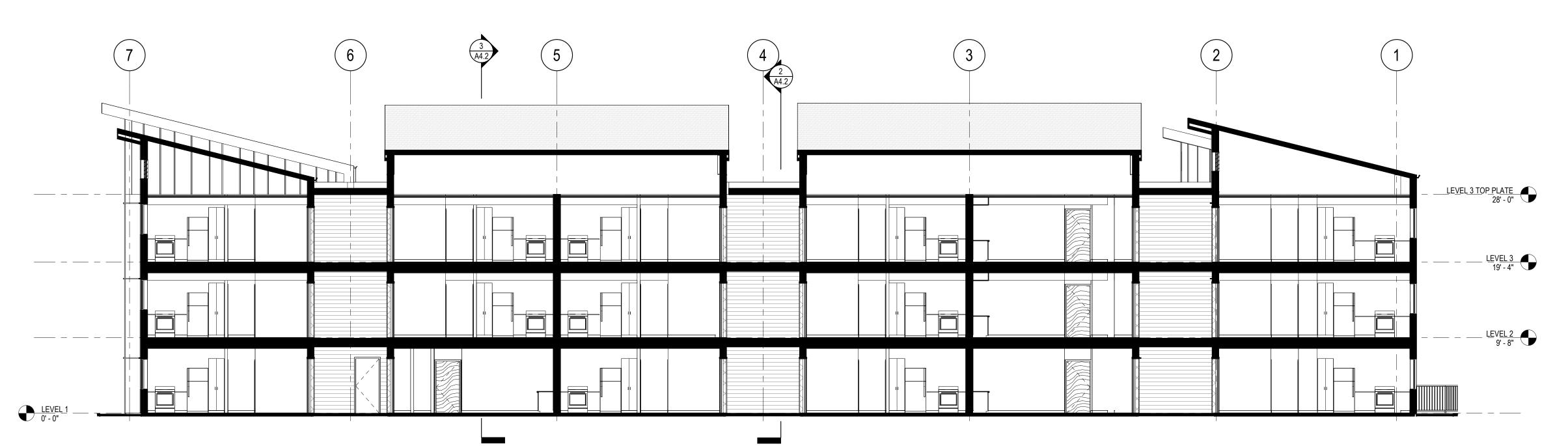
- SIDING (PER ELEVATIONS) OVER

- PLYWOOD SHEATHING, PER STRUCT OVER

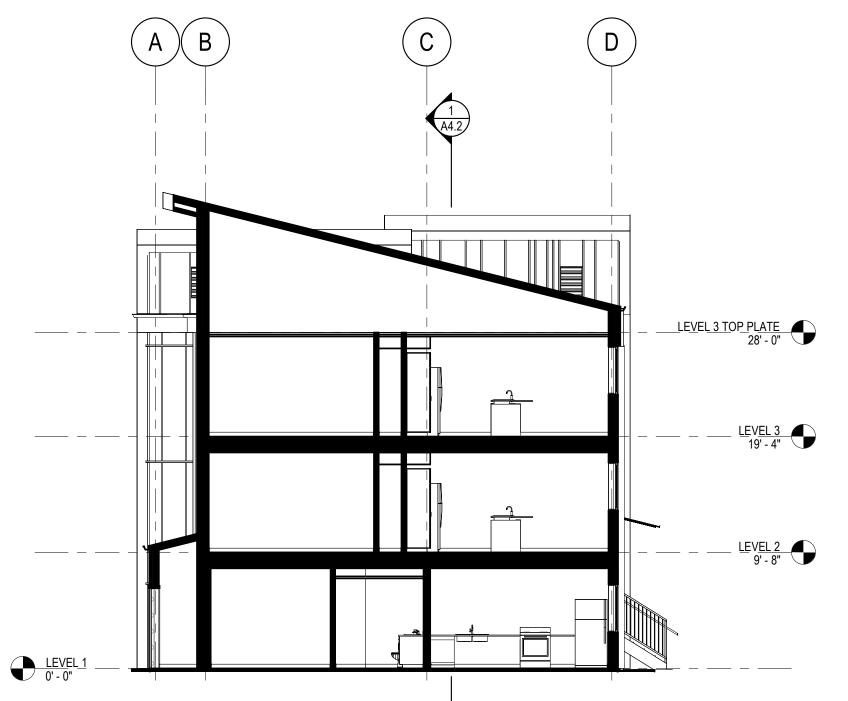
- FINISHED GYPSUM WALL BOARD (1-LAYER 5/8), LEVEL 4 FINISH

- MINERAL WOOL U-0.173 MAX (R-5 MIN) CONTINUOUSINSULATION OVER

- VAPOR RETARDER - FINISHED GYPSUM WALL BOARD (1-LAYER 5/8 TYPE-X)



BUILDING C LONG SECTION



BUILDING C SHORT SECTION

(c)BA LEVEL 3 TOP PLATE 28' - 0" LEVEL 3 19' - 4" <u>LEVEL 2</u> 9' - 8"

BUILDING C STAIR SECTION

- 1. REFER TO STRUCTURAL FOR ADDITIONAL STRUCTURAL
- 2. REFER TO DETAILS FOR LOCATIONS OF SPRAY FOAM AND RIGID INSULATION AT EXTERIOR WALLS.
- 3. GYPSUM BOARD FASTENING TO BE 1" TYPE S DRYWALL SCREWS AT 8" O.C. AT VERTICAL JOINTS, 12" O.C. AT WALL PERIMETER AND INTERMEDIATE STUDS.

ASSEMBLIES

FLOOR ASSEMBLY 1 (TYPICAL) - 1-HR RATED: - FINISH FLOOR OVER

- 1" GYPSUM CEMENT UNDERLAYMENT OVER - PLYWOOD SHEATHING PER STRUCT OVER - TJI WOOD JOISTS PER STRUCT W/ ACOUSTIC BATT INSULATION OVER - RESILIENT ACOUSTIC CLIPS OVER

FLOOR ASSEMBLY 2 (SLAB ON GRADE):

- FINISH FLOOR (WHERE OCCURS) OVER - CAST IN PLACE CONCRETE SLAB, PER STRUCT OVER - RIGID INSULATION U-0.048 MAX (R-20 MIN) AROUND BUILDING'S PERIMETER AND 4' DEPTH OVER - UNDER-SLAB VAPOR BARRIER OVER - SUBGRADE, PER STRUCT AND GEOTECH

EXTERIOR WALL ASSEMBLY 1 (NOT RATED):

- SIDING (PER ELEVATIONS) OVER - 1x4 PT FURRING STRIPS FLAT FRAMED OR 2x4 PT FURRING STRIPS STANDARD FRAMED (PER ELEVS) AT 24" O.C. MAX OVER - MINERAL WOOL U-0.173 MAX (R-5 MIN) CONTINUOUS INSULATION OVER - WRB DRAINAGE PLANE

EXTERIOR WALL ASSEMBLY 2 (1-HR RATED):

- SIDING (PER ELEVATIONS) OVER - 1x4 PT FURRING STRIPS FLAT FRAMED OR 2x4 PT FURRING STRIPS STANDARD FRAMED (PER ELEVS) AT 24" O.C. MAX OVER
- MINERAL WOOL U-0.173 MAX (R-5 MIN) CONTINUOUSINSULATION OVER - WRB DRAINAGE PLANE
- SIDES) OVER - WOOD FRAMED WALL PER STRUCT WITH U-0.046 MAX (R-21 MIN) HIGH

LOW-SLOPE ROOF ASSEMBLY 1:

- TPO ROOFING OVER - 1/4" PROTECTION BOARD OVER
- TAPERED RIGID INSULATION (MIN R-60) OVER - VAPOR BARRIER/TEMP ROOF OVER - PLYWOOD SHEATHING PER STRUCT OVER
- TJI JOISTS PER STRUCT OVER - FINISHED GYPSUM WALL BOARD (1-LAYER 5/8)

SLOPED ROOF ASSEMBLY 2:

- ASPHALT COMPOSITE SHINGLES OVER - 2-LAYER SELF-ADHERED ROOFING UNDERLAYMENT OVER - PLYWOOD SHEATHING PER STRUCT OVER - PRE-ENGINEERED WOOD TRUSS W/ BATT INSULATION (MIN R-60) OVER

- FINISHED GYPSUM WALL BOARD (1-LAYER 5/8)

LEVEL 3 TOP PLATE 28' - 0"

LEVEL 3 19' - 4"

- LEVEL 2 9' - 8"



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HOPE **1**

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

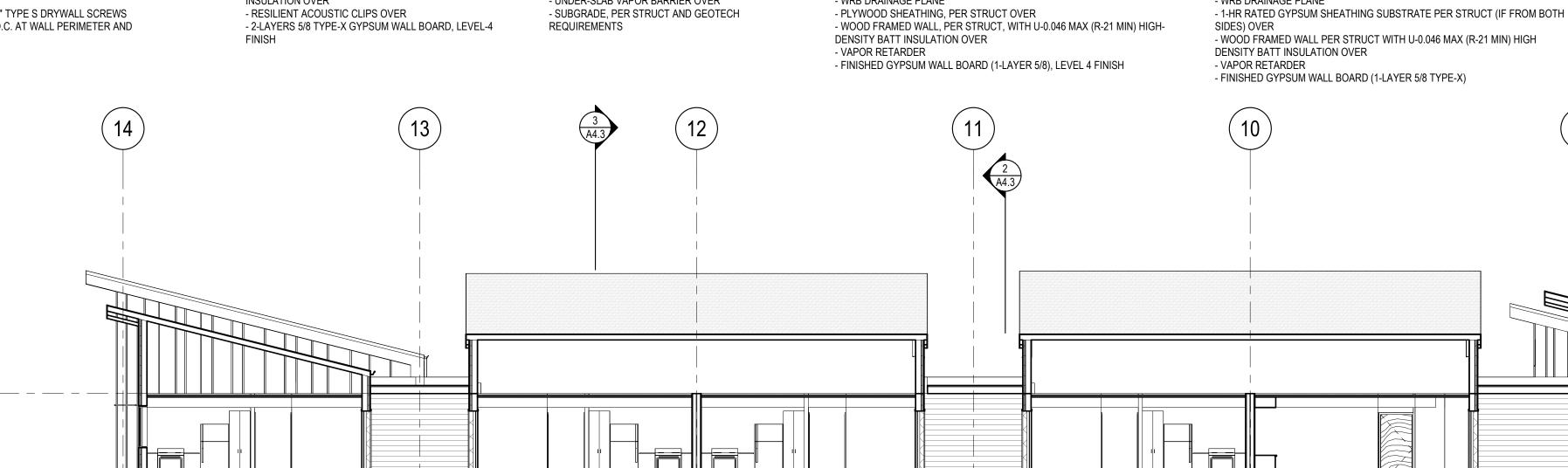
REVISION SCHEDULE Description

CONTENTS:

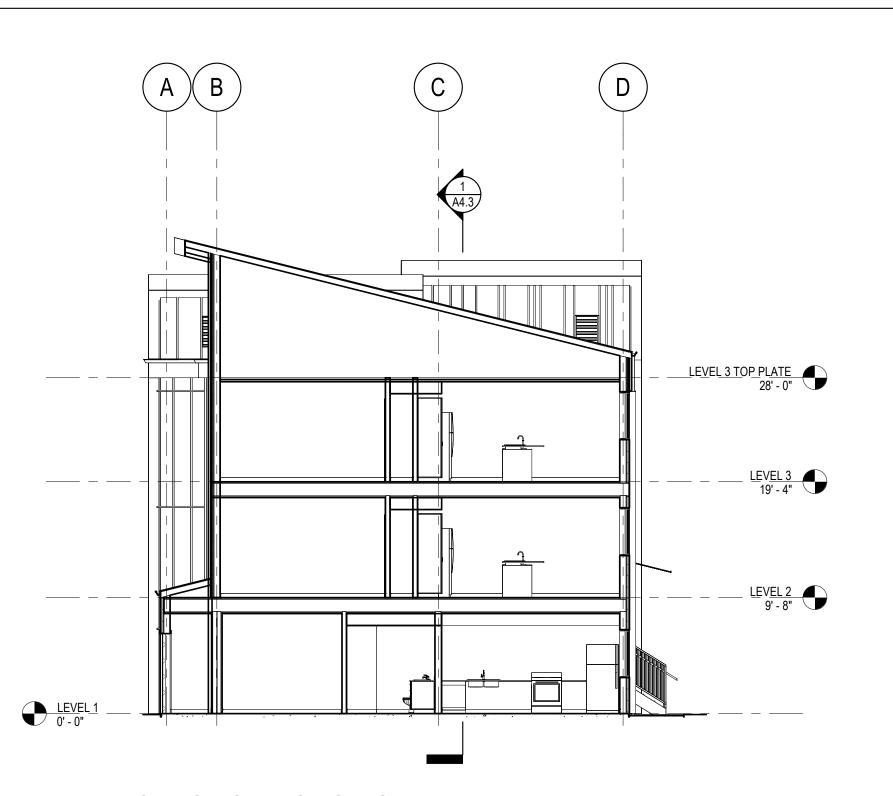
BUILDING SECTIONS-BLDG D

As indicated RB, AM CHECKED: KW
PROJECT NO: 2023004.00
SHEET:

A4.3



BUILDING D LONG SECTION

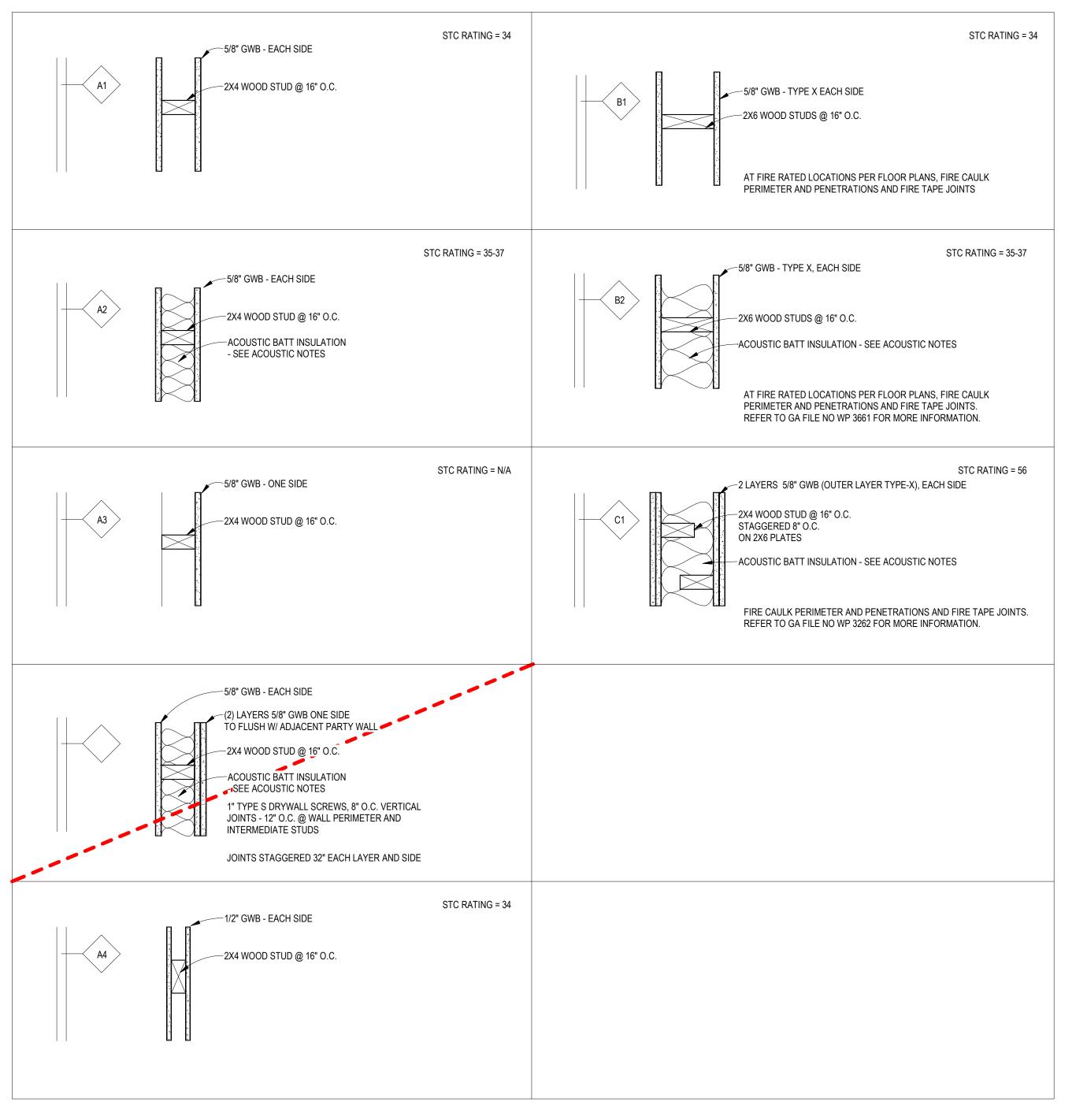


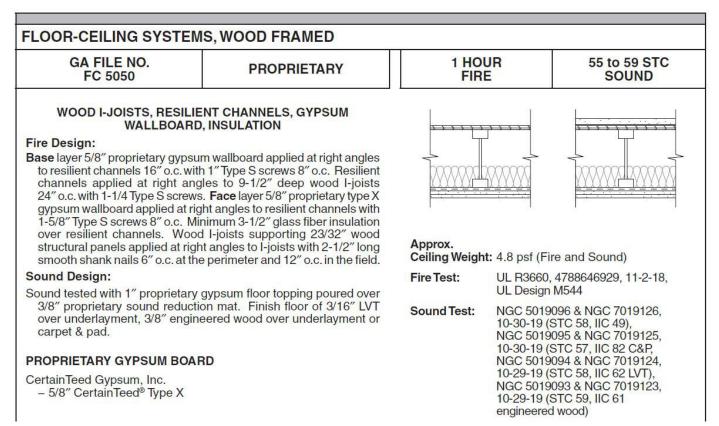
BUILDING D SHORT SECTION

(B)(A)(c)LEVEL 3 TOP PLATE
28' - 0" LEVEL 3 19' - 4" LEVEL 2 9' - 8"

BUILDING D STAIR SECTION

1/8" = 1'-0"





PARTITION SCHEDULE NOTES:

- 1. PLAN INDICATORS AND PARTITION TYPES ARE N.T.S.
- 2. JOINTS STAGGERED 24" EACH LAYER AND SIDE, SEAL ALL PENETRATIONS.

3. SEE STRUCTURAL FOR LOAD BEARING AND SHEAR WALL LOCATIONS. SHEATHING IS NOT SHOWN ON ARCHITECTURAL DRAWINGS - PROVIDE SHEATHING PER STRUCTURAL.

4. CONTRACTOR TO COORDINATE SHEARWALL LOCATIONS WITH PARTITION TYPES INDICATED. GWB FINISH IS TO BE COORDINATED SUCH THAT WALLS CONTAINING PLYWOOD SHEATHING DO NOT RESULT IN A NON-FLUSH OR 'STEPPED' FINISHED WALL SURFACE.

5. ACOUSTIC PARTITIONS:

FILL WITH BATT INSULATION FOR "SOUND CONTROL", U.O.N. THE THICKNESS SHALL BE FULL WIDTH OF STUDS. SECURE INSULATION TO PREVENT SAGGING AND SEAL PERIMETER PER GYPSUM ASSOCIATION DESIGN MANUAL - SEE SPECIFICATION FOR JOINT SEALANTS. STAGGER AND SEAL ALL ELECTRICAL OUTLETS. EXTEND GWB TO UNDERSIDE OF DECK - TYP. WHERE PARTITIONS SEAL TO A ROUGH OR CORRUGATED SURFACE, CLOSURE STRIPS ARE REQUIRED.

6. ALL PARTITIONS EXTEND TO UNDERSIDE OF STRUCTURE (JOISTS WHERE PERPENDICULAR, DECK WHERE PARALLEL AND NOT FALLING ON A JOIST), U.O.N. - SEE INTERIOR ELEVATIONS.

