

# iVista@Alderwood

18799 ALDERWOOD MALL PARKWAY  
LYNNWOOD, WA  
98037

**PDR SUBMITTAL**  
MARCH 31 2023



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PROJECT NAME

**iVista@Alderwood**

18799 ALDERWOOD MALL  
PARKWAY  
LYNNWOOD, WA  
98037

OWNER NAME

**ALDERWOOD  
INVESTMENTS LLC**

18799 ALDERWOOD MALL  
PARKWAY

**NOT FOR  
CONSTRUCTION**



DATE ISSUES & REVISIONS

DATE	ISSUES & REVISIONS
1 03/31/23	PDR SUBMITTAL

SCALE AS SHOWN

PROJECT NUMBER 23.301

DESCRIPTION  
COVER SHEET

SHEET NUMBER

**GO.00**

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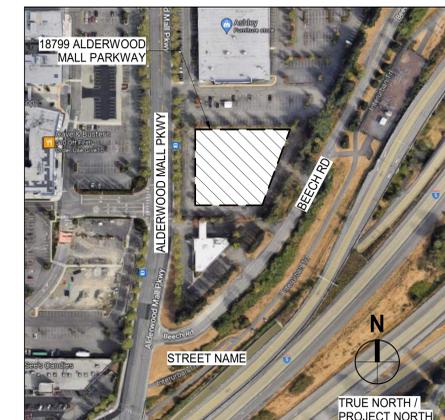
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VICINITY MAP



## PROJECT SUMMARY

### APARTMENT UNIT MATRIX

NAME	COUNT
1-BR	16
1-BR W DEN	5
2-BR	17
3-BR	3
LEVEL 3	41
1-BR	16
1-BR W DEN	5
2-BR	19
3-BR	3
LEVEL 4	43
1-BR	16
1-BR W DEN	5
2-BR	19
3-BR	3
LEVEL 5	43
1-BR	16
1-BR W DEN	5
2-BR	19
3-BR	3
LEVEL 6	43
1-BR	16
1-BR W DEN	5
2-BR	19
3-BR	3
LEVEL 7	43
1-BR	16
1-BR W DEN	5
2-BR	19
3-BR	3
LEVEL 8	43
TOTAL	256

### APARTMENT UNIT COUNT

NAME	COUNT	PERCENTAGE
1-BR	96	38%
1-BR W DEN	30	12%
2-BR	112	44%
3-BR	18	7%
TOTAL	256	100%

### ROOM SCHEDULE -UNITS AVARAGE SF

NAME	AV.
1-BR	
1-BR	574 SF- 740 SF
1-BR: 96	
1-BR W DEN	
1-BR W DEN	656 SF - 944 SF
1-BR W DEN: 30	
2-BR	
2-BR	730 SF -1056 SF
2-BR: 112	
3-BR	
3-BR	1,066 SF - 1,278 SF
3-BR: 18	

### TYPE A DWELLING UNITS

NUMBER	NAME	Level
1-BR		
345	1-BR	LEVEL 3
445	1-BR	LEVEL 4
545	1-BR	LEVEL 5
645	1-BR	LEVEL 6
4		
1-BR W DEN		
732	1-BR W DEN	LEVEL 7
832	1-BR W DEN	LEVEL 8
2		
2-BR		
327	2-BR	LEVEL 3
427	2-BR	LEVEL 4
527	2-BR	LEVEL 5
637	2-BR	LEVEL 6
737	2-BR	LEVEL 7
5		
3-BR		
417	3-BR	LEVEL 4
517	3-BR	LEVEL 5
2		
Grand total:	13	

## PARKING CALCULATIONS

### REQUIRED VEHICLE PARKING

**RESIDENTIAL** = 256 RESIDENTIAL UNITS  
 REQUESTED PARKING  
 1 PARKING SPACE PER DWELLING UNIT =256 SPACES

**COMMERCIAL**=  
 1 PARKING PER 300 SF - 2400 SF OF RETAIL AREA = 8 SPACES

**TOTAL PARKING REQUIRED** = **264 SPACES**

**TOTAL PARKING PROVIDED** = **264 SPACES**

### PARKING COUNT - BY TYPE

TYPE	COUNT	PERCENTAGE
ACCESSIBLE		
VEHICLE	4	2%
	4	2%
ACCESSIBLE VAN		
VEHICLE	2	1%
	2	1%
COMPACT		
VEHICLE	60	23%
	60	23%
EV SPACE		
VEHICLE	10	4%
	10	4%
STANDARD		
VEHICLE	188	71%
	188	71%
TOTAL	264	100%

### PARKING COUNT - BY LEVEL

Level	COUNT
BASEMENT	
BASEMENT	40
	40
LEVEL 1	
LEVEL 1	103
	103
LEVEL 2	
LEVEL 2	121
	121
TOTAL	264

SITE: 31

GARAGE: 72

RAMP: 33

GARAGE: 88

## PARKING REQUIRED- BICYCLE

### BICYCLE PARKING

### BICYCLE COUNT

TYPE	NO. OF STALLS
BICYCLE	
LONG-TERM	110
SHORT TERM	2
TOTAL	112

## GROSS BUILDING & OCCUPANCY AREAS

### GROSS BUILDING AREA

LEVEL	AREA
B	
LEVEL 1	2,399 SF
R-2	
LEVEL 1	6,452 SF
LEVEL 2	4,307 SF
LEVEL 3	41,832 SF
LEVEL 4	41,854 SF
LEVEL 5	41,854 SF
LEVEL 6	41,854 SF
LEVEL 7	40,887 SF
LEVEL 8	40,238 SF
S-2	
LEVEL 1	40,372 SF
LEVEL 2	39,771 SF
TOTAL:	341,819 SF

### OCCUPANCY AREAS

OCCUPANCY	AREA
A-2	6,878 SF
A-3	12,024 SF
B	433 SF
M	2,400 SF
R-2	203,730 SF
S-2	71,881 SF
TOTAL	297,345 SF

## PROJECT SCOPE

PROJECT CONSISTS OF:

THE PROPOSED PROJECT IS AN 8 STORY, 256-UNIT APARTMENT BUILDING WITH 2,400 SF OF RETAIL AT THE GROUND FLOOR. THERE IS A SURFACE PARKING AREA WITH 31 STALLS, AND IN-BUILDING PARKING ON LEVELS 1 & 2 WITH PARTIAL BELOW GRADE BASEMENT PARKING. TOTAL PARKING FOR THE PROJECT 264 STALLS.

RESIDENTIAL DWELLING UNITS WITH 1, 2 AND 3 BEDROOM UNITS. THE AMENITY SPACES WILL CONSIST OF AN 8,000 SF OPEN COURTYARD THAT WILL HAVE OUTDOOR SEATING AREAS, BARBEQUE, AND WILL BE FULLY LANDSCAPED. INSIDE AMENITIES ARE A 3,500-SF FITNESS CENTER, A CLUBROOM WITH A FULL KITCHEN, AND A MOVIE ENTERTAINMENT ROOM.

THE CONSTRUCTION OF THE PROJECT IS ANTICIPATED TO START IN EARLY 2024 AND TO BE COMPLETED IN MID-2026.

## PROJECT DATA SUMMARY

PROJECT NAME: IVISTA ALDERWOOD

PROJECT ADDRESS: 18799 ALDERWOOD MALL PARKWAY LYNNWOOD, WA 98037

LOT LEGAL DESCRIPTION:

THE SOUTH 255 FEET OF THE NORTH 530.25 FEET, AS MEASURED ALONG THE WEST LINE, OF THAT PORTION OF LOTS 13 AND 14, BLOCK 4, ALDERWOOD MANOR NO. 3, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 9 OF PLATS, PAGE(S) 74 THROUGH 76, INCLUSIVE, RECORDS OF SNOHOMISH COUNTY, WASHINGTON, LYING NORTHWESTERLY OF P.S.H. NO. 1 (SR 5);

EXCEPT THAT PORTION THERE OF CONVEYED TO THE CITY OF LYNNWOOD FOR ROAD BY DEED RECORDED UNDER AUDITORS

FILE NO. 2116457, RECORDS OF SNOHOMISH COUNTY, WASHINGTON;

(ALSO KNOWN AS PARCEL C OF SHORT PLAT RECORDED UNDER AUDITOR'S FILE NO. 7811130408).

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

PARCEL NO.: 00372800401301

SITE AREA: 81,668 SF (1.874 ACRES)

SITE DESCRIPTION:

THE PROJECT SITE IS LOCATED APPROXIMATELY 400' NORTH OF THE INTERSECTION BETWEEN BEECH ROAD AND ALDERWOOD MALL PARKWAY IN LYNNWOOD, WASHINGTON. THE PROPERTY IS TRAPEZOIDAL IN SHAPE AND IS COMPRISED OF ONE TAX PARCEL (SNOHOMISH COUNTY PARCEL NO. 00372800401301) TOTALING APPROXIMATELY 1.88 ACRES.

THE SITE IS SURROUNDED TO THE NORTH BY AN ASHLEY FURNITURE STORE, TO THE EAST BEECH ROAD, TO THE SOUTH BY AN EXISTING VACANT ONE-STORY BUILDING (SOON TO BE A STARBUCKS), AND TO THE WEST BY ALDERWOOD MALL PARKWAY. THE SITE HAD A MEDICAL CENTER BUILDING LOCATED ON IT BUT HAS SENCE BEEN DEMOLISHED. THE SITE TOPOGRAPHY IS RELATIVELY LEVEL WITH LITTLE TO NO DISCERNIBLE ELEVATION CHANGE. THE VEGETATION IS SPARSE AND IS COMPRISED PRIMARILY OF TREES AND SHRUBS AROUND THE PERIMETER.

THE EXISTING PARKING LOT ASPHALT FROM THE PROVIOUS USE IS STILL IN PLACE.

COMMUNITY PLAN AREA: ALDERWOOD MALL

ZONING: PRC - PLANNED REGIONAL SHOPPING CENTER

TYPE OF CONSTRUCTION:  
 5 LEVELS OF TYPE IIIA OVER 3 LEVELS OF TYPE IA

OCCUPANCY GROUP:  
**BASEMENT**  
 PARKING GROUP S-2  
 1ST FLOOR = MIXED USE OCCUPANCY  
 RESIDENTIAL LOBBY, LEASING, AMENITY  
 ACCESSORY TO R-2  
 RETAIL GROUP M

**2ND FLOOR**  
 PARKING GROUP S-2  
 AMENITY ACCESSORY TO R-2

**3RD FLOOR**  
 OUTDOOR & INDOOR AMENITIES GROUP A-3  
 APARTMENTS GROUP R-2

**4TH - 8TH FLOOR**  
 APARTMENTS GROUP R-2

## FIRE / LIFE SAFTY REQUIREMENTS

**SECONDARY WATER SUPPLY:** YES  
**FIRE DETECTION:** ALARM SYSTEM WITH VOICE EVACUATION IN LOW RISE & HIGH RISE  
**SMOKE DETECTION:** SYSTEM IN LOW RISE AND HIGH RISE  
**FIRE EXTINGUISHING SYSTEM:** AUTOMATIC SPRINKLER - INSTALLED PER NFPA 13 - FULLY SPRINKLERED  
**STANDPIPE SYSTEM:** CLASS 1  
**SMOKE CONTROL:** YES

## BUILDING HEIGHT / NO. OF STORIES

**GRADE PLANE**  
 LOT GRADE MEANS THE AVERAGE OF THE FINISHED GROUND LEVEL AT THE CENTER OF ALL EXPOSED WALLS OF THE BUILDING. IN CASE WALLS ARE PARALLEL TO AND WITHIN FIVE FEET OF THE SIDEWALK, THE ABOVE GROUND LEVEL SHALL BE MEASURED AT THE SIDEWALK. (ORD. 2020 § 2, 1994; ORD. 190 ART. IV § 407, 1964)