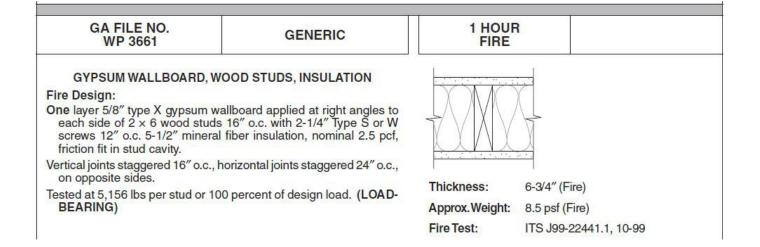
7. AT NON-BEARING PARTITIONS THAT EXTEND TO STRUCTURE OR DECK ABOVE, FURNISH SLIP CONNECTION AT TOP OF WALL THAT ALLOWS 1-1/2" MIN. DIFFERENTIAL DEFLECTION OF STRUCTURE ABOVE, U.N.O.

8. WHERE TWO OR MORE LAYERS OF GWB ARE USED, DO NOT CEMENT GWB TO THE INITIAL LAYER. USE NAILS OR SCREWS. STAGGER LAYERED BOARD JOINTS.

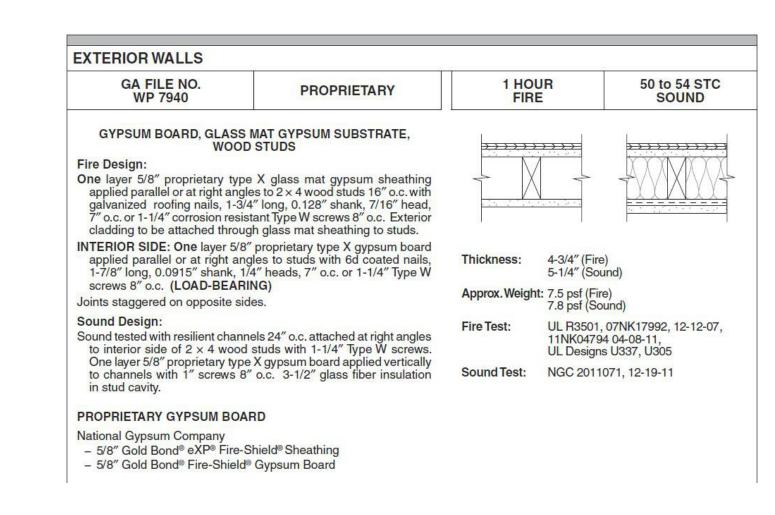
9. PARTITION SCHEDULE REFERS TO INTERIOR PARTITION AND FURRED CONDITIONS ONLY. REFER TO SECTIONS AND DETAILS FOR EXTERIOR WALL CONSTRUCTION.

10. THE PARTITION SCHEDULE REFERS TO TYPICAL INTERIOR PARTITIONS. SOME OF THESE PARTITIONS ARE REQUIRED TO BE SMOKE-RESISTIVE OR FIRE-RATED. THE PARTITION SCHEDULE IS COMPLIMENTARY WITH THE PLANS AND PLAN LEGEND ON THE A2 SHEETS WHERE FIRE RATED CONSTRUCTION (SMOKE-RESISTIVE SEPARATIONS AND FIRE PARTITIONS) IS SHOWN TO BE REQUIRED.

11. 1" TYPE S DRYWALL SCREWS, 8" O.C. VERTICAL JOINTS - 12" O.C. @ WALL PERIMETER AND INTERMEDIATE STUDS.



GA FILE NO. WP 3262	PROPRIETARY	1 HOUF FIRE	?	50 to 54 STC SOUND
GYPSUM PANELS, WO	OD STUDS, INSULATION			
at right angles to each side of 2° 8" o.c. on 2 × 6 wood plates	(gypsum panel applied parallel or 1 x 4 wood studs 16" o.c. staggered with 1-7/8" Type W screws 7" o.c.			
	side. 3-1/2" glass fiber insulation cavity. Horizontal bracing required	Thickness:	6-3/4" (F 8" (Soun	
Joints staggered 16" each layer a BEARING)	nd side on opposite sides. (LOAD-	Approx. Weight:	8.0 psf (F 10.9 psf	
Sound Design: Sound tested with additional lav	er 5/8" proprietary type X gypsum	Fire Test:	UL R709 UL Desig	94, 07CA62488, 04-01-200 gn U340
panels applied parallel or at rig	ht angles to each side of the studs at the perimeter and in the field.	Sound Test:	NOAL 17	7-0938, 09-21-2017
PROPRIETARY GYPSUM PAN	L			
PABCO® Gypsum - 5/8" FLAME CURB® Type X				









119 MAIN ST, STE #200 SEATTLE, WA 98104-2579 (206) 322-3322

SCRIBER PLACE

DESIGN DEVELOPMENT

NIEDATE: SEDTEMBED 20, 200

REVISION SCHEDULE

Date Description

CONTENTS:

WALL TYPE SCHEDULES

SCALE: As indicated

DRAWN: RB, AM

CHECKED: KW

PROJECT NO: 2023004.00

SHEET:

A7.1

2. TO DETERMINE FRAME DEPTH, SEE PARTITION SCHEDULE FOR WALL CONSTRUCTION AND STRUCTURAL DRAWINGS FOR PLYWOOD SHEATHING THICKNESS AND LOCATIONS.

3. THE OPENING AND CLOSING FORCE OF ALL ACCESSIBLE INTERIOR SWINGING OR SLIDING DOORS WITH OR WITHOUT CLOSERS SHALL REQUIRE NO GREATER THAN 5 POUNDS OF FORCE TO MEET ACCESSIBILITY REQUIREMENTS DESCRIBED IN ANSI A117.1-2009. THE OPENING AND CLOSING FORCE OF ALL ACCESSIBLE EXTERIOR HINGED DOORS SHALL NOT EXCEED 10 LBS. PER IBC 1101.2.2 AND ANSI A117.1-2009.

- 4. FIRE DOORS SHALL BE EQUIPPED W/ APPROVED LATCHES AND SELF-CLOSING DEVICES; REFER TO FINISH HARDWARE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 5. THE OPENING AND CLOSING FORCE OF ALL INTERIOR SWINGING OR SLIDING DOORS WITH OR WITHOUT CLOSERS SHALL REQUIRE NO GREATER THAN 5 POUNDS OF FORCE TO MEET ACCESSIBILITY REQUIREMENTS DESCRIBED IN ANSI A117.1-1998.
- 6. DELETED
- 7. DOOR SIZES SHOWN ARE NOMINAL. CONTRACTOR TO REFER TO MANUFACTURER INSTRUCTIONS TO DETERMINE ACTUAL SIZE OF DOOR, FRAME ROUGH OPENING TO BE FABRICATED.
- 8. CONTRACTOR TO FIELD VERIFY ROUGH OPENING SIZE WITH DOOR MANUFACTURER PRIOR TO FABRICATION.
- 9. CONTRACTOR TO VERIFY ACTUAL DOOR SIZE TO FIT FINISH OPENING PRIOR TO FABRICATION OF DOOR AND FINISH OPENING.
- 10. EXTERIOR DOORS TO HAVE PAINTED METAL FRAMES AND WEATHERPROOFING / WEATHER STRIPPING.
- 11. ACCESSIBLE EGRESS DOORS / GATES (IF OCCUPANT LOAD > 50) TO SWING IN DIRECTION OF EGRESS TRAVEL, PROVIDE PANIC HARDWARE. REFER TO DETAILS 24 & 34 SHEET T1.8.
- 12. DOORS AND DOOR HARDWARE TO MEET THE REQUIREMENTS OF 2018 IBC SECTION 1010 AND 2009 ICC A117.1.
- 13. EXIT DOORS PROVIDE SIZES, HARDWARE & HARDWARE OPERATION AS REQUIRED BY THE IBC.
- 14. ALL DOORS TO HAVE ACCESSIBLE LEVER HANDLE HARDWARE PER ICC A117.1 404.2.6.
- 15. ALL DOOR HARDWARE IS REQUIRED TO MEET THE ACCESSIBILITY GUIDELINES, BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE, AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCH, OR TWISTING OF THE WRIST TO OPERATE. [IBC 1010.1.9.1]
- 16. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES MIN. AND 48 INCHES MAX. ABOVE THE FINISHED FLOOR. [IBC 1010.1.9.2]

17. EXTERIOR DOORS TO HAVE ACCESSIBLE EGRESS DOOR HARDWARE - MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED UNLESS IT MEETS ONE OF THE EXCEPTIONS ALLOWED IN IFC 1010.1.9.4. IF A DEAD-BOLT IS PROPOSED IT SHALL BE INTEGRATED WITH THE DOOR LEVER AND EGRESS DOORS

18. THE UNLATCHING OF ANY DOOR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION. [IBC 1010.1.9.3 WA & 1010.1.9.5]

SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

- 19. DOORS FROM ROOMS OR BUILDINGS WITH OCCUPANT LOAD OF 50 OR MORE SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL AND BE PROVIDED WITH PANIC HARDWARE, AND AS SHOWN ON PLANS. [IBC 1010.1.2, 1010.1.10]
- 20. B OCCUPANCY MAIN DOORS A100A, A100B, A101B, A111B: IF KEY-OPERATED LOCKING DEVICES FROM THE EGRESS SIDE, PROVIDE LOCKING DEVICE READILY DISTINGUISHABLE AS LOCKED, READILY VISIBLE AND DURABLE SIGN POSTED ON EGRESS SIDE, WITH LETTERS 1" HIGH CONTRASTING BACKGROUND, ON OR ADJACENT TO DOOR. [IBC 1010.1.9.4] SIGN TO STATE: THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED.
- 21. DOOR HARWARE SET SCHEDULE IS SHOWN ON SHEET A7.3 AND SPECIFICATION SECTION 087100.
- 22. PROVIDE SIGNAGE NEAR DOORS PER 41, 42, 44 & 52 / T1.9

DOOR TYPES

DOOR & FRAME MATERIAL: HM = HOLLOW METAL AL = ALUMINUM WD = WOOD FG = FIBERGLASS

FG = FIBERGLASS
GL=GLASS
DOOR & FRAME FINISH:

DOOR & FRAME FINISH:
PT = METAL, FIELD PAINTED
ANOD = ANODIZED
FF = FACTORY FINISHED
ST = STAIN

CL = CLEAR FINISH

GLAZING: SEE INTERIOR AND EXTERIOR ELEVATIONS FOR LOCATIONS OF TEMPERED & LAMINATED GLAZING

COMMENTS: AS INDICATED

NA = NOT APPLICABLE

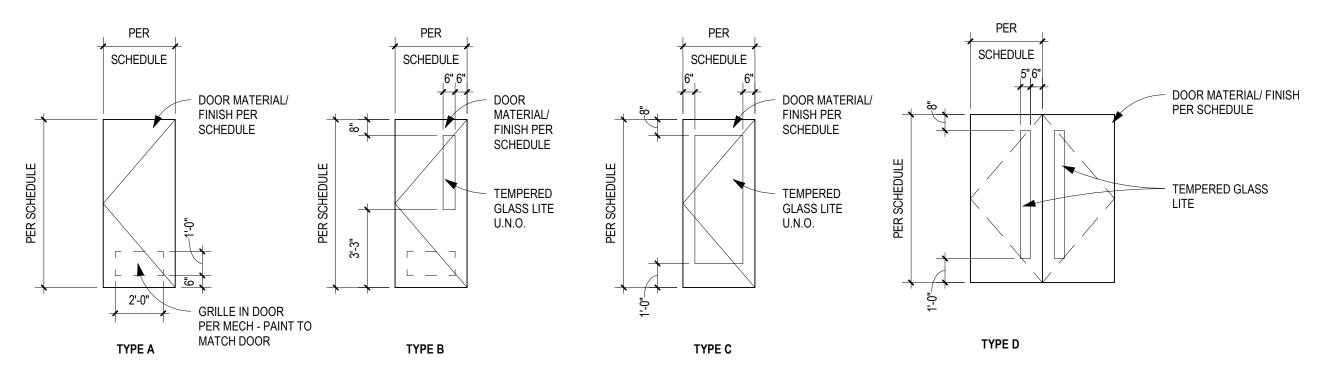
PH = PANIC HARDWARE/EXIT DOOR

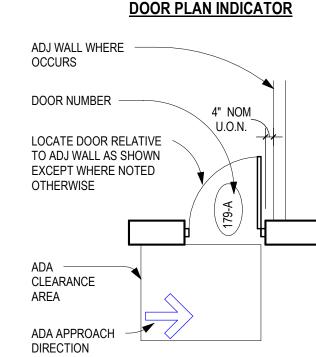
VIF= VERIFY OPENING WIDTH IN FIELD

WINDOW GENERAL NOTES

- 1. ALL WINDOWS TO BE U = 0.24 MIN.
- 2. REFER TO ENERGY CODE 'EC' SHEETS FOR FURTHER INFORMATION.
- 3. NO FIRE-RATED WINDOWS PER CODE NOTES ON SHEET T1.2.
- 4. REFER TO FLOOR PLANS, INTERIOR ELEVATIONS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES, LOCATIONS AND TEMPERED SAFETY GLAZING AT HAZARDOUS LOCATIONS.
- 5. REFER TO SHEET T1.2 CH.24 SECTION FOR GLAZING REQUIREMENTS, INCLUDING TEMPERED SAFETY GLAZING.
- 6. PROVIDE TEMPERED SAFETY GLAZING PER CODE REQUIREMENTS AND PER CH. 24 SECTION ON SHEET T1.2.
- 7. REFER TO SHEET T1.2 CH. 10 AND CH. 11 SECTIONS FOR REQUIREMENTS OF WINDOW OPENING LIMITATIONS, EMERGENCY ESCAPE AND RESCUE OPENINGS, WINDOW OPENING CONTROL DEVICES, ACCESSIBLE OPERABLE PARTS AND OPENING FORCE.
- 8. ALL BEDROOMS REQUIRE EMERGENCY ESCAPE AND RESCUE WINDOW OPENINGS PER IBC 1015.8.
- 9. LEVEL 1 OPERABLE WINDOWS AND EMERGENCY ESCAPE AND RESCUE WINDOW OPENINGS TO PROVIDE ACCESSIBLE HARDWARE THAT IS RELEASABLE / REMOVABLE FROM INSIDE WITHOUT THE USE OF KEY, TOOL OR FORCE. REFER TO CH. 10 & CH. 11 SECTIONS ON SHEET T1.2.
- 10. GLAZING BELOW 36" AFF TO BE TEMPERED SAFETY GLAZING AT LEVEL 2 & LEVEL 3
- 11. LEVEL 2 AND LEVEL 3 OPERABLE WINDOWS IF CONSTRUCTED TOP OF SILL OF OPERABLE WINDOW OPENING IS LOCATED < 36" AFF AND > 72"
 ABOVE FINISHED GRADE OR OTHER SURFACE AT EXTERIOR, CONTRACTOR TO PROVIDE 'WINDOW OPENING CONTROL DEVICE' TO COMPLY WITH IBC 1015.8.1 (AT NON-BEDROOM WINDOWS) AND IBC 1030.1.1 (AT BEDROOM EMERGENCY ESCAPE AND RESCUE OPENING WINDOWS).
- 12. IF REQUIRED, 'WINDOW OPENING CONTROL DEVICES' TO COMPLY WITH ASTM F2090. AFTER OPERATION TO RELEASE THE 'WINDOW OPENING CONTROL DEVICE' (ALLOWING THE WINDOW TO FULLY OPEN), THE DEVICE SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW UNIT THAN LESS THAN THE REQUIRED 5.7 SF FOR EMERGENCY ESCAPE AND RESCUE OPENINGS, OR LESS THAN THE REQUIRED 5 SF FOR GRADE-FLOOR EMERGENCY ESCAPE AND RESCUE OPENINGS.

DOOR TYPES DOOR PLAN INFO





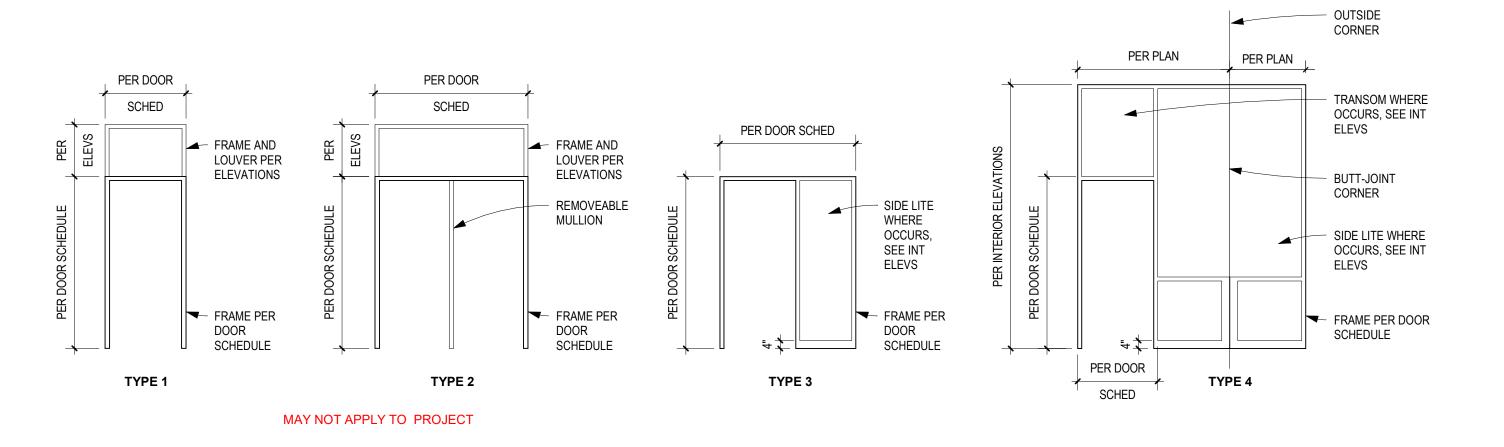




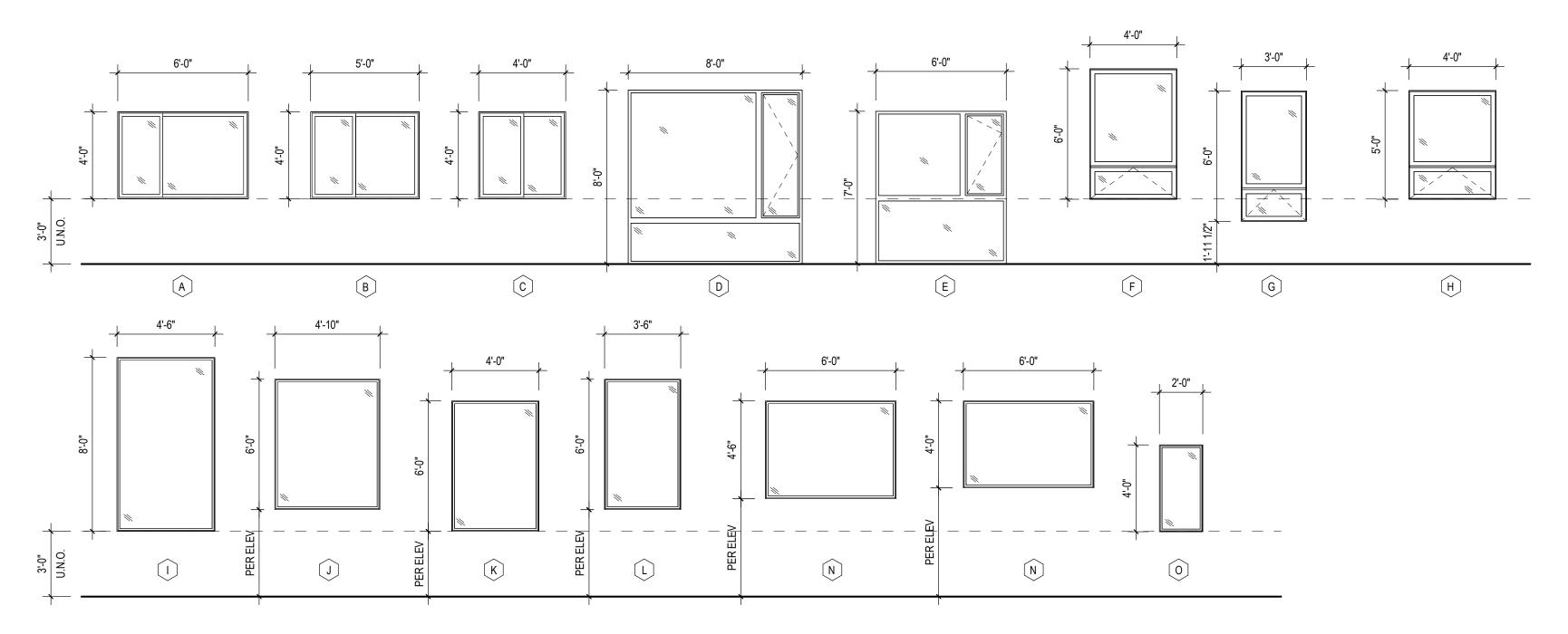


119 MAIN ST, STE #200 SEATTLE, WA 98104-2579 (206) 322-3322

FRAME TYPES



WINDOW TYPES



OUSING HOPE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

REVISION SCHEDULE

Description

Date

DOOR & WINDOW
TYPES

SCALE: 1/4" = 1'-0"