LOT GRADE CALCULATION:  
 NORTH (A)= 408.5, EAST (B)= 409.00, SOUTH (C)=409.5, WEST (D)=409.0  
 408.5+ 409.00+409.5+409=1,636  
 1636/4= **409.00**

**BUILDING CODE HEIGHT:** 85'  
**BUILDING HEIGHT PROPOSED (FROM GRADE PLANE):** 494.00'

**ALLOWABLE HEIGHT:** 75' ABOVE Height to highest occupied floor @484.50'  
 (Assumed level of fire department access = L1 Floor Level)

**LOWEST GRADE POINT FOR FIRE ACCESS:** 409.50'  
**HIGHEST OCCUPIED FLOOR HEIGHT:** 482.83'

**NUMBER OF STORIES PROPOSED:** 6 OCCUPIED RESIDENTIAL, 2 PARKING AND 1 BASEMENT PARKING

## BUILDING SETBACKS

**BUILDING SETBACKS:**

## AREA ANALYSIS

**ALLOWABLE FLOOR AREA:**

GROUP A-2/A-3, TYPE I-B At = UNLIMITED S.F./FLOOR  
 GROUP B, TYPE I-B At = UNLIMITED S.F./FLOOR  
 GROUP M, TYPE I-B At = UNLIMITED S.F./FLOOR  
 GROUP R-1, TYPE I-B At = UNLIMITED S.F./FLOOR  
 GROUP S-2, TYPE I-B At = 237,000 S.F./FLOOR

## FIRE SEPARATION REQUIREMENTS

### OCCUPANCY SEPARATION

OCCUPANCY	A	R	S-2, U	B, M, S-1
A	-	1	-	1
R	1	-	1	1
S-2, U	-	1	-	1
B, M, S-1	1	1	1	-

FIRE SEPARATION REQUIREMENTS (HOURS) FOR FULLY SPRINKLERED BUILDING PER CBC TABLE 508.4

### TABLE 601 - FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)

BUILDING ELEMENT	TYPE I B	TYPE III B
PRIMARY STRUCTURAL FRAME (SEE SECTION 202)	2	0
BEARING WALLS - EXTERIOR	2	2
BEARING WALLS - INTERIOR	2	0
NONBEARING WALLS AND PARTITIONS - EXTERIOR	SEE TABLE 602	SEE TABLE 602
NONBEARING WALLS AND PARTITIONS - INTERIOR	0	0
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS (SEE SECTION 202)	2	0
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS (SEE SECTION 202)	1	0

### TABLE 602 - FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (HOURS)

FSD	FIRE-RESISTANCE RATING (HOURS)
X < 5	1
5 ≤ X < 10	1
10 ≤ X < 30	1
X ≥ 30	0

### TABLE 705.8 - FIRE SEPARATION DISTANCE (FSD) AND OPENING PROTECTION

FIRE SEPARATION DISTANCE	% UNPROTECTED OPENINGS ALLOWED IN SPRINKLERED BUILDING PER CBC TABLE 705.8
5' ≤ FSD < 10'	25%
10' ≤ FSD < 15'	45%
15' ≤ FSD < 20'	75%
20' ≤ FSD	NO LIMIT



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PROJECT NAME

## ivista@Alderwood

18799 ALDERWOOD MALL  
 PARKWAY  
 LYNNWOOD, WA  
 98037

OWNER NAME

## ALDERWOOD INVESTMENTS LLC

18799 ALDERWOOD MALL  
 PARKWAY



DATE ISSUES & REVISIONS

1 03/31/23 PDR SUBMITTAL

SCALE AS SHOWN

PROJECT NUMBER 23.301

DESCRIPTION PROJECT INFORMATION

SHEET NUMBER

# G0.02

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98037

OWNER NAME

### ALDERWOOD INVESTMENTS LLC

18799 ALDERWOOD MALL  
PARKWAY



VIEW OF WEST



VIEW OF SOUTH WEST CORNER



△	DATE	ISSUES & REVISIONS
1	03/31/23	PDR SUBMITTAL

SCALE AS SHOWN

PROJECT NUMBER 23.301

DESCRIPTION  
RENDERINGS

SHEET NUMBER

## G0.03A

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PROJECT NAME

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LYNNWOOD, WA  
98037

OWNER NAME

### ALDERWOOD INVESTMENTS LLC

18799 ALDERWOOD MALL  
PARKWAY



VIEW OF NORTH WEST CORNER



VIEW OF SOUTH EAST CORNER



△	DATE	ISSUES & REVISIONS
1	03/31/23	PDR SUBMITTAL

SCALE AS SHOWN

PROJECT NUMBER 23.301

DESCRIPTION  
RENDERINGS

SHEET NUMBER

## G0.03B

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VIEW OF RESIDENTIAL ENTRY



VIEW OF NORTH EAST CORNER

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**GF/**

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PROJECT NAME

**iVista@Alderwood**

18799 ALDERWOOD MALL  
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LYNNWOOD, WA  
98037

OWNER NAME

**ALDERWOOD  
INVESTMENTS LLC**

18799 ALDERWOOD MALL  
PARKWAY



DATE	ISSUES & REVISIONS
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SCALE AS SHOWN

PROJECT NUMBER 23.301

DESCRIPTION  
RENDERINGS

SHEET NUMBER

**G0.03C**

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18799 ALDERWOOD MALL  
PARKWAY  
LYNNWOOD, WA  
98037

OWNER NAME

**ALDERWOOD  
INVESTMENTS LLC**

18799 ALDERWOOD MALL  
PARKWAY



**VIEW OF RETAIL ENTRY / PLAZA**



**VIEW OF NORTH WEST GARAGE ENTRY**



△	DATE	ISSUES & REVISIONS
1	03/31/23	PDR SUBMITTAL

SCALE AS SHOWN

PROJECT NUMBER 23.301

DESCRIPTION  
RENDERINGS

SHEET NUMBER

**G0.03D**

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PROJECT ADDRESS JURISDICTION ZONE ZONING ANALYSIS DATED CODE CONTENT SOURCE		18799 ALDERWOOD MALL PARKWAY, LYNNWOOD, WA 98037 CITY OF LYNNWOOD PRC - PLANNED REGIONAL SHOPPING CENTER 3/31/2023 <a href="https://lynnwood.municipal.codes/LMC/ZL">https://lynnwood.municipal.codes/LMC/ZL</a>	
APPLICABLE SECTION	CODE REQUIREMENT	NOTES / COMMENTS	
GENERAL LANDSCAPE STANDARDS	21.08.300 F	1. Pedestrian connections and walkways may traverse landscaped areas. All areas of a landscape buffer strip must be landscaped except where occupied by a pedestrian sidewalk, path, or vehicular driveway. 2. Pedestrian connections are encouraged across landscaped areas to connect multifamily and single-family residential zones, to commercial zones, and between commercial zones, for ease of resident access to grocery, retail, and other commercial businesses. Such pedestrian connections must be no wider than five feet.	
PARKING AREA AND LANDSCAPE STANDARDS	21.08.350 A	The parking area landscaping standards in this section explain the zones, location, and amount of landscaping required for parking lots, service yards, parking structures, and outdoor display areas.	
PARKING LOT INTERIOR LANDSCAPING	C	1. Landscaping within the interior of a surface parking lot area is intended to reduce the visual blight that large, unbroken areas of pavement create, increase stormwater absorption, and reduce the urban heat island effect. For surface parking lot interior landscaping types, the following standards shall apply to all zones except the Highway 99 Mixed Use zone (HMU): a. Interior landscaping areas shall be at least 25 square feet in area and at least three feet wide. b. No parking stall shall be located more than 45 feet from a landscaped area. c. All interior landscaping must be located between parking stalls or at the end of striped parking columns. d. Interior landscaped islands or peninsulas must be surrounded on at least three sides by parking lot surface.	
PARKING LOT DEVELOPMENT STANDARDS	21.18.700 C	C. Compact Car Parking (also see LMC 21.18.820). 1. In sites with 10 or more stalls, up to 20 percent of the number of stalls required by this chapter may be designed for compact cars in accordance with the specifications contained in this section. 2. Compact stalls shall be restricted to, and signed or marked for, employee, student or resident use only. Parking stalls for customers, patients, guests, deliveries and other frequent parking turnover users shall be full-size. Pavement markings, if used, must be maintained in a clear and readable condition. 3. Stalls provided in excess of the minimum number required by this chapter may be compact stalls. 4. Compact stalls shall be clearly designated for compact car use only with signs and/or pavement markings. 5. Compact stalls shall not be adjacent to fire lanes unless the stall is parallel (stall angle zero degrees) to the direction of traffic flow in the fire lane.	
	D	Handicapped Accessible Stalls. Handicapped accessible parking shall be provided in accordance with the requirements of the International Building Code per Chapter 51-50 WAC. Accessible stalls count toward the parking capacity requirements of LMC 21.18.800.	
	E	Pedestrian Access. Paved pedestrian access walkways shall be provided between streets and sidewalks and building entrances, and between parking lots and building entrance(s) in accordance with the standards of the Lynnwood citywide design guidelines.	
PARKING STRUCTURE DEVELOPMENT STANDARDS	21.18.710 A.1, C	A.1. In the PRC, CG and PCD zones, 50 percent of the square footage of the ground-level floor of the parking structure shall be counted toward lot coverage. In all other zones, 100 percent of the square footage of the ground-level floor shall be counted toward lot coverage. C. Exterior Elevations. 1. The exterior colors and materials of a parking structure shall match or complement those of the project for which it provides parking to the maximum extent feasible. 2. The architectural design of the structure's exterior (including the use of colors and materials), if not matching the design of adjoining buildings, should visually complement other buildings in the project. When viewed together, the main building(s) and parking structure(s) should create an overall design character that integrates all project buildings into a well-coordinated and visually pleasing streetscape. 3. Regardless of the interior or structural design of the structure, exterior horizontal facade elements shall be level and not sloped. Masking or concealing sloping ramps may necessitate placing facades on the exterior walls. 4. Horizontal exterior facades 30 feet or longer shall be treated or designed so long, continuous horizontal surfaces do not dominate the structure's appearance. 5. The apparent bulk of the structure shall be reduced by setting back floors above the third level. 6. Low walls, facades or other improvements (at least three and one-half feet high) shall be installed around all sides of all levels of the structure so parked vehicles are not visible from ground level and adjoining buildings. Landscaping may be installed (in planter boxes) on top of such walls to provide additional screening and soften the exterior appearance of the parking structure.	
	D	Ground Floor 1. Vehicle Access. No parking structure entry/exit driveway shall have more than three lanes unless exceptional traffic conditions or congestion require an additional drive lane. In no case shall the number of lanes exceed four. 2. Street Frontage. Where a parking structure is directly adjacent to a street parking may be located along the street frontage; provided, that the parking structure is set back from the street a minimum of 25 feet. b. The 25-foot setback shall be landscaped as required by LMC 21.08.400(A). 3. Pedestrian Connections. The design of pedestrian connections or pathways from a parking structure to the building(s) for which it provides parking shall clearly delineate and separate the pedestrian way from travel areas for vehicles.	
PARKING CAPACITY REQUIREMENTS	21.48.210 A.2	Residential parking shall have a minimum of one and a maximum of one and one-half spaces per dwelling unit or as determined by the development and business services director based upon data submitted by the applicant. Retail Uses: 1 per 300 SF gross leasable area.	
OFF-STREET PARKING	21.18.855	A. Purpose. Bicycle parking is intended to encourage the use of bicycles by providing safe and convenient places to park bicycles. These regulations encourage bicycle parking based on the demand generated by different uses and the level of security necessary to encourage the use of bicycles for short or long stays. B. Bicycle Parking Ratio. For developments with 20 or more required automobile parking stalls, the number of automobile parking stalls otherwise required by LMC 21.18.800 may be reduced by one stall for every five bicycle parking stalls provided that meet the requirements of subsections (C) and (D) of this section up to a maximum of five percent of all automobile parking stalls required. C. Type of Bicycle Parking Required. Categories of bicycle parking required for each type of use shall be in accordance with the following: 1. A "Class 1 bicycle facility" means a bike locker, or other individually locked enclosure, or a supervised area within a building providing protection for each bicycle therein from theft, vandalism and weather. 2. A "Class 2 bicycle facility" means an outdoor bike rack or stand constructed and located in accordance with subsection (D) of this section. D. Design and Location of Bicycle Parking Facilities. 1. Each bicycle parking stall shall be no less than six feet long by two feet wide and shall have a bike rack system. 2. Bike racks shall be constructed so as to enable the user to secure the bicycle by locking the frame and at least one wheel of each bicycle. Racks must be easily usable with both U-locks and cable locks. Racks shall support the bikes in a stable upright position so that a bike, if bumped, will not fall or roll down. Racks that support a bike primarily by a wheel, such as standard "wire racks," are damaging to wheels, thus not acceptable. 3. Outdoor bicycle parking areas shall be floored or paved. Bike racks shall be securely anchored to the floor or lot surface so they cannot be easily removed and sufficiently strong to resist vandalism or theft. 4. Location. a. Bicycle parking should be located in close proximity to the building or facility entrance(s) and clustered in lots not to exceed 20 stalls each. b. Bicycle parking should be located in highly visible, well-lighted areas to minimize theft and vandalism. c. Bicycle facilities shall not impede pedestrian or vehicle circulation. Wherever possible bicycle parking should be incorporated into building design or street furniture. d. If bicycle parking is side-by-side in rows, there shall be an access aisle at least six feet wide to the front or rear of each stall. e. Bicycle parking areas within auto parking areas shall be separated by a physical barrier such as curbs, wheel stops, stanchions, fences, or similar to protect bicycles from damage by cars. (Ord. 2730 § 1, 2008)	
ELECTRIC VEHICLE PARKING	21.18.930	1. Use. Electric vehicle charging station spaces shall be reserved for parking and charging electric vehicles only during times the charging space is made available solely for that purpose (see subsection (B)(4)(a) of this section for sign provisions) if the charging station has time limitations for its use. 2. Number. There is no minimum required number of charging station spaces. 3. Size. Where provided, spaces shall be standard (e.g., not compact) size stalls.	
COMMERCIAL ZONES	21.46	Multiple-Family Housing. Dwellings may be permitted, consistent with the use and development regulations for multiple-family dwellings in the PCD zone.	

LIMITATION ON USES - RESIDENTIAL UNITS	21.46.116	B	Multiple-Family Housing. 1. For properties zoned NC, dwellings may be permitted in commercial or office buildings on the second floor or higher. All provisions normally applying to high-rise multiple-family housing shall apply. 2. For properties zoned PCD, dwellings may be permitted on the second floor of buildings or higher; provided, that: a. General commercial, office, or similar land uses occupy the ground level of the building where the building faces or abuts a public street. b. Not more than 20 percent of the linear frontage of the ground level that faces a public street may be used for the entrance, lobby, leasing office, etc., for the building's residences. c. Floor area at ground level limited to general commercial, office, or similar uses shall have a minimum depth of 30 feet, as measured perpendicular to the building facade, so that the floor area may be occupiable for nonresidential land uses. d. For development sites where the building is not accessible or visible from the abutting public street, the development and business services director may authorize dwellings to be located below the second floor of the building. 3. For properties subject to the provisions of this chapter, development with multifamily dwellings shall provide a minimum of 40 square feet of on-site recreation area per dwelling. The on-site recreation area shall consist of a minimum of two of the following: a. Individual patio, deck or balcony immediately adjacent to the corresponding dwelling. Individual patios, decks, or balconies shall be designed so that a six-foot-by-six-foot square will fit within the perimeter of the patio, deck or balcony. b. Outdoor recreation area accessible to all residents of the development and designed so that a 15-foot-by-15-foot square will fit within the perimeter of the outdoor recreation area. Common outdoor recreation areas shall include features such as: landscaped courtyard or plaza; seating; lighting; rooftop garden; children's play structure; and sport court. Outdoor recreation areas may include overhead weather protection, but shall not be enclosed. Landscaping required within parking areas shall not be considered outdoor recreation area. c. Indoor recreation space accessible to all residents of the development and designed so that a 12-foot-by-12-foot square will fit within the indoor recreation area. Indoor recreation areas shall include furnishings and fixtures for activities such as: aerobic exercise; children's play; indoor games; sports; hobbies and crafts; and video entertainment.	Complies																																																
DEVELOPMENT STANDARDS	21.46.200		<p>Table 21.46.14 Development Standards</p> <table border="1"> <thead> <tr> <th></th> <th>NC</th> <th>PCD</th> <th>CG</th> </tr> </thead> <tbody> <tr> <td>Minimum Area</td> <td>none</td> <td>none</td> <td>none</td> </tr> <tr> <td>Minimum Front Yard Setback</td> <td>13 ft.</td> <td>13 ft.</td> <td>15 ft.</td> </tr> <tr> <td>Minimum Side Yard Setback - Street</td> <td>15 ft.</td> <td>15 ft.</td> <td>15 ft.</td> </tr> <tr> <td>Minimum Side Yard Setback - Abutting to RS Zone</td> <td>10 ft.</td> <td>25 ft.</td> <td>25 ft.</td> </tr> <tr> <td>Minimum Side Yard Setback - Abutting to RM Zone</td> <td>10 ft.</td> <td>15 ft.</td> <td>15 ft.</td> </tr> <tr> <td>Minimum Side Yard Setback - Abutting all other zones</td> <td>none</td> <td>none</td> <td>none</td> </tr> <tr> <td>Minimum Rear Yard Setback - Abutting to RS Zone</td> <td>25 ft.</td> <td>50 ft.</td> <td>50 ft.</td> </tr> <tr> <td>Minimum Rear Yard Setback - Abutting to RM Zone</td> <td>25 ft.</td> <td>25 ft.</td> <td>25 ft.</td> </tr> <tr> <td>Minimum Rear Yard Setback - Abutting all other zones</td> <td>none</td> <td>none</td> <td>none</td> </tr> <tr> <td>Maximum Building Height</td> <td>35 ft.</td> <td>none</td> <td>none</td> </tr> <tr> <td>Maximum Lot Coverage</td> <td>35%</td> <td>none</td> <td>35%</td> </tr> </tbody> </table>		NC	PCD	CG	Minimum Area	none	none	none	Minimum Front Yard Setback	13 ft.	13 ft.	15 ft.	Minimum Side Yard Setback - Street	15 ft.	15 ft.	15 ft.	Minimum Side Yard Setback - Abutting to RS Zone	10 ft.	25 ft.	25 ft.	Minimum Side Yard Setback - Abutting to RM Zone	10 ft.	15 ft.	15 ft.	Minimum Side Yard Setback - Abutting all other zones	none	none	none	Minimum Rear Yard Setback - Abutting to RS Zone	25 ft.	50 ft.	50 ft.	Minimum Rear Yard Setback - Abutting to RM Zone	25 ft.	25 ft.	25 ft.	Minimum Rear Yard Setback - Abutting all other zones	none	none	none	Maximum Building Height	35 ft.	none	none	Maximum Lot Coverage	35%	none	35%	Complies - Refer sheet A1.01, Site Plan
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OTHER REGULATIONS	21.46.900		1. Development Standards. Refuse and recycling collection areas in all commercial zones shall comply with the development standards below. The following development standards shall supersede other applicable setback requirements of this chapter and any Lynnwood Citywide Design Guidelines, as adopted by reference in LMC 21.25.145(B)(3), that may conflict: a. Set back a minimum of 25 feet from a public street. 2. Enclosure. All refuse and recycling collection areas shall be enclosed on three sides by a six-foot-high sight-obscuring fence which uses building materials, color, and design details similar to the primary buildings on the site and a six-foot-high gate on one side. The height of the enclosure may include the height of a surrounding slope or berm (height measured from bottom inside edge of the collection area). The enclosure shall include a gate which can be secured in an open or closed position. If the enclosure includes a gate made of metal chain link fencing, the fencing shall contain slats which screen the view of containers and materials inside the collection area. An alternative design may be approved if it is determined that such alternative would provide equal or better screening, architectural compatibility, and containment. 3. Parking. No refuse and recycling collection area shall be located in such a way that new or existing parking stalls will prevent or interfere with the use and servicing of the collection area. 4. Design. Refuse and recycling collection areas shall be sized, located, and constructed per standards established by the public works department.	Complies - Refer sheet A1.01, Site Plan																																																
PLANNED REGIONAL SHOPPING CENTER ZONE	21.48																																																			
PROJECT DESIGN REVIEW	21.48.105		B. Design Guidelines for Multiple-Family Uses. Construction of any multiple-family structure or building including duplexes (two-family dwellings) permitted outright or by conditional use permit in the planned regional shopping center zone shall comply with Lynnwood Citywide Design Guidelines for All Districts and Multi-family Districts, as adopted by reference in LMC 21.25.145(B)(3), and receive approval pursuant to Chapter 21.25 LMC, unless otherwise specified in this chapter.																																																	
LIMITATIONS ON RESIDENTIAL USES	21.48.116	B	Multiple-Family Housing. Dwellings may be permitted, consistent with the use and development regulations for multiple-family dwellings in the PCD zone	Complies																																																
DEVELOPMENT STANDARDS	21.48.200	A	Minimum Setbacks. There shall be a minimum setback for buildings of 15 feet from any public street right-of-way.	Complies - Refer sheet A1.01, Site Plan																																																
		B	Maximum Building Height. Building height is not restricted.	Complies																																																
		C	Maximum Lot Coverage by Buildings. Lot coverage is not restricted.	Complies																																																



PROJECT NAME

iVista@Alderwood

18799 ALDERWOOD MALL  
PARKWAY  
LYNNWOOD, WA  
98037

OWNER NAME

ALDERWOOD  
INVESTMENTS LLC

18799 ALDERWOOD MALL  
PARKWAY



DATE ISSUES & REVISIONS

1 03/31/23 PDR SUBMITTAL

SCALE AS SHOWN

PROJECT NUMBER 23.301

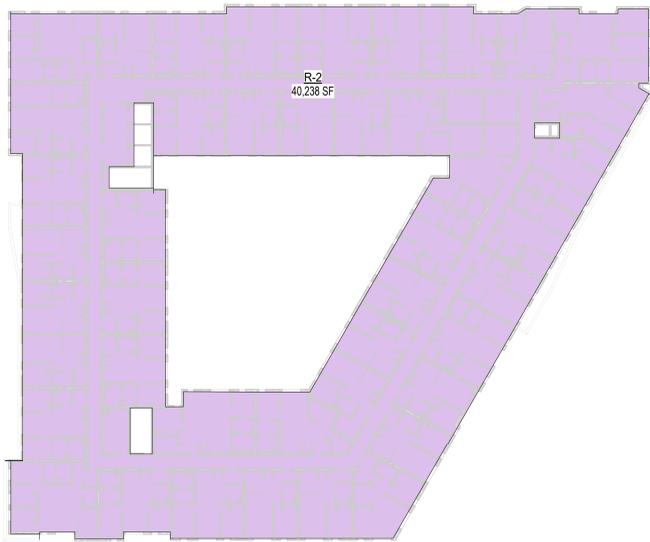
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LAND USE CODE  
INFORMATION