DRAWN: RB, AM

CHECKED: KW

PROJECT NO: 2023004.00

SHEET:

				DOOR	SCHEDULE -	COMME	RCIAL				
DOOR				DOOR				FRAME			
NUMBER	ROOM NAME	TYPE	WIDTH	HEIGHT	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	Fire Rating	COMMENTS
A105A	CORRIDOR EXT		3' - 0"	7' - 11"							
4105B	CORRIDOR EXT		3' - 0"	7' - 11"							
A106	FIRE EXT		6' - 0"	6' - 8"							
A 107	COPY		3' - 0"	7' - 0"							
A108	ELEC EXT		6' - 0"	6' - 8"							
4109	PANTRY		3' - 0"	7' - 0"							
4110	HEALTH		3' - 0"	7' - 0"							
4111	STUDY		3' - 0"	7' - 0"							
A112	RESTROOM		3' - 0"	7' - 0"							
4113	FIRE EXT		3' - 0"	7' - 10"							
A114	OFFICE		3' - 0"	7' - 0"							
A115	ELEC.		3' - 0"	7' - 0"							
A115B			3' - 0"	7' - 0"							
A116	MECH EXT		3' - 0"	7' - 10"							
A117A	KITCHEN		3' - 0"	7' - 0"							
A118A	COMMUNITY RM		3' - 0"	7' - 0"							
A118B	COMMUNITY RM EXT		3' - 0"	7' - 10"							
A120	MAINTENANCE EXT		6' - 0"	7' - 10"							
A121A	OFFICE		3' - 0"	7' - 0"							
A121B	OFFICE EXT		3' - 0"	7' - 10"							
A122	LAUNDRY EXT		3' - 0"	7' - 11"							
A123	PACKAGES EXT		3' - 0"	7' - 10"							
4124A	MULTIPURPOSE		3' - 0"	7' - 0"							
A124B	MULTIPURPOSE EXT		3' - 6"	7' - 11"							
A125	STOR		3' - 0"	7' - 0"							
A126	RESTROOM		3' - 0"	7' - 0"							
4127	RESTROOM		3' - 0"	7' - 0"							
4128	RESTROOM		3' - 0"	7' - 0"							
A129A	MULTIPURPOSE		3' - 0"	7' - 0"							
A129B	MULTIPURPOSE EXT		3' - 6"	7' - 11"							
A130	OFFICE EXT		3' - 0"	7' - 11"							
A131	FILE STOR		3' - 0"	7' - 0"							
A132	MEETING		3' - 0"	7' - 0"							
3105	MECH EXT	Α	3' - 0"	7' - 0"	IM	PT	1	MTL	PT		
3106	FIRE EXT		3' - 0"	7' - 0"							
3107	ELEC EXT		6' - 0"	6' - 8"							
3208			0' - 0"	0' - 0"							
C110	MECH		3' - 0"	7' - 0"							
C111	FIRE EXT		3' - 0"	7' - 0"							
C112	ELEC EXT		6' - 0"	6' - 8"							
0110	MECH		3' - 0"	7' - 0"							
D111	FIRE		3' - 0"	7' - 0"							
D112	ELEC		6' - 0"	6' - 8"							
J114	LLLO		0 - 0	0 - 0							

			DC	OR SCHEDU	JLE - RES	SIDENTI	AL UNITS		
			DOOR				FRAME		
Type Mark	TYPE	TYPE WIDTH HEIGHT MATERIAL FINISH					MATERIAL	FINISH	COMMENTS

U1	<varies></varies>	3' - 0"	6' - 8"	<varies></varies>	<varies></varies>	<varies< th=""><th><varies></varies></th><th><varies></varies></th><th></th></varies<>	<varies></varies>	<varies></varies>	
U1-A	Α	3' - 0"	6' - 8"	SCWD	PT	-	WD	PT	ACCESSIBLE
U2		4' - 4"	6' - 8"	HCWD	PT	-	WD	PT	
U3		3' - 8"	6' - 8"	HCWD	PT	-	WD	PT	
U4		5' - 0"	6' - 8"	HCWD	PT	-	WD	PT	
U5		6' - 0"	7' - 0"	HCWD	PT	-	WD	PT	
U6		4' - 0"	6' - 8"	HCWD	PT	-	WD	PT	
UE	Α	3' - 0"	7' - 0"	SCWD	PT	1	KDHM	PT	ENTRY
UE-A	А	3' - 0"	7' - 0"	SCWD	PT	1	KDHM	PT	ENTRY, ACCESSIBLE

DOOR SCHEDULE ABBREVIATION LEGEND

NOTES: FOR 'DOOR GENERAL NOTES', REFER TO SHEET A7.2. FOR 'DOOR HARDWARE SETS', REFER TO SHEET A7.4.

<u>DOOR & FRAME FINISH:</u> FF FACTORY FINISHED PT FIELD PAINTED

DOOR & FRAME MATERIAL:

GL GLASS
IFG INSULATED FIBERGLASS
IM INSULATED METAL
HM HOLLOW METAL
(KDHM) (KNOCK-DOWN HOLLOW METAL)
STL STEEL FLUSH
WD WOOD

(SCWD) (SOLID-CORE WOOD) (HCWD) (HOLLOW-CORE WOOD)

COMMENTS: AS INDICATED

NA NOT APPLICABLE

PH PANIC HARDWARE/EXIT DOOR VIF VERIFY IN FIELD







119 MAIN ST, STE #200 SEATTLE, WA 98104-2579 (206) 322-3322

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

REVISION SCHEDULE Description

CONTENTS:

DOOR SCHEDULE

SCALE:
DRAWN: RB, AM CHECKED: KW
PROJECT NO: 2023004.00
SHEET:

CONTRACTOR IS RESPONSIBLE FOR COORDINATING DRAWINGS AND SPECIFICATIONS

INTERIOR FINISH SCHEDULE

					FINISH				WINDOW	
NUMBER	NAME	FLOOR	BASE	N WALL	E WALL	S WALL	W WALL	CEILING	TREATMENT	COMMENTS
LEVEL 1									1	
A101	2 BED - TYPE "B"									
A102	2 BED - TYPE "B"									
A103	SERVICES OFFICE									
A104	SERVICES OFFICE									
A105	CORRIDOR									
A106	FIRE									
A107	COPY									
A108	ELEC.									
A109	COMMUNITY PANTRY									
A110	HEALTH									
A111	STUDY									
A112	RESTROOM									
A113	FIRE									
A114	OFFICE									
A115A	ELEC.									
A115B	ELEC									
A116	MECH/HPWH									
A117	KITCHEN									
A118	COMMUNITY									
A119	STORAGE/JAN.									
A120	MAINTENANCE									
A121	OFFICE									
A122	LAUNDRY									
A123	PACKAGES									
A124	MULTIPURPOSE									
	ROOM									
A125	STORAGE									
A126	RESTROOM									
A127	RESTROOM									
A128	RESTROOM									
A129	MULTIPURPOSE ROOM									
A130	PROPERTY OFFICE									
A131	FILE									
A132	MEETING									
LEVEL 2			1	1	I	ı		1		
A201	2 BED									
A202	2 BED									

BUILD	ING B									
00.00					FINISH				WINDOW	
NUMBER	NAME	FLOOR	BASE	N WALL	E WALL	S WALL	W WALL	CEILING	TREATMENT	COMMENTS
LEVEL 1		-				1				
A115B	ELEC									
B101	3 BED - TYPE "B"									
B102	1 BED - TYPE "B"									
B103	2 BED - TYPE "B"									
B104	3 BED - TYPE "B"									
B105	MECH									
B106	FIRE RISER									
B107	ELEC									
LEVEL 2										
B201	3 BED									
B202	2 BED									
B203	2 BED									
B204	3 BED									
LEVEL 3										
B301	3 BED									
B302	2 BED									
B303	2 BED									
B304	3 BED									

					FINISH				WINDOW	
NUMBER	NAME	FLOOR	BASE	N WALL	E WALL	S WALL	W WALL	CEILING	TREATMENT	COMMENTS
LEVEL 1						1		-1		
C101	4 BED - TYPE "A"/ ACCESSIBLE *									
C102	1 BED - TYPE "B" *									
C103	2 BED - TYPE "B" *									
C104	2 BED - TYPE "A"/ ACCESSIBLE *									
C105	1 BED - TYPE "A"/ ACCESSIBLE *									
C106	3 BED - TYPE "A"/ ACCESSIBLE *									
C110	MECH									
C111	FIRE RISER									
C112	ELEC									
LEVEL 2										
C201	4 BED									
C202	1 BED									
C203	2 BED									
C204	2 BED									
C205	2 BED									
C206	3 BED									
LEVEL 3										
C301	4 BED									
C302	1BED									
C303	2 BED									
C304	2 BED									
C305	2 BED									

BUILDI	ING D									
					FINISH				WINDOW	
NUMBER	NAME	FLOOR	BASE	N WALL	E WALL	S WALL	W WALL	CEILING	TREATMENT	COMMENTS
LEVEL 1										
D101	4 BED - TYPE "B" *									
D102	1 BED - TYPE "B"									
D103	2 BED - TYPE "B"									
D104	2 BED - TYPE "B"									
D105	1 BED - TYPE "B"									
D106	3 BED - TYPE "B" *									
D110	MECH									
D111	FIRE RISER									
D112	ELEC									
LEVEL 2										
D201	4 BED									
D202	1 BED									
D203	2 BED									
D204	2 BED									
D205	2 BED									
D206	3 BED									
LEVEL 3			•	•				•		
D301	4 BED									
D302	1 BED									
D303	2 BED									
D304	2 BED									
D305	2 BED									
D306	3 BED									