SHEET NUMBER

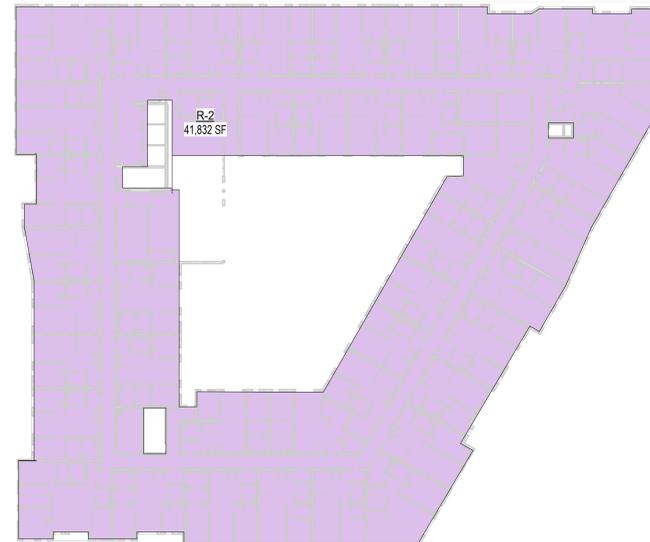
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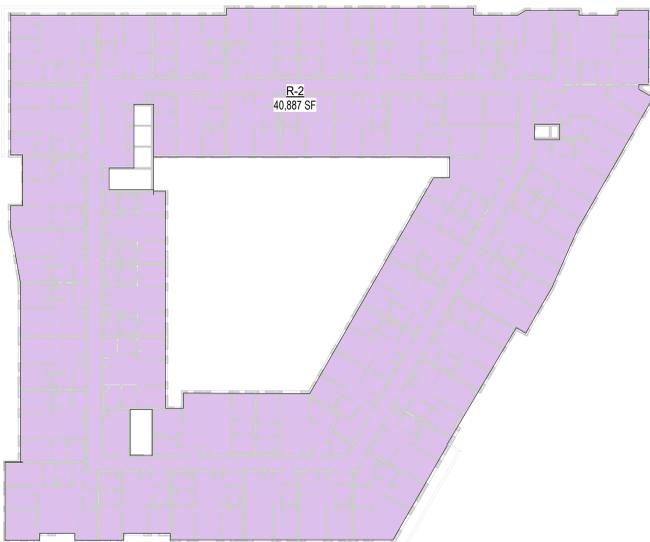




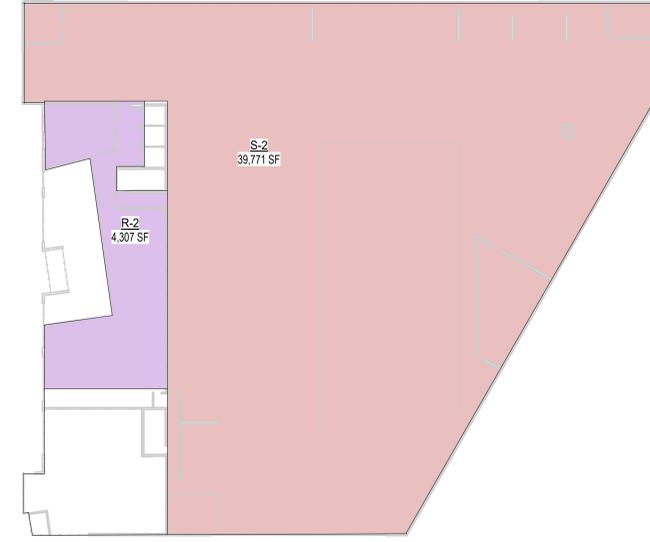
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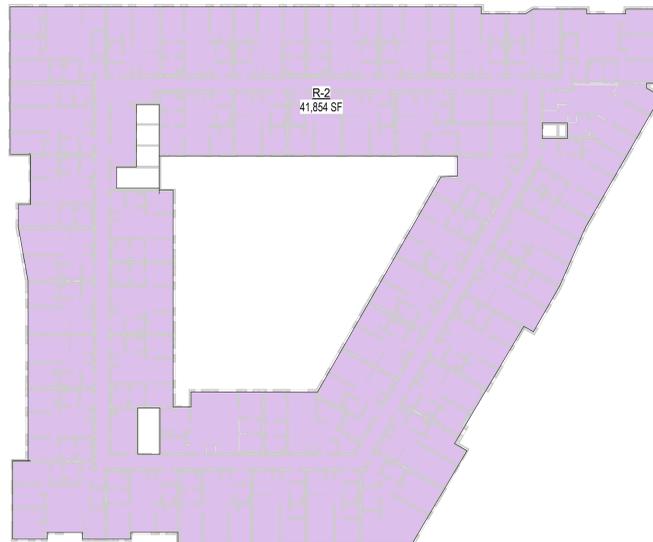
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SCALE: 1" = 30'-0"  
**3** G0.21



**LEVEL 7**  
SCALE: 1" = 30'-0"  
**6** G0.21



**LEVEL 2**  
SCALE: 1" = 30'-0"  
**2** G0.21



**LEVEL 4- 5-6**  
SCALE: 1" = 30'-0"  
**5** G0.21



**LEVEL 1**  
SCALE: 1" = 30'-0"  
**1** G0.21

SEC. 12.21.1-A, 5 PROVIDES:  
IN COMPUTING THE TOTAL FLOOR AREA WITHIN A BUILDING, THE GROSS AREA CONFINED WITHIN THE EXTERIOR WALLS WITHIN A BUILDING SHALL BE CONSIDERED AS THE FLOOR AREA OF THAT FLOOR OF THE BUILDING, EXCEPT FOR:

- THE SPACE DEVOTED TO STAIRWAYS, ELEVATOR SHAFTS, LIGHT COURTS
- ROOMS HOUSING MECHANICAL EQUIPMENT INCIDENTAL TO THE OPERATION OF BUILDINGS
- OUTDOOR EATING AREAS OF GROUND FLOOR RESTAURANTS.

B. THE FOLLOWING GUIDELINES SHALL APPLY WHEN CALCULATING FLOOR AREA UNDER THE BUILDING CODE DEFINITION AND:

ARCHITECTURAL PROJECTION SHALL MEAN ANY PROJECTION NOT INTENDED FOR SHELTER OR OCCUPANCY AND WHICH EXTENDS BEYOND THE OUTER FACE OF AN EXTERIOR WALL OF A BUILDING, BUT SHALL NOT INCLUDE SIGNS.

AREA UNDER ARCHITECTURAL PROJECTIONS EXCEEDING 5 FEET (1524 MM) IN WIDTH SHALL BE INCLUDED IN THE FLOOR AREA CALCULATION. EXTERIOR WALLS SHALL BE CONSIDERED TO EXIST AT THE OUTER EDGES OF SUCH PROJECTIONS FOR THE PURPOSE OF ENFORCING EXTERIOR WALL CONSTRUCTION AND OPENING PROTECTION DUE TO BUILDING LOCATION ON THE PROPERTY.



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GROSS BUILDING AREA - TOTALS	
NAME	AREA
B	2,399 SF
R-2	259,277 SF
S-2	80,143 SF
<b>TOTAL:</b>	<b>341,819 SF</b>

GROSS BUILDING AREA	
LEVEL	AREA
B	
LEVEL 1	2,399 SF
R-2	
LEVEL 1	6,452 SF
LEVEL 2	4,307 SF
LEVEL 3	41,832 SF
LEVEL 4	41,854 SF
LEVEL 5	41,854 SF
LEVEL 6	41,854 SF
LEVEL 7	40,887 SF
LEVEL 8	40,238 SF
S-2	
LEVEL 1	40,372 SF
LEVEL 2	39,771 SF
<b>TOTAL:</b>	<b>341,819 SF</b>



DATE	ISSUES & REVISIONS
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DESCRIPTION  
GROSS BUILDING AREA

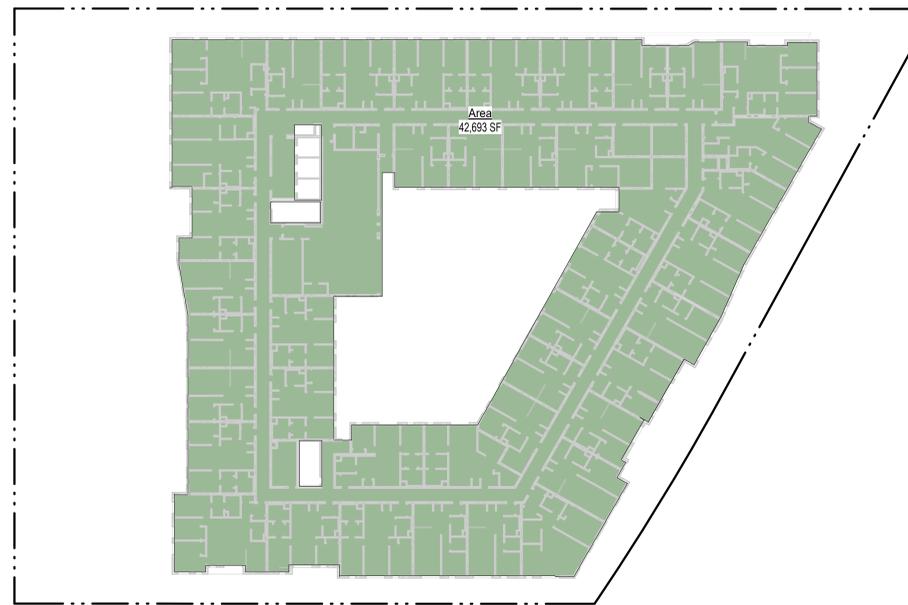
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**G0.21**

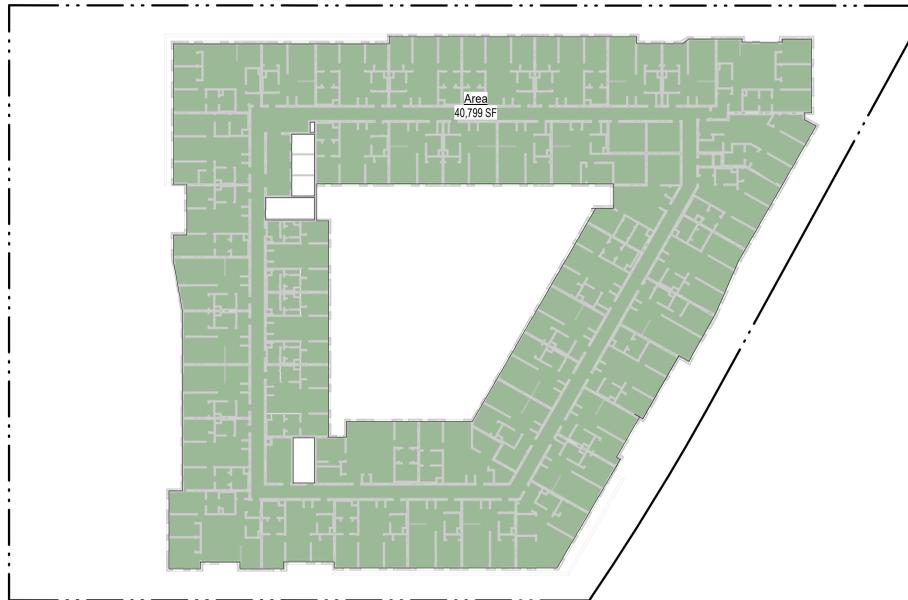
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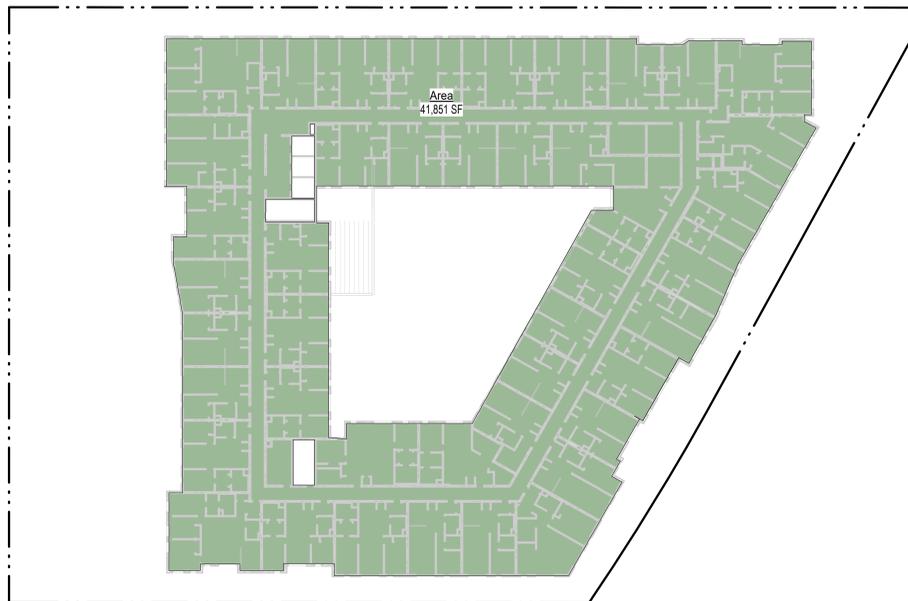
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**LEVEL 7**  
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**5** G0.22



**LEVEL 2**  
SCALE: 1" = 30'-0"  
**2** G0.22



**LEVEL 4,5,6**  
SCALE: 1" = 30'-0"  
**4** G0.22



**LEVEL 1**  
SCALE: 1" = 30'-0"  
**1** G0.22

21.02.340  
FLOOR AREA.

"FLOOR AREA" MEANS THE AREA INCLUDED WITHIN SURROUNDING WALLS OF THE BUILDING (OR PORTION THEREOF), EXCLUSIVE OF VENT SHAFTS AND COURTS. (ORD. 2020 § 2, 1994; ORD. 190 ART. IV § 406, 1964)

21.02.350  
FLOOR AREA RATIO.

"FLOOR AREA RATIO (FAR)" MEANS THE GROSS FLOOR AREA OF ALL BUILDINGS OR STRUCTURES ON A LOT DIVIDED BY THE TOTAL LOT AREA. FOR EXAMPLE, A 5,000-SQUARE-FOOT BUILDING ON A 5,000-SQUARE-FOOT LOT HAS A FLOOR AREA RATIO OF 1.0 OR 100 PERCENT WHILE THE SAME BUILDING ON A 10,000-SQUARE-FOOT LOT WOULD HAVE A FAR OF 0.50 OR 50 PERCENT. THE FAR IS USED IN CALCULATING THE BUILDING INTENSITY OF A DEVELOPMENT PROJECT. (ORD. 3192 § 4, 2016)



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F.A.R. ANALYSIS		
ALLOWABLE F.A.R. = UNLIMITED		AREA OF LOT = 81,668 SF
Level	Area	F.A.R.
LEVEL 1	8,677 SF	0.11
LEVEL 2	4,664 SF	0.06
LEVEL 3	42,693 SF	0.52
LEVEL 4	41,851 SF	0.51
LEVEL 5	41,851 SF	0.51
LEVEL 6	41,851 SF	0.51
LEVEL 7	40,799 SF	0.5
LEVEL 8	40,184 SF	0.49
<b>TOTAL F.A.R.</b>	<b>262,570 SF</b>	<b>3.22</b>



DATE ISSUES & REVISIONS

1 03/31/23 PDR SUBMITTAL

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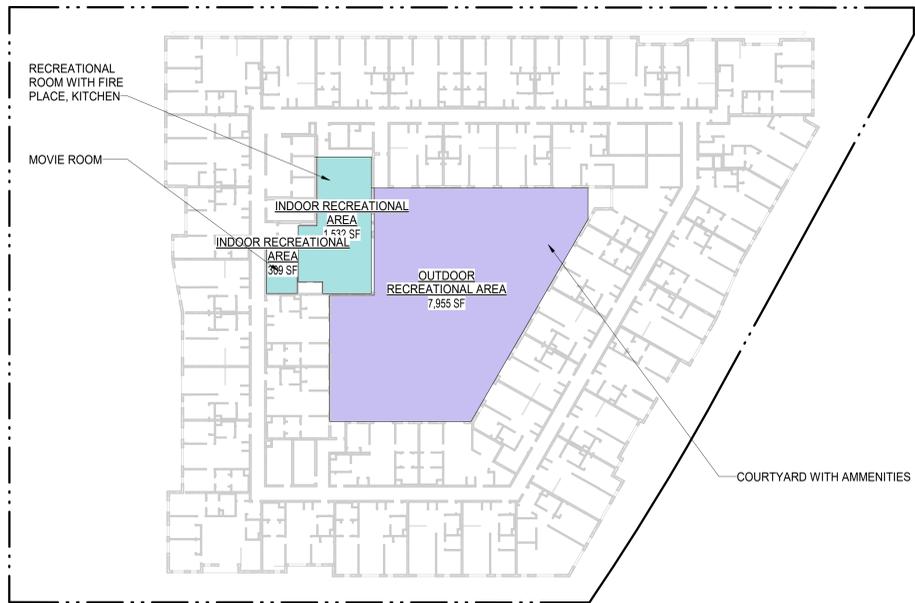
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DESCRIPTION  
ZONING AREA (F.A.R.)

SHEET NUMBER

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**LEVEL 3**  
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G0.23

**SITE RECREATIONAL AREA REQUIREMENTS:**

FOR PROPERTIES SUBJECT TO THE PROVISIONS OF THIS CHAPTER, DEVELOPMENT WITH MULTIFAMILY DWELLINGS SHALL PROVIDE A MINIMUM OF 40 SQUARE FEET OF ON-SITE RECREATION AREA PER DWELLING. THE ON-SITE RECREATION AREA SHALL CONSIST OF A MINIMUM OF TWO OF THE FOLLOWING:

A. INDIVIDUAL PATIO, DECK OR BALCONY IMMEDIATELY ADJACENT TO THE CORRESPONDING DWELLING. INDIVIDUAL PATIOS, DECKS, OR BALCONIES SHALL BE DESIGNED SO THAT A SIX-FOOT-BY-SIX-FOOT SQUARE WILL FIT WITHIN THE PERIMETER OF THE PATIO, DECK OR BALCONY.

B. OUTDOOR RECREATION AREA ACCESSIBLE TO ALL RESIDENTS OF THE DEVELOPMENT AND DESIGNED SO THAT A 15-FOOT-BY-15-FOOT SQUARE WILL FIT WITHIN THE PERIMETER OF THE OUTDOOR RECREATION AREA. COMMON OUTDOOR RECREATION AREAS SHALL INCLUDE FEATURES SUCH AS: LANDSCAPED COURTYARD OR PLAZA; SEATING; LIGHTING; ROOFTOP GARDEN; CHILDREN'S PLAY STRUCTURE; AND SPORT COURT. OUTDOOR RECREATION AREAS MAY INCLUDE OVERHEAD WEATHER PROTECTION, BUT SHALL NOT BE ENCLOSED. LANDSCAPING REQUIRED WITHIN PARKING AREAS SHALL NOT BE CONSIDERED OUTDOOR RECREATION AREA.

C. INDOOR RECREATION SPACE ACCESSIBLE TO ALL RESIDENTS OF THE DEVELOPMENT AND DESIGNED SO THAT A 12-FOOT-BY-12-FOOT SQUARE WILL FIT WITHIN THE INDOOR RECREATION AREA. INDOOR RECREATION AREAS SHALL INCLUDE FURNISHINGS AND FIXTURES FOR ACTIVITIES SUCH AS: AEROBIC EXERCISE; CHILDREN'S PLAY; INDOOR GAMES; SPORTS; HOBBIES AND CRAFTS; AND VIDEO ENTERTAINMENT.

256 UNITS X 40 SF = 10,240 SF OF REQUIRED AREA  
PROVIDED: 13,539 SF

SITE RECREATIONAL AREAS		
Name	Area	Level
INDOOR RECREATIONAL AREA	309 SF	LEVEL 3
INDOOR RECREATIONAL AREA	729 SF	LEVEL 2
INDOOR RECREATIONAL AREA	1,532 SF	LEVEL 3
INDOOR RECREATIONAL AREA	3,126 SF	LEVEL 2
OUTDOOR RECREATIONAL AREA	7,955 SF	LEVEL 3
Grand total	13,652 SF	



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PARKWAY



**LEVEL 2**  
SCALE: 1" = 30'-0" **1**  
G0.23



**DATE ISSUES & REVISIONS**

NO.	DATE	ISSUES & REVISIONS
1	03/31/23	PDR SUBMITTAL

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PROJECT NUMBER 23.301

TRUE NORTH

DESCRIPTION  
SITE RECREATIONAL AREA

SHEET NUMBER

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OCCUPANCY SCHEDULE - BASEMENT					
NUMBER	NAME	OCCUPANCY	AREA	OCCUPANT FACTOR	OCCUPANT LOAD
001	BASEMENT PARKING	S-2	5,669 SF	200	29
TOTAL					29

**SECTION 1009**

**ACCESSIBLE MEANS OF EGRESS**

**1009.1 ACCESSIBLE MEANS OF EGRESS REQUIRED.** ACCESSIBLE MEANS OF EGRESS SHALL COMPLY WITH THIS SECTION. ACCESSIBLE SPACES SHALL BE PROVIDED WITH NOT LESS THAN ONE ACCESSIBLE MEANS OF EGRESS. WHERE MORE THAN ONE MEANS OF EGRESS ARE REQUIRED BY SECTION 1006.2 OR 1006.3 FROM ANY ACCESSIBLE SPACE, EACH ACCESSIBLE PORTION OF THE SPACE SHALL BE SERVED BY ACCESSIBLE MEANS OF EGRESS IN AT LEAST THE SAME NUMBER AS REQUIRED BY SECTIONS 1006.2 OR 1006.3. IN ADDITION TO THE REQUIREMENTS OF THIS CHAPTER, MEANS OF EGRESS, WHICH PROVIDE ACCESS TO, OR EGRESS FROM, BUILDINGS FOR PERSONS WITH DISABILITIES, SHALL ALSO COMPLY WITH THE REQUIREMENTS OF CHAPTER 11A OR 11B AS APPLICABLE.

**EXCEPTIONS:**

1. ACCESSIBLE MEANS OF EGRESS ARE NOT REQUIRED TO BE PROVIDED IN EXISTING BUILDINGS.
2. ONE ACCESSIBLE MEANS OF EGRESS IS REQUIRED FROM AN ACCESSIBLE MEZZANINE LEVEL IN ACCORDANCE WITH SECTION 1009.3, 1009.4 OR 1009.5, AND CHAPTER 11A OR 11B, AS APPLICABLE.
3. IN ASSEMBLY AREAS WITH RAMPED AISLES OR STEPPED AISLES, ONE ACCESSIBLE MEANS OF EGRESS IS PERMITTED WHERE THE COMMON PATH OF EGRESS TRAVEL IS ACCESSIBLE AND MEETS THE REQUIREMENTS IN SECTION 1029.8, AND CHAPTER 11A OR 11B, AS APPLICABLE.