HOUSING HOPE we keep hope alive





119 MAIN ST, STE #200 SEATTLE, WA 98104-2579 (206) 322-3322

HOUSING HOPE SCRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

REVISION SCHEDULE

Date Description

FINISH LEGEND

3 BED

MARK	FINISH
ACT-1	ACOUSTICAL TILE CEILING
CAB-1	CABINET
CAB-2	CABINET
CAB-3	CABINET
CONC-1	EXPOSED CONCRETE SLAB-ON-GRADE
CPT-1	TILE CARPETING #1 - COMMERCIAL
CPT-2	TILE CARPETING #2 - RESIDENTIAL
CPT-3	TILE CARPETING #3 - WALK-OFF MAT
CT-1	PLASTIC LAMINATE COUNTERTOPS
CT-2	PLASTIC LAMINATE COUNTERTOPS
FL-1	RESILIENT FLOORING - TILE - COMMERCIAL
FL-2	RESILIENT FLOORING - TILE - RESIDENTIAL
FL-3	RESILIENT FLOORING - SHEET - WET AREAS
PT-1	PAINT
PT-2	PAINT
PT-3	PAINT
PT-4	PAINT
RB-1	RUBBER BASE
RB-2	RUBBER BASE
WT-1	WINDOW TREATMENT - ROLLER SHADES

FINISH PLAN GENERAL NOTES:

- 1. PAINT SHEEN SHALL BE SATIN, U.N.O.
- 2. PAINT SHEEN AT BATHROOMS AND LAUNDRY WALLS AND CEILINGS TO BE SEMI-GLOSS, U.N.O.
- 3. MOISTURE AND MOLD RESISTANT GWB AT ALL WALLS.
- 4. CONCRETE CONTROL JOINTS SHALL BE LOCATED PER STRUCTURAL REQUIREMENTS.
- 5. PROVIDE FLOOR FINISH UNDER SLIDE-IN APPLIANCES (REFRIGERATORS, DISHWASHERS, RANGES), WITH FINISHED REAR WALL AND BASE.
- 6. EXTEND FLOOR FINISH TO WALL OR CABINET BASE AT COUNTERTOP OVERHANGS.
- 7. CASEWORK INFORMATION, REFER TO ENLARGED PLANS AND INTERIOR ELEVATIONS.
- 8. PLYWOOD MOUNTING BOARDS, REFER TO ELEC REQUIREMENTS, AND FINISH SCHEDULE LOCATED
- 9. MIRROR LOCATIONS, REFER TO INTERIOR ELEVATIONS.
- 10. GWB SOFFIT, REFER TO RCP AND INTERIOR ELEVATIONS.
- 11. SUSPENDED ACOUSTIC CELING PANELS, REFER TO RCP
- 12. ALL TYPE B UNITS, PROVIDE BLOCKING FOR ALL FUTURE GRAB BARS AND ACCESSORIES. USE MODEL A UNITS AS A BASIS FOR POTENTIAL FUTURE GRAB BAR AND ACCESSORY NEEDS.

CONTENTS:

INTERIOR FINISH SCHEDULES

SCALE: 12" = 1'-0"

DRAWN: RB, AM

CHECKED: KW

PROJECT NO: 2023004.00

SHEET:

A10.0

EXTERIOR BUILDING COMPONENT FINISH SCHEDULE

BUILDING COMPONENT	FINISH TYPE	FINISH DESCRIPTION	COMMENT
DOORS - ENTRANCE DOOR FRAMES, RAILS, AND STILES (AT NON-RESIDENTIAL AREAS)	FF	F1	
DOORS - FRAME - RESIDENTIAL UNIT DOOR	PT	A5	SATIN SHEEN
DOORS - PANEL - RESIDENTIAL UNIT DOOR	PT	C1	SATIN SHEEN
DOORS - UTILITY ROOMS FRAME AND PANEL	PT	A1	
EXTERIOR LUMINAIRES	FF	TO MATCH F2	
FASCIA	PT	A5	SATIN SHEEN
FIBER CEMENT SIDING	PT	VARIES, REFER TO EXTERIOR PAINT COLOR SCHEDULE AND ELEVATIONS	SATIN SHEEN
MECHANICAL LOUVERS AND VENTS	PT	TO MATCH ADJACENT WALL / DOOR COLOR	SATIN SHEEN
METAL CANOPIES (BLDG A ONLY)	FF	A5	SEMI-GLOSS SHEEN
RAILINGS AND STAIR HANDRAILS	FF	A5	SEMI-GLOSS SHEEN
SHEET METAL FLASHING AND TRIM (NOT OTHERWISE SPECIFIED)	FF	F2	
SHEET METAL FLASHING AT DOORS AND WINDOWS	FF	F2	
SHEET METAL GUTTERS, DOWNSPOUTS, AND BRACKETS	FF	F2	
SIGNAGE - BUILDING ADDRESS SIGN	FF	A5	
SIGNAGE - BUILDING IDENTIFICATION SIGN	FF	A5	
STRUCTURE - EXPOSED METAL BRACKETS	PT	A5	SEMI-GLOSS SHEEN
STRUCTURE - EXPOSED ROOF SHEATHING	PT	D1	75% OPACITY
STRUCTURE - EXPOSED WOOD COLUMNS, BEAMS, DECK JOISTS, STAIR STRINGERS	PT	D1	75% OPACITY
STRUCTURE - EXPOSED WOOD RAFTERS	PT	D1	75% OPACITY
TRASH ENCLOSURE - GATES	PT	A5	
FRASH ENCLOSURE - WOOD MEMBERS	PT	D1	75% OPACITY
WINDOW FRAMES	FF	F1	

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119 MAIN ST, STE #200 SEATTLE, WA 98104-2579 (206) 322-3322

EXTERIOR PAINT COLOR SCHEDULE

FIELD PAINT SOLID COLO	RS (BOD BENJAMIN MOOF	RE):			FIELD PAINT WOOD STAIN (BOD SHERWIN WILLIAMS):		
A1 2121-10 GRAY	A2 2121-20 STEEL WOOL	A3 2121-30 PEWTER	A4 2121-40 SIVER HALF DOLLAR	A5 2124-10 WROUGHT IRON	D1 SW3511 CEDAR BARK		
B1 2166-30 BRONZE TONE	B2 2057-30 BUTTERSCOTCH	B3 2021-30 SUNSHINE			PRE-FINISHED SIDING (BODE) E1 WHITE GRANITE	E2 CASCADE SLATE	E3 COASTAL GRAY
C1 2062-30 BLUE DANUBE	C2 2062-40 BLUE DAISY	C3 2062-50 BLUE JEAN			WINDOW FRAME COLOR (BOD MILGARD): F1 BRONZE	PRE FINISHED METAL (BOD AEP SPAN): F2 COOL MIDNIGHT BRONZE	ASPHALT SHINGLE ROOFING (BOD CERTAINTEED LANDMARK SERIES): G1 MOIRE BLACK

HOUSING HOPE SCRIBER PLACE

DESIGN DEVELOPMENT

ISSUE DATE: SEPTEMBER 20, 2023

REVISION SCHEDULE

Date Description

CONTENTS:

EXTERIOR FINISH SCHEDULE

SCALE: 1/8" = 1'-0"