**1009.2 CONTINUITY AND COMPONENTS.** EACH REQUIRED ACCESSIBLE MEANS OF EGRESS SHALL BE CONTINUOUS TO A PUBLIC WAY AND SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING COMPONENTS:

1. ACCESSIBLE ROUTES COMPLYING WITH CHAPTER 11A, SECTIONS 1110A.1 AND 1120A, OR CHAPTER 11B, SECTIONS 11B-206 AND 11B-402, AS APPLICABLE.
2. INTERIOR EXIT STAIRWAYS COMPLYING WITH SECTIONS 1009.3 AND 1023, AND CHAPTER 11A, SECTION 1123A, OR CHAPTER 11B, SECTIONS 11B-210 AND 11B-504, AS APPLICABLE.
3. EXIT ACCESS STAIRWAYS COMPLYING WITH SECTIONS 1009.3 AND 1019.4, CHAPTER 11A, SECTION 1123A, OR CHAPTER 11B, SECTIONS 11B-210 AND 11B-504, AS APPLICABLE.
4. EXTERIOR EXIT STAIRWAYS COMPLYING WITH SECTIONS 1009.3 AND 1027 AND CHAPTER 11A, SECTION 1115A, OR CHAPTER 11B, SECTIONS 11B-210 AND 11B-504, AS APPLICABLE AND SERVING LEVELS OTHER THAN THE LEVEL OF EXIT DISCHARGE.
5. ELEVATORS COMPLYING WITH SECTION 1009.4, AND CHAPTER 11A, SECTION 1124A, OR CHAPTER 11B, SECTIONS 11B-206.6 AND 11B-407, AS APPLICABLE.
6. PLATFORM LIFTS COMPLYING WITH SECTION 1009.5 AND CHAPTER 11A, SECTION 1124A, OR CHAPTER 11B, SECTIONS 11B-206.7, 11B-207.2 AND 11B-410 AS APPLICABLE.
7. HORIZONTAL EXITS COMPLYING WITH SECTION 1026.
8. RAMPS COMPLYING WITH SECTION 1012, AND CHAPTER 11A, SECTIONS 1114A AND 1122A, OR CHAPTER 11B, 11B-405, AS APPLICABLE.
9. AREAS OF REFUGE COMPLYING WITH SECTION 1009.6.
10. EXTERIOR AREAS FOR ASSISTED RESCUE COMPLYING WITH SECTION 1009.7 SERVING EXITS AT THE LEVEL OF EXIT DISCHARGE.

**1009.2.1 ELEVATORS REQUIRED.** IN BUILDINGS WHERE A REQUIRED ACCESSIBLE FLOOR IS FOUR OR MORE STORIES ABOVE OR BELOW A LEVEL OF EXIT DISCHARGE, NOT LESS THAN ONE REQUIRED ACCESSIBLE MEANS OF EGRESS SHALL BE AN ELEVATOR COMPLYING WITH SECTION 1009.4.

**EXCEPTIONS:**

1. IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE ELEVATOR SHALL NOT BE REQUIRED ON FLOORS PROVIDED WITH A HORIZONTAL EXIT AND LOCATED AT OR ABOVE THE LEVELS OF EXIT DISCHARGE.
2. IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE ELEVATOR SHALL NOT BE REQUIRED ON FLOORS PROVIDED WITH A RAMP CONFORMING TO THE PROVISIONS OF SECTION 1012.

**1009.3 STAIRWAYS.** IN ORDER TO BE CONSIDERED PART OF AN ACCESSIBLE MEANS OF EGRESS, A STAIRWAY BETWEEN STORIES SHALL HAVE A CLEAR WIDTH OF 48 INCHES (1219 MM) MINIMUM BETWEEN HANDRAILS AND SHALL EITHER INCORPORATE AN AREA OF REFUGE WITHIN AN ENLARGED FLOOR-LEVEL LANDING OR SHALL BE ACCESSED FROM AN AREA OF REFUGE COMPLYING WITH SECTION 1009.6. EXIT ACCESS STAIRWAYS THAT CONNECT LEVELS IN THE SAME STORY ARE NOT PERMITTED AS PART OF AN ACCESSIBLE MEANS OF EGRESS. [DSA-AC & HCD 1-AC] IN ADDITION, EXIT STAIRWAYS SHALL COMPLY WITH CHAPTER 11A, SECTIONS 1115A AND 1123A, OR CHAPTER 11B, SECTIONS 11B-210 AND 11B-504, AS APPLICABLE.

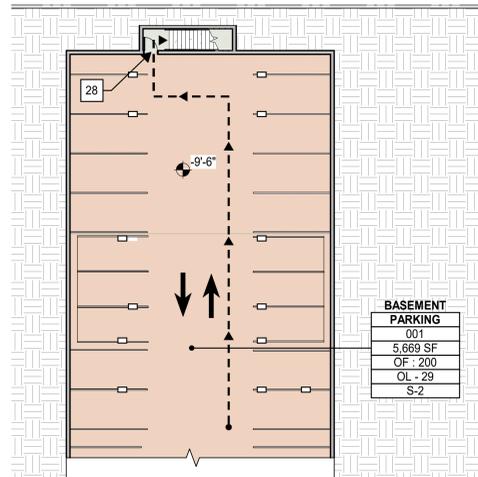
**EXCEPTIONS:**

1. EXIT ACCESS STAIRWAYS PROVIDING MEANS OF EGRESS FROM MEZZANINES ARE PERMITTED AS PART OF AN ACCESSIBLE MEANS OF EGRESS.
2. THE CLEAR WIDTH OF 48 INCHES (1219 MM) BETWEEN HANDRAILS IS NOT REQUIRED IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2.
3. THE CLEAR WIDTH OF 48 INCHES (1219 MM) BETWEEN HANDRAILS IS NOT REQUIRED FOR STAIRWAYS ACCESSED FROM A REFUGE AREA IN CONJUNCTION WITH A HORIZONTAL EXIT.
4. AREAS OF REFUGE ARE NOT REQUIRED AT EXIT ACCESS STAIRWAYS WHERE TWO-WAY COMMUNICATION IS PROVIDED AT THE ELEVATOR LANDING IN ACCORDANCE WITH SECTION 1009.8.
5. AREAS OF REFUGE ARE NOT REQUIRED AT STAIRWAYS IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2.
6. AREAS OF REFUGE ARE NOT REQUIRED AT STAIRWAYS SERVING OPEN PARKING GARAGES.
7. AREAS OF REFUGE ARE NOT REQUIRED FOR SMOKE-PROTECTED ASSEMBLY SEATING AREAS COMPLYING WITH SECTION 1029.6.2.
8. AREAS OF REFUGE ARE NOT REQUIRED AT STAIRWAYS IN GROUP R-2 OCCUPANCIES.
9. AREAS OF REFUGE ARE NOT REQUIRED FOR STAIRWAYS ACCESSED FROM A REFUGE AREA IN CONJUNCTION WITH A HORIZONTAL EXIT.

**1009.4 ELEVATORS.** IN ORDER TO BE CONSIDERED PART OF AN ACCESSIBLE MEANS OF EGRESS, AN ELEVATOR SHALL COMPLY WITH THE EMERGENCY OPERATION AND SIGNALING DEVICE REQUIREMENTS OF CALIFORNIA CODE OF REGULATIONS, TITLE 8, DIVISION 1, CHAPTER 4, SUBCHAPTER 6, ELEVATOR SAFETY ORDERS. STANDBY POWER SHALL BE PROVIDED IN ACCORDANCE WITH CHAPTER 27 AND SECTION 3003. THE ELEVATOR SHALL BE ACCESSED FROM AN AREA OF REFUGE COMPLYING WITH SECTION 1009.6.

**EXCEPTIONS:**

1. AREAS OF REFUGE ARE NOT REQUIRED AT THE ELEVATOR IN OPEN PARKING GARAGES.
2. AREAS OF REFUGE ARE NOT REQUIRED IN BUILDINGS AND FACILITIES EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2
3. AREAS OF REFUGE ARE NOT REQUIRED AT ELEVATORS NOT REQUIRED TO BE LOCATED IN A SHAFT IN ACCORDANCE WITH SECTION 712.
4. AREAS OF REFUGE ARE NOT REQUIRED AT ELEVATORS SERVING SMOKE-PROTECTED ASSEMBLY SEATING AREAS COMPLYING WITH SECTION 1029.6.2.
5. AREAS OF REFUGE ARE NOT REQUIRED FOR ELEVATORS ACCESSED FROM A REFUGE AREA IN CONJUNCTION WITH A HORIZONTAL EXIT.



**BASEMENT - EXITING PLAN**  
SCALE: 1/16" = 1'-0" **1** G0.51

**LEGEND**

- EXIT STAIR: OL - ###, OF: ###, ## REQUIRED, ## PROVIDED. STAIR LOAD, CAPACITY FACTOR PER CBC 2016 SECTION 1005.3.1, REQUIRED WIDTH, PROVIDED WIDTH.
- EXIT DOOR: OL - ###, OF: ###, ## REQUIRED, ## PROVIDED. DOOR LOAD, CAPACITY FACTOR PER CBC 2016 SECTION 1005.3.2, REQUIRED WIDTH, PROVIDED WIDTH.
- ROOM NAME: 101, 150 SF, OF: ###, OL: ###, OCC. TYPE. ROOM NUMBER, AREA, OCCUPANT LOAD FACTOR PER CBC 2019 TABLE 1004.5, OCCUPANT LOAD, OCCUPANCY TYPE.
- ACCUMULATED LOAD AND TRAVEL DIRECTION: ###.
- EGRESS PATH OF TRAVEL: Dashed arrow.



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PROJECT NAME

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18799 ALDERWOOD MALL  
PARKWAY  
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98037

OWNER NAME

**ALDERWOOD INVESTMENTS LLC**

18799 ALDERWOOD MALL  
PARKWAY



DATE ISSUES & REVISIONS

1	03/31/23	PDR SUBMITTAL
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SCALE AS SHOWN

PROJECT NUMBER 23.301

DESCRIPTION  
EXITING PLAN - BASEMENT

SHEET NUMBER

**G0.51**

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.

OCCUPANCY SCHEDULE - LEVEL 1					
NUMBER	NAME	OCCUPANCY	AREA	OCCUPANT FACTOR	OCCUPANT LOAD
LEVEL 1					
101	PARKING GARAGE L1	S-2	27,556 SF	200	138
103	RESIDENTIAL ENTRY LOBBY	A-3	3,879 SF	15	259
104	LEASING MANAGER	B	433 SF	200	3
105	MOVE IN	R-2	274 SF		
107	MAIL	A-2	616 SF	200	4
108	PACKAGE	A-2	258 SF		
112	RETAIL	M	2,400 SF	100	24
116	BICYCLE STORAGE	S-2	465 SF	200	3
117	TRANSFORMER RM	S-2	576 SF	300	2
117.1	BUILDING MAINT.	S-2	135 SF		
117.2	EMERGENCY GENERATOR	S-2	479 SF		
118	FUEL STORAGE RM	S-2	283 SF	300	1
119	REFUSE/RECYCLE ROOM	S-2	692 SF	300	3
363	FIRE SPRINKLER RM.	S-2	173 SF		
TOTAL					437

**SECTION 1009**

**ACCESSIBLE MEANS OF EGRESS**

**1009.1 ACCESSIBLE MEANS OF EGRESS REQUIRED.** ACCESSIBLE MEANS OF EGRESS SHALL COMPLY WITH THIS SECTION. ACCESSIBLE SPACES SHALL BE PROVIDED WITH NOT LESS THAN ONE ACCESSIBLE MEANS OF EGRESS. WHERE MORE THAN ONE MEANS OF EGRESS ARE REQUIRED BY SECTION 1006.2 OR 1006.3 FROM ANY ACCESSIBLE SPACE, EACH ACCESSIBLE PORTION OF THE SPACE SHALL BE SERVED BY ACCESSIBLE MEANS OF EGRESS IN AT LEAST THE SAME NUMBER AS REQUIRED BY SECTIONS 1006.2 OR 1006.3. IN ADDITION TO THE REQUIREMENTS OF THIS CHAPTER, MEANS OF EGRESS, WHICH PROVIDE ACCESS TO, OR EGRESS FROM, BUILDINGS FOR PERSONS WITH DISABILITIES, SHALL ALSO COMPLY WITH THE REQUIREMENTS OF CHAPTER 11A OR 11B AS APPLICABLE.

**EXCEPTIONS:**

1. ACCESSIBLE MEANS OF EGRESS ARE NOT REQUIRED TO BE PROVIDED IN EXISTING BUILDINGS.
2. ONE ACCESSIBLE MEANS OF EGRESS IS REQUIRED FROM AN ACCESSIBLE MEZZANINE LEVEL IN ACCORDANCE WITH SECTION 1009.3, 1009.4 OR 1009.5, AND CHAPTER 11A OR 11B, AS APPLICABLE.
3. IN ASSEMBLY AREAS WITH RAMPED AISLES OR STEPPED AISLES, ONE ACCESSIBLE MEANS OF EGRESS IS PERMITTED WHERE THE COMMON PATH OF EGRESS TRAVEL IS ACCESSIBLE AND MEETS THE REQUIREMENTS IN SECTION 1029.8, AND CHAPTER 11A OR 11B, AS APPLICABLE.

**1009.2 CONTINUITY AND COMPONENTS.** EACH REQUIRED ACCESSIBLE MEANS OF EGRESS SHALL BE CONTINUOUS TO A PUBLIC WAY AND SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING COMPONENTS:

1. ACCESSIBLE ROUTES COMPLYING WITH CHAPTER 11A, SECTIONS 1110A.1 AND 1120A, OR CHAPTER 11B, SECTIONS 11B-206 AND 11B-402, AS APPLICABLE.
2. INTERIOR COMPLING WITH SECTIONS 1009.3 AND 1023, AND CHAPTER 11A, SECTION 1123A, OR CHAPTER 11B, SECTIONS 11B-210 AND 11B-504, APPLICABLE.
3. EXIT ACCESS STAIRWAYS COMPLYING WITH SECTIONS 1009.3 AND 1019.3 OR 1019.4, CHAPTER 11A, SECTION 1123A, OR CHAPTER 11B, SECTIONS 11B-210 AND 11B-504, AS APPLICABLE.
4. EXTERIOR EXIT STAIRWAYS COMPLYING WITH SECTIONS 1009.3 AND 1027 AND CHAPTER 11A, SECTION 1115A, OR CHAPTER 11B, SECTIONS 11B-210 AND 11B-504, AS APPLICABLE AND SERVING LEVELS OTHER THAN THE LEVEL OF EXIT DISCHARGE.
5. ELEVATORS COMPLYING WITH SECTION 1009.4, AND CHAPTER 11A, SECTION 1124A, OR CHAPTER 11B, SECTIONS 11B-206.6 AND 11B-407, AS APPLICABLE.
6. PLATFORM LIFTS COMPLYING WITH SECTION 1009.5 AND CHAPTER 11A, SECTION 1124A, OR CHAPTER 11B, SECTIONS 11B-206.7, 11B-207.2 AND 11B-410 AS APPLICABLE.
7. HORIZONTAL EXITS COMPLYING WITH SECTION 1026.
8. RAMPS COMPLYING WITH SECTION 1012, AND CHAPTER 11A, SECTIONS 1114A AND 1122A, OR CHAPTER 11B, 11B-405, AS APPLICABLE.
9. AREAS OF REFUGE COMPLYING WITH SECTION 1009.6.
10. EXTERIOR AREAS FOR ASSISTED RESCUE COMPLYING WITH SECTION 1009.7 SERVING EXITS AT THE LEVEL OF EXIT DISCHARGE.

**1009.2.1 ELEVATORS REQUIRED.** IN BUILDINGS WHERE A REQUIRED ACCESSIBLE FLOOR IS FOUR OR MORE STORIES ABOVE OR BELOW A LEVEL OF EXIT DISCHARGE, NOT LESS THAN ONE REQUIRED ACCESSIBLE MEANS OF EGRESS SHALL BE AN ELEVATOR COMPLYING WITH SECTION 1009.4.

**EXCEPTIONS:**

1. IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE ELEVATOR SHALL NOT BE REQUIRED ON FLOORS PROVIDED WITH A HORIZONTAL EXIT AND LOCATED AT OR ABOVE THE LEVELS OF EXIT DISCHARGE.
2. IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE ELEVATOR SHALL NOT BE REQUIRED ON FLOORS PROVIDED WITH A RAMP CONFORMING TO THE PROVISIONS OF SECTION 1012.

**1009.3 STAIRWAYS.** IN ORDER TO BE CONSIDERED PART OF AN ACCESSIBLE MEANS OF EGRESS, A STAIRWAY BETWEEN STORIES SHALL HAVE A CLEAR WIDTH OF 48 INCHES (1219 MM) MINIMUM BETWEEN HANDRAILS AND SHALL EITHER INCORPORATE AN AREA OF REFUGE WITHIN AN ENLARGED FLOOR-LEVEL LANDING OR SHALL BE ACCESSED FROM AN AREA OF REFUGE COMPLYING WITH SECTION 1009.6. EXIT ACCESS STAIRWAYS THAT CONNECT LEVELS IN THE SAME STORY ARE NOT PERMITTED AS PART OF AN ACCESSIBLE MEANS OF EGRESS. [DSA-AC & HCD 1-AC] IN ADDITION, EXIT STAIRWAYS SHALL COMPLY WITH CHAPTER 11A, SECTIONS 1115A AND 1123A, OR CHAPTER 11B, SECTIONS 11B-210 AND 11B-504, AS APPLICABLE.

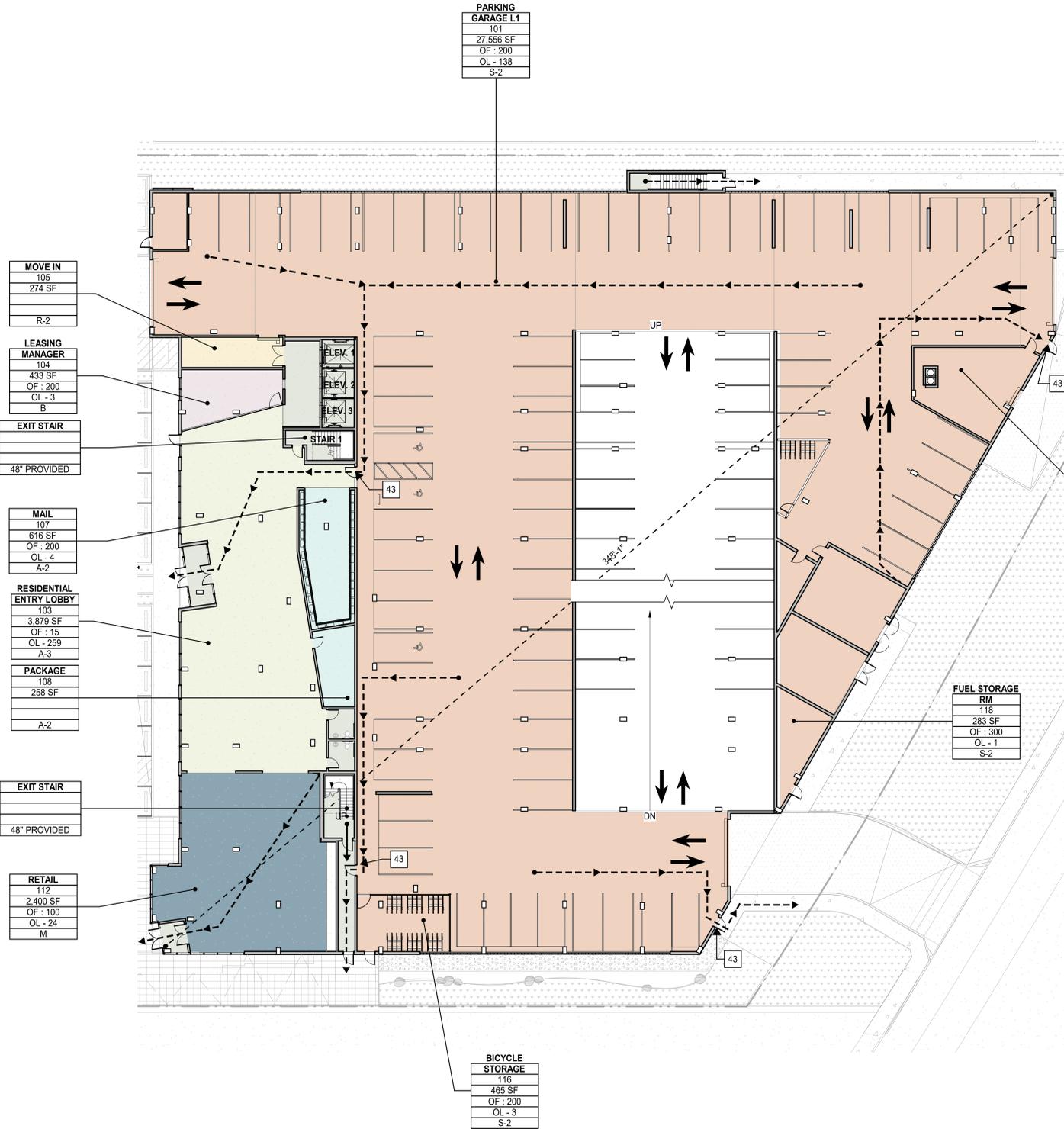
**EXCEPTIONS:**

1. EXIT ACCESS STAIRWAYS PROVIDING MEANS OF EGRESS FROM MEZZANINES ARE PERMITTED AS PART OF AN ACCESSIBLE MEANS OF EGRESS.
2. THE CLEAR WIDTH OF 48 INCHES (1219 MM) BETWEEN HANDRAILS IS NOT REQUIRED IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2.
3. THE CLEAR WIDTH OF 48 INCHES (1219 MM) BETWEEN HANDRAILS IS NOT REQUIRED FOR STAIRWAYS ACCESSED FROM A REFUGE AREA IN CONJUNCTION WITH A HORIZONTAL EXIT.
4. AREAS OF REFUGE ARE NOT REQUIRED AT EXIT ACCESS STAIRWAYS WHERE TWO-WAY COMMUNICATION IS PROVIDED AT THE ELEVATOR LANDING IN ACCORDANCE WITH SECTION 1009.8.
5. AREAS OF REFUGE ARE NOT REQUIRED AT STAIRWAYS IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2.
6. AREAS OF REFUGE ARE NOT REQUIRED AT STAIRWAYS SERVING OPEN PARKING GARAGES.
7. AREAS OF REFUGE ARE NOT REQUIRED FOR SMOKE-PROTECTED ASSEMBLY SEATING AREAS COMPLYING WITH SECTION 1029.6.2.
8. AREAS OF REFUGE ARE NOT REQUIRED AT STAIRWAYS IN GROUP R-2 OCCUPANCIES.
9. AREAS OF REFUGE ARE NOT REQUIRED FOR STAIRWAYS ACCESSED FROM A REFUGE AREA IN CONJUNCTION WITH A HORIZONTAL EXIT.

**1009.4 ELEVATORS.** IN ORDER TO BE CONSIDERED PART OF AN ACCESSIBLE MEANS OF EGRESS, AN ELEVATOR SHALL COMPLY WITH THE EMERGENCY OPERATION AND SIGNALING DEVICE REQUIREMENTS OF CALIFORNIA CODE OF REGULATIONS, TITLE 8, DIVISION 1, CHAPTER 4, SUBCHAPTER 6, ELEVATOR SAFETY ORDERS. STANDBY POWER SHALL BE PROVIDED IN ACCORDANCE WITH CHAPTER 27 AND SECTION 3003. THE ELEVATOR SHALL BE ACCESSED FROM AN AREA OF REFUGE COMPLYING WITH SECTION 1009.6.