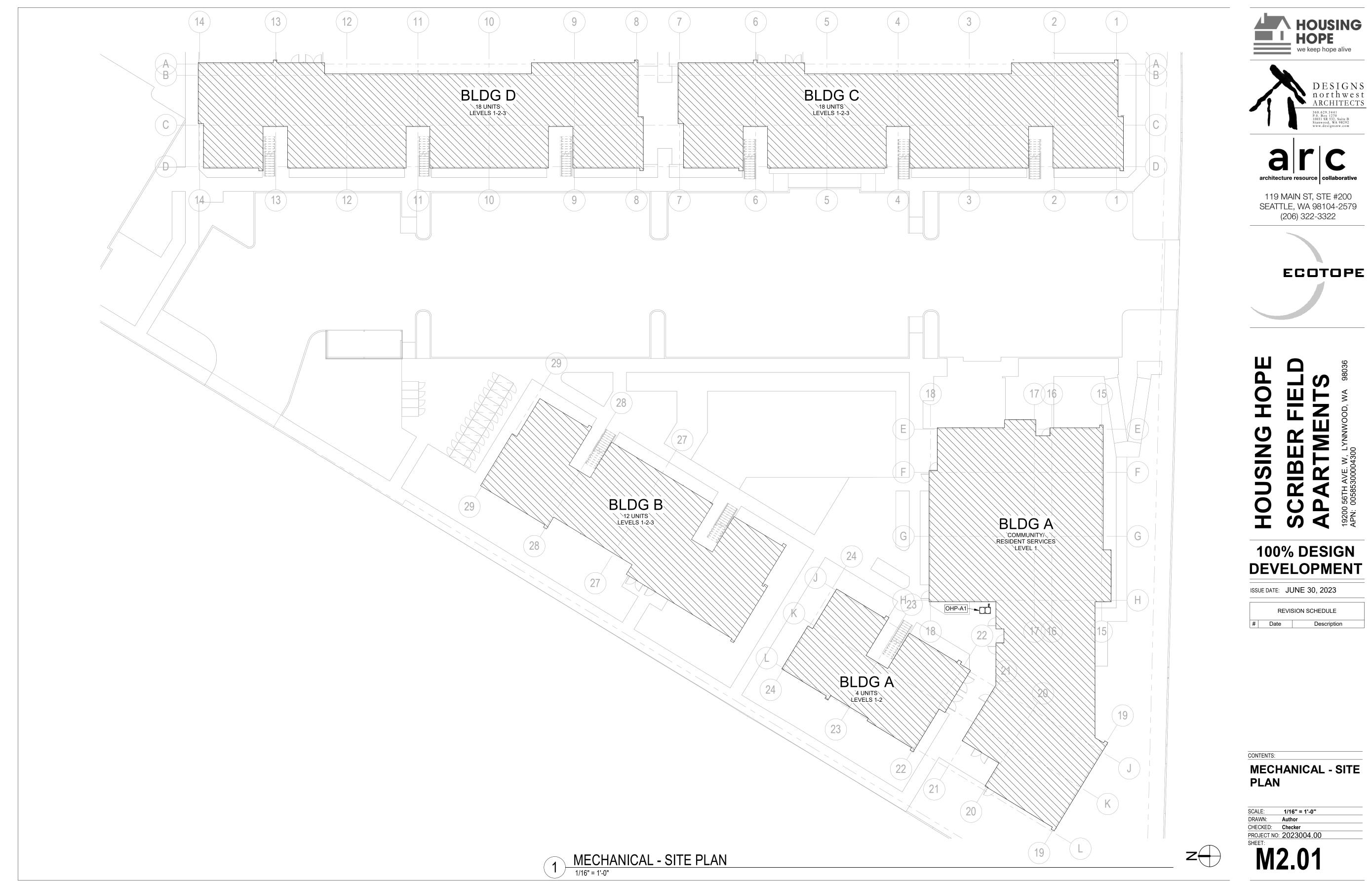
DRAWN: RB, AM

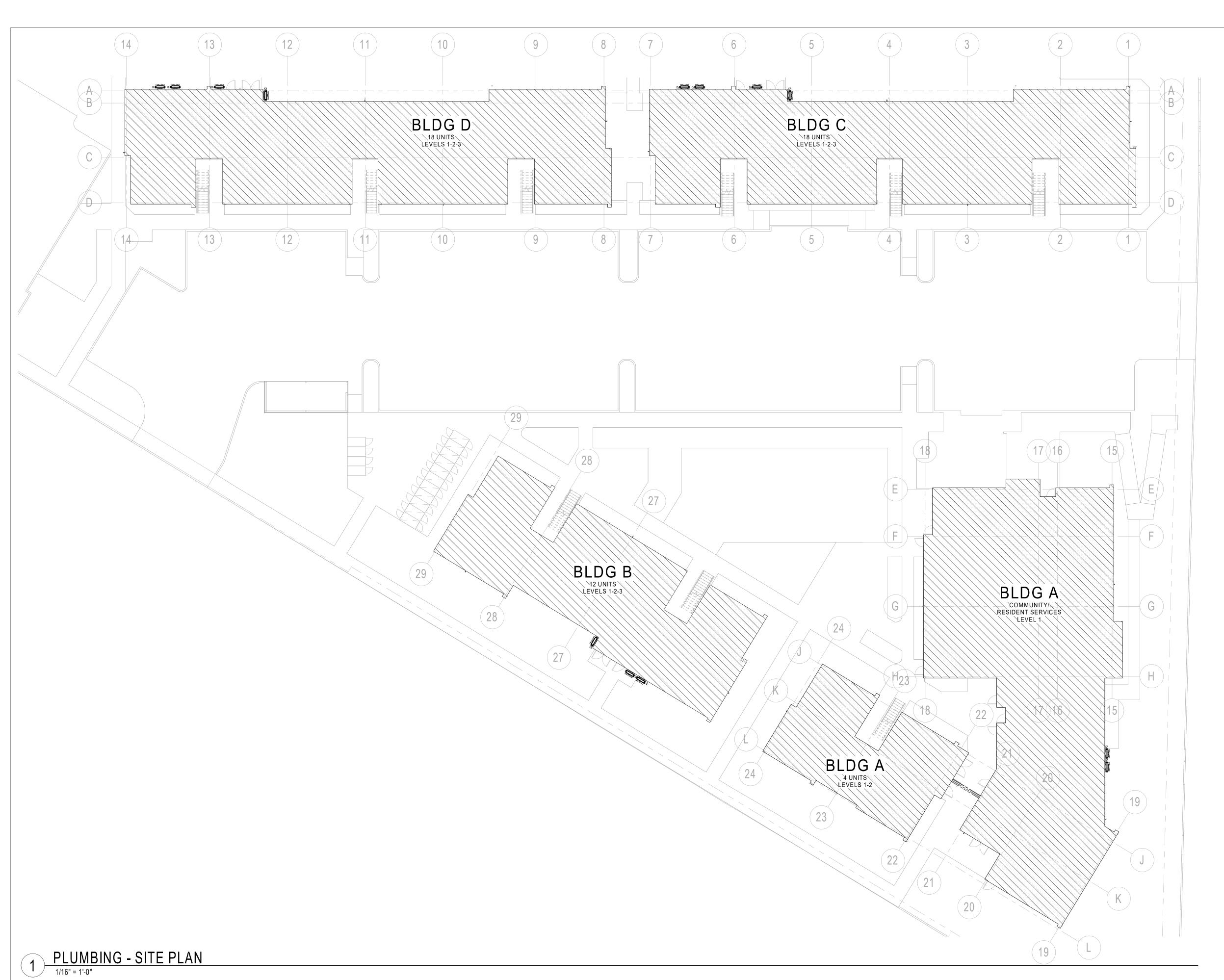
CHECKED: KW

PROJECT NO: 2023004.00

SHEET:

A10₋1













HOUSING HOPE SCRIBER FIELD APARTMENTS APN: 00585300004300

100% DESIGN DEVELOPMENT

ISSUE DATE: JUNE 30, 2023

REVISION SCHEDULE

Date Description

CONTENTS:

PLUMBING - SITE PLAN

SCALE: 1/16" = 1'-0"

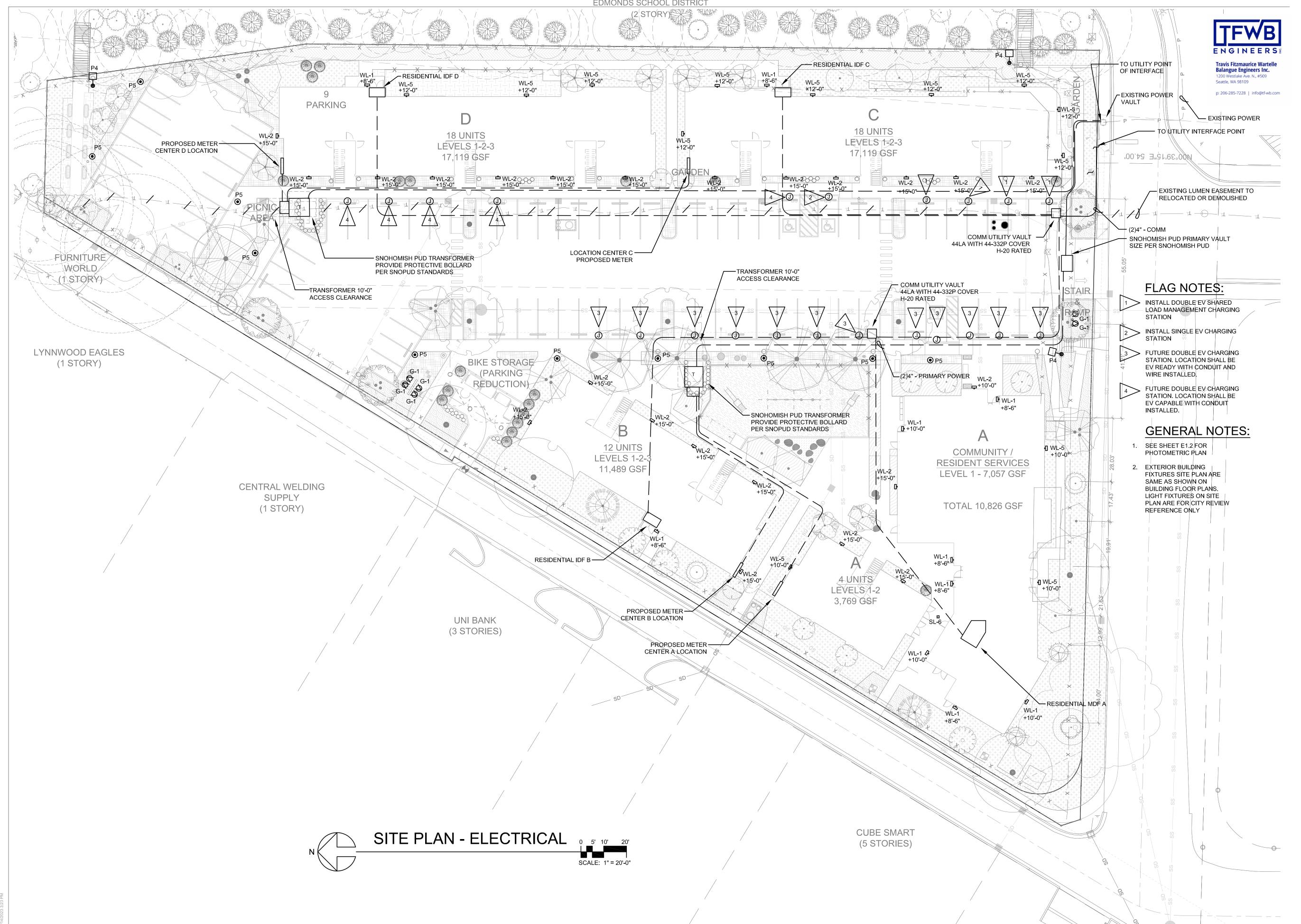
DRAWN: KMG

CHECKED: SLB

PROJECT NO: 2023004.00

SHEET:

P2.01



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SCRIBER FIELD APARTMENTS 19200 56TH AVE. W, LYNNWOOD, WA 98036

DESIGN DEVELOPMENT

ISSUE DATE: MAY 25, 2023

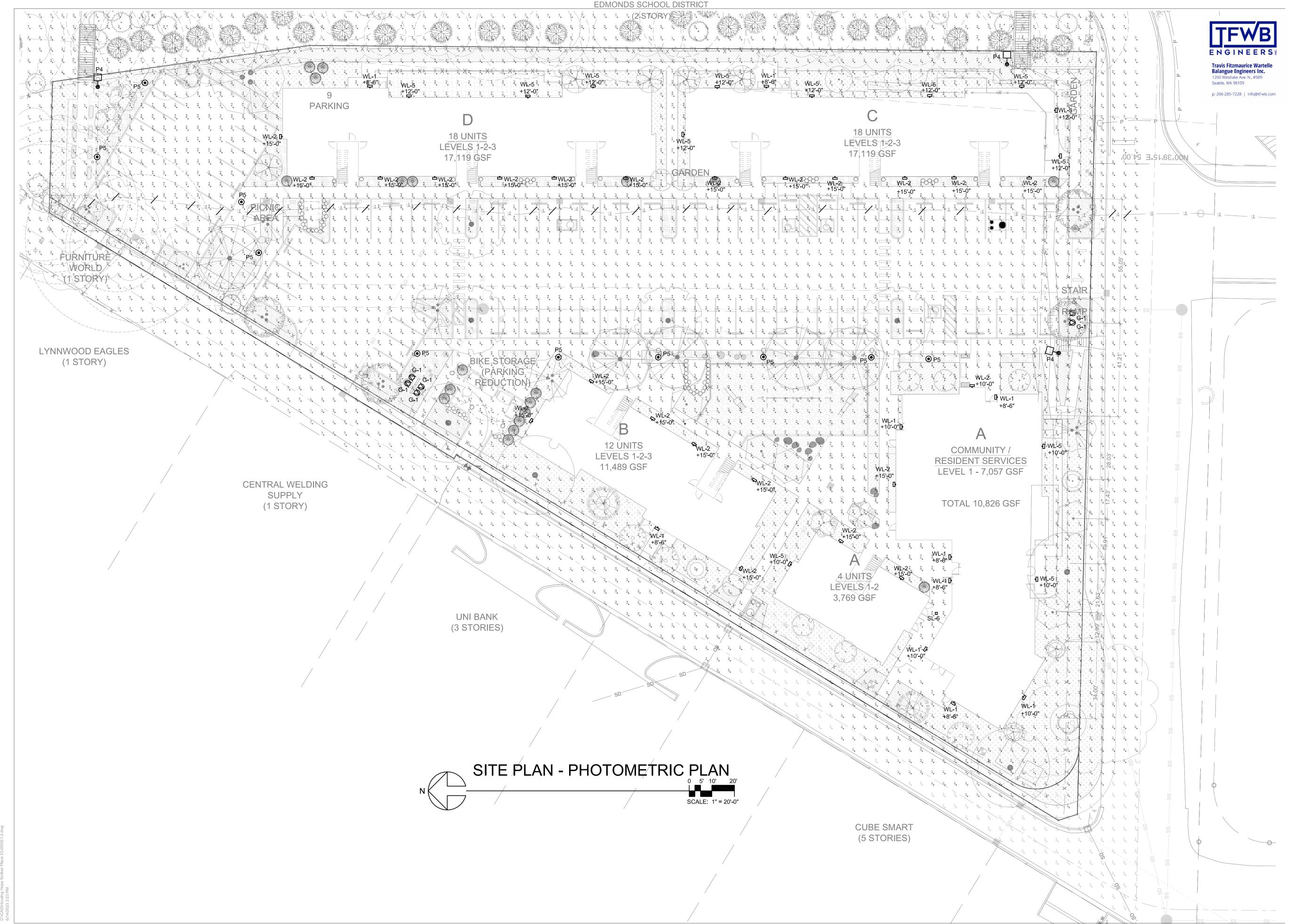
	REVIS	SION SCHEDULE
#	Date	Description

CONTENTS:

SITE PLAN -ELECTRICAL

SCALE:	As shown
DRAWN:	EL/AS/KH
CHECKED:	MF
PROJECT NO:	2023004.00
SHEET:	

E1.1



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119 MAIN ST, STE #200 SEATTLE, WA 98104-2579 (206) 322-3322

OUSING HOPE CRIBER FIELD PARTMENTS

DESIGN DEVELOPMENT

ISSUE DATE: MAY 25, 2023

REVISION SCHEDULE

Date Description

CONTENTS:

SITE PLAN -PHOTOMETRIC PLAN

SCALE: As shown
DRAWN: EL/AS/KH
CHECKED: MF
PROJECT NO: 2023004.00

E1.2









EXTERIOR LIGHTING FIXTURE SCHEDULE - SCRIBER PLACE

ТҮРЕ	LAMP	LUMEN OUTPUT	ССТ	VOLTAGE	MINIMUM CRI	CONTROL	MANUFACTURER	DESCRIPTION	LOCATION	BUG RATING
P4	LED 24 W	2300 LUMENS	3000K	120 V	70 CRI	0-10V DIM	COPPER: LUXESCAPE LXS-VA-1-730-U-ASW-A-FINISH MS/DIM-L20	LED POLE MOUNTED ARMED FIXTURE ON 15' TALL POLE. ASYMMETRIC WIDE DISTRIBUTION. UL WET LABEL AND LOW TEMP DRIVER WITH DIFFUSED LENS. PROVIDE 4" POLE WITH HANDHOLE TO UTILITY VAULT 24R-8-LB POLE BASE. PROVIDE BASE COVER. IN PARKING AND ROAD EXPOSE 2' OF BASE. IN LANDSCAPE AREAS FLUSH WITH GRADE. PROVIDE INTEGRAL MOTION SENSOR. DIM TO 30% WHEN NO MOTION IS DETECTED	SITE	B1-U0-G1
P5	LED 48 W	4500 LUMENS	3000K	120 V	70 CRI	0-10V DIM	COPPER: LUXESCAPE LXS-VA-2-730-U-ASW-S-FINISH MS/DIM-L20	LED POLE MOUNTED FIXTURE ON 15' TALL POLE. SPIDER MOUNT. ASYMMETRIC WIDE DISTRIBUTION. UL WET LABEL AND LOW TEMP DRIVER WITH DIFFUSED LENS. PROVIDE 4" POLE WITH HANDHOLE TO UTILITY VAULT 24R- 8-LB POLE BASE. PROVIDE BASE COVER. IN PARKING AND ROAD EXPOSE 2' OF BASE. IN LANDSCAPE AREAS FLUSH WITH GRADE. PROVIDE INTEGRAL MOTION SENSOR. DIM TO 30% WHEN NO MOTION IS DETECTED	SITE	B1-U0-G1
G-1	LED 9.3 W	2900 LUMENS	3000K	120V	70 CRI	0-10V DIM	KIM LIGHTING: EL218 MICRO-FLOOD + SM18 MOUNTING KIM LIGHTING: LTV8 FLAT FRAME	ABOVE GRADE/IN GRADE LED LIGHT AT SIGN. PROVIDE NARROW SPOT DISTRIBUTION AND ROCK GUARD. UL WET LABEL.	SITE	EXEMPT
SL-6	LED 9W	1000 LUMENS	3000K	120 V	80 CRI	SWITCH	LITON: LUMEN PAD LCMPD5R-FINISH-UE-D10-TS30	5" ROUND SURFACE MOUNTED LED FIXTURE. 1" DEPTH. 0-10V DIMMING	CANOPY	B3-U0-G1
WL-1	LED 13 W	914 LUMENS	3000K	120V	70 CRI	TIMECLOCK, MOTION SENSOR	PERFORMANCE LIGHTING: MASK+ MSK-M-12.5-FINISH-3K-120-0-10V- JBOX	WALL MOUNTED FIXTURE WITH TYPE 4 LIGHTING DISTRIBUTION AND HEAVY DIFFUSE LENS. UL WET LABEL, -20F DRIVER. PROVIDE INTEGRAL MOTION SENSOR. MOUNT AT 10' AFF UNLESS OTHERWISE NOTED ON DRAWINGS.	EXTERIOR	B2-U0-G2
WL-2	LED 41 W	3800 LUMENS	3000K	120V	70 CRI	TIMECLOCK, MOTION SENSOR	COOPER LIGHTING:INVUE CCW-VA2-730-U-T3-FINISH- MD/DIM- L20	WALL MOUNTED FIXTURE WITH TYPE 4 FORWARD THROW LIGHTING DISTRIBUTION AND HEAVY DIFFUSE LENS. UL WET LABEL, -20F DRIVER. PROVIDE INTEGRAL MOTION SENSOR. MOUNT AT 15' AFF UNLESS OTHERWISE NOTED ON DRAWINGS.	EXTERIOR WALL	B2-U0-G2
WL-5	LED 29 W	2800 LUMENS	3000K	120V	70 CRI	TIMECLOCK, MOTION SENSOR	COOPER LIGHTING:INVUE CCW-VA1-730-U-T3-FINISH- MD/DIM- L20	WALL MOUNTED FIXTURE WITH TYPE 3 LIGHTING DISTRIBUTION AND HEAVY DIFFUSE LENS. UL WET LABEL, -20F DRIVER. PROVIDE INTEGRAL MOTION SENSOR. MOUNT AT 12' AFF UNLESS OTHERWISE NOTED ON DRAWINGS.	EXTERIOR WALL	B2-U0-G2

	Optio	n/Value	Code Reference
Lighting Zone	LZ-2		21.17.02
Compliance Method	Performance		21.17.080.(B).(Option A)
Total Site Lumen Limit Method	Performance I	Method	21.17.08 & 21.17.09
Lumen Limit (68,850 Sqft) @2.5 Lumens Per Sqft	172125	Lumens	21.17.04
Additional Lumens for Building Entrances & Exits. 19 doors @ 2000 lumens each.	38000	Lumens	21.17.04
Total Lumen Limit	210125	Lumens	
Type P4 (Qty. 3) @ 2300 Lumens	6900	Lumens	
Type P5 (Qty. 10) @ 4500 Lumens	45000	Lumens	
Type SL-6 (Qty. 1) @ 6000 Lumens	9000	Lumens	
Type WL-1 (Qty. 10) @ 914 Lumens	9140	Lumens	
Type WL-2 (Qty. 22) @ 3800 Lumens	83600	Lumens	
Type WL-5 (Qty. 13) @ 2800 Lumens	36400	Lumens	
Total Lumens Remaining Lumens		190040 Lumens 20085 Lumens	

CRIBER FIELD PARTMENTS

DESIGN DEVELOPMENT

ISSUE DATE: MAY 25, 2023

	REVISION SCHEDULE						
#	Date	Description					

CONTENTS:

SITE PLAN -PHOTOMETRIC CALCULATIONS

SCALE: As shown
DRAWN: EL/AS/KH
CHECKED: MF
PROJECT NO: 2023004.00
SHEET:

E1.3

ALL COLORS, FINISHES, ETC ARE BY ARCHITECT.

MOUNTING HEIGHTS PER ARCHITECTURAL ELEVATIONS.