**EXCEPTIONS:**

1. AREAS OF REFUGE ARE NOT REQUIRED AT THE ELEVATOR IN OPEN PARKING GARAGES.
2. AREAS OF REFUGE ARE NOT REQUIRED IN BUILDINGS AND FACILITIES EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2.
3. AREAS OF REFUGE ARE NOT REQUIRED AT ELEVATORS NOT REQUIRED TO BE LOCATED IN A SHAFT IN ACCORDANCE WITH SECTION 712.
4. AREAS OF REFUGE ARE NOT REQUIRED AT ELEVATORS SERVING SMOKE-PROTECTED ASSEMBLY SEATING AREAS COMPLYING WITH SECTION 1029.6.2.
5. AREAS OF REFUGE ARE NOT REQUIRED FOR ELEVATORS ACCESSED FROM A REFUGE AREA IN CONJUNCTION WITH A HORIZONTAL EXIT.



**MOVE IN**

105	274 SF
R-2	

**LEASING MANAGER**

104	433 SF
OF : 200	
OL - 3	
B	

**RESIDENTIAL ENTRY LOBBY**

103	3,879 SF
OF : 15	
OL - 259	
A-3	

**PACKAGE**

108	258 SF
A-2	

**MAIL**

107	616 SF
OF : 200	
OL - 4	
A-2	

**RETAIL**

112	2,400 SF
OF : 100	
OL - 24	
M	

**PARKING GARAGE L1**

101	27,556 SF
OF : 200	
OL - 138	
S-2	

**FUEL STORAGE RM**

118	283 SF
OF : 300	
OL - 1	
S-2	

**REFUSE/RECYCLE ROOM**

119	692 SF
OF : 300	
OL - 3	
S-2	

**BICYCLE STORAGE**

116	465 SF
OF : 200	
OL - 3	
S-2	

**LEVEL 1 - EXITING PLAN**

SCALE: 1/16" = 1'-0"

**1** G0.52

**LEGEND**

- EXIT STAIR: OL - ###, OF : ###, ## REQUIRED, ## PROVIDED. STAIR LOAD, CAPACITY FACTOR PER CBC 2016 SECTION 1005.3.1, REQUIRED WIDTH, PROVIDED WIDTH.
- EXIT DOOR: OL - ###, OF : ###, ## REQUIRED, ## PROVIDED. DOOR LOAD, CAPACITY FACTOR PER CBC 2016 SECTION 1005.3.2, REQUIRED WIDTH, PROVIDED WIDTH.
- ROOM NAME: ROOM NUMBER, AREA, OCCUPANT LOAD FACTOR PER CBC 2019 TABLE 1004.5, OCCUPANT LOAD, OCCUPANCY TYPE.
- ACCUMULATED LOAD AND TRAVEL DIRECTION: ###
- EGRESS PATH OF TRAVEL: - - - - ->

DATE	ISSUES & REVISIONS
1 03/31/23	PDR SUBMITTAL

SCALE AS SHOWN  
PROJECT NUMBER 23.301

DESCRIPTION  
EXITING PLAN - LEVEL 1

SHEET NUMBER

**G0.52**

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OCCUPANCY SCHEDULE - LEVEL 2					
NUMBER	NAME	OCCUPANCY	AREA	OCCUPANT FACTOR	OCCUPANT LOAD
LEVEL 2					
201	PARKING GARAGE L2	S-2	29,909 SF	200	150
202	FITNESS ROOM	A-2	3,305 SF	15	221
203	FITNESS ROOM	A-2	708 SF	15	48
299	BIKE PARKING	S-2	360 SF	300	2
361	ELEC. ROOM	S-2	1,053 SF	200	6
364	STORAGE	S-2	258 SF	300	1
530	STORAGE	S-2	274 SF		
TOTAL					428

**SECTION 1009 ACCESSIBLE MEANS OF EGRESS**  
**1009.1 ACCESSIBLE MEANS OF EGRESS REQUIRED.** ACCESSIBLE MEANS OF EGRESS SHALL COMPLY WITH THIS SECTION. ACCESSIBLE SPACES SHALL BE PROVIDED WITH NOT LESS THAN ONE ACCESSIBLE MEANS OF EGRESS. WHERE MORE THAN ONE MEANS OF EGRESS ARE REQUIRED BY SECTION 1006.2 OR 1006.3 FROM ANY ACCESSIBLE SPACE, EACH ACCESSIBLE PORTION OF THE SPACE SHALL BE SERVED BY ACCESSIBLE MEANS OF EGRESS IN AT LEAST THE SAME NUMBER AS REQUIRED BY SECTIONS 1006.2 OR 1006.3. IN ADDITION TO THE REQUIREMENTS OF THIS CHAPTER, MEANS OF EGRESS, WHICH PROVIDE ACCESS TO, OR EGRESS FROM, BUILDINGS FOR PERSONS WITH DISABILITIES, SHALL ALSO COMPLY WITH THE REQUIREMENTS OF CHAPTER 11A OR 11B AS APPLICABLE.

EXCEPTIONS:  
 1. ACCESSIBLE MEANS OF EGRESS ARE NOT REQUIRED TO BE PROVIDED IN EXISTING BUILDINGS.  
 2. ONE ACCESSIBLE MEANS OF EGRESS IS REQUIRED FROM AN ACCESSIBLE MEZZANINE LEVEL IN ACCORDANCE WITH SECTION 1009.3, 1009.4 OR 1009.5, AND CHAPTER 11A OR 11B, AS APPLICABLE.  
 3. IN ASSEMBLY AREAS WITH RAMPED AISLES OR STEPPED AISLES, ONE ACCESSIBLE MEANS OF EGRESS IS PERMITTED WHERE THE COMMON PATH OF EGRESS TRAVEL IS ACCESSIBLE AND MEETS THE REQUIREMENTS IN SECTION 1029.8, AND CHAPTER 11A OR 11B, AS APPLICABLE.

**1009.2 CONTINUITY AND COMPONENTS.** EACH REQUIRED ACCESSIBLE MEANS OF EGRESS SHALL BE CONTINUOUS TO A PUBLIC WAY AND SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING COMPONENTS:  
 1. ACCESSIBLE ROUTES COMPLYING WITH CHAPTER 11A, SECTIONS 1110A.1 AND 1120A, OR CHAPTER 11B, SECTIONS 11B-206 AND 11B-402, AS APPLICABLE.  
 2. INTERIOR EXIT STAIRWAYS COMPLYING WITH SECTIONS 1009.3 AND 1023, AND CHAPTER 11A, SECTION 1123A, OR CHAPTER 11B, SECTIONS 11B-210 AND 11B-504, APPLICABLE.  
 3. EXIT ACCESS STAIRWAYS COMPLYING WITH SECTIONS 1009.3 AND 1019.4, CHAPTER 11A, SECTION 1123A, OR CHAPTER 11B, SECTIONS 11B-210 AND 11B-504, AS APPLICABLE.  
 4. EXTERIOR EXIT STAIRWAYS COMPLYING WITH SECTIONS 1009.3 AND 1027 AND CHAPTER 11A, SECTION 1115A, OR CHAPTER 11B, SECTIONS 11B-210 AND 11B-504, AS APPLICABLE AND SERVING LEVELS OTHER THAN THE LEVEL OF EXIT DISCHARGE.  
 5. ELEVATORS COMPLYING WITH SECTION 1009.4, AND CHAPTER 11A, SECTION 1124A, OR CHAPTER 11B, SECTIONS 11B-206.6 AND 11B-407, AS APPLICABLE.  
 6. PLATFORM LIFTS COMPLYING WITH SECTION 1009.5 AND CHAPTER 11A, SECTION 1124A, OR CHAPTER 11B, SECTIONS 11B-206.7, 11B-207.2 AND 11B-410 AS APPLICABLE.  
 7. HORIZONTAL EXITS COMPLYING WITH SECTION 1026.  
 8. RAMPS COMPLYING WITH SECTION 1012, AND CHAPTER 11A, SECTIONS 1114A AND 1122A, OR CHAPTER 11B, 11B-405, AS APPLICABLE.  
 9. AREAS OF REFUGE COMPLYING WITH SECTION 1009.6.  
 10. EXTERIOR AREAS FOR ASSISTED RESCUE COMPLYING WITH SECTION 1009.7 SERVING EXITS AT THE LEVEL OF EXIT DISCHARGE.

**1009.2.1 ELEVATORS REQUIRED.** IN BUILDINGS WHERE A REQUIRED ACCESSIBLE FLOOR IS FOUR OR MORE STORIES ABOVE OR BELOW A LEVEL OF EXIT DISCHARGE, NOT LESS THAN ONE REQUIRED ACCESSIBLE MEANS OF EGRESS SHALL BE AN ELEVATOR COMPLYING WITH SECTION 1009.4.

EXCEPTIONS:  
 1. IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE ELEVATOR SHALL NOT BE REQUIRED ON FLOORS PROVIDED WITH A HORIZONTAL EXIT AND LOCATED AT OR ABOVE THE LEVELS OF EXIT DISCHARGE.  
 2. IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE ELEVATOR SHALL NOT BE REQUIRED ON FLOORS PROVIDED WITH A RAMP CONFORMING TO THE PROVISIONS OF SECTION 1012.

**1009.3 STAIRWAYS.** IN ORDER TO BE CONSIDERED PART OF AN ACCESSIBLE MEANS OF EGRESS, A STAIRWAY BETWEEN STORIES SHALL HAVE A CLEAR WIDTH OF 48 INCHES (1219 MM) MINIMUM BETWEEN HANDRAILS AND SHALL EITHER INCORPORATE AN AREA OF REFUGE WITHIN AN ENLARGED FLOOR-LEVEL LANDING OR SHALL BE ACCESSED FROM AN AREA OF REFUGE COMPLYING WITH SECTION 1009.6. EXIT ACCESS STAIRWAYS THAT CONNECT LEVELS IN THE SAME STORY ARE NOT PERMITTED AS PART OF AN ACCESSIBLE MEANS OF EGRESS. [DSA-AC & HCD 1-AC] IN ADDITION, EXIT STAIRWAYS SHALL COMPLY WITH CHAPTER 11A, SECTIONS 1115A AND 1123A, OR CHAPTER 11B, SECTIONS 11B-210 AND 11B-504, AS APPLICABLE.

EXCEPTIONS:  
 1. EXIT ACCESS STAIRWAYS PROVIDING MEANS OF EGRESS FROM MEZZANINES ARE PERMITTED AS PART OF AN ACCESSIBLE MEANS OF EGRESS.  
 2. THE CLEAR WIDTH OF 48 INCHES (1219 MM) BETWEEN HANDRAILS IS NOT REQUIRED IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2.  
 3. THE CLEAR WIDTH OF 48 INCHES (1219 MM) BETWEEN HANDRAILS IS NOT REQUIRED FOR STAIRWAYS ACCESSED FROM A REFUGE AREA IN CONJUNCTION WITH A HORIZONTAL EXIT.  
 4. AREAS OF REFUGE ARE NOT REQUIRED AT EXIT ACCESS STAIRWAYS WHERE TWO-WAY COMMUNICATION IS PROVIDED AT THE ELEVATOR LANDING IN ACCORDANCE WITH SECTION 1009.8.  
 5. AREAS OF REFUGE ARE NOT REQUIRED AT STAIRWAYS IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2.  
 6. AREAS OF REFUGE ARE NOT REQUIRED AT STAIRWAYS SERVING OPEN PARKING GARAGES.  
 7. AREAS OF REFUGE ARE NOT REQUIRED FOR SMOKE-PROTECTED ASSEMBLY SEATING AREAS COMPLYING WITH SECTION 1029.6.2.  
 8. AREAS OF REFUGE ARE NOT REQUIRED AT STAIRWAYS IN GROUP R-2 OCCUPANCIES.  
 9. AREAS OF REFUGE ARE NOT REQUIRED FOR STAIRWAYS ACCESSED FROM A REFUGE AREA IN CONJUNCTION WITH A HORIZONTAL EXIT.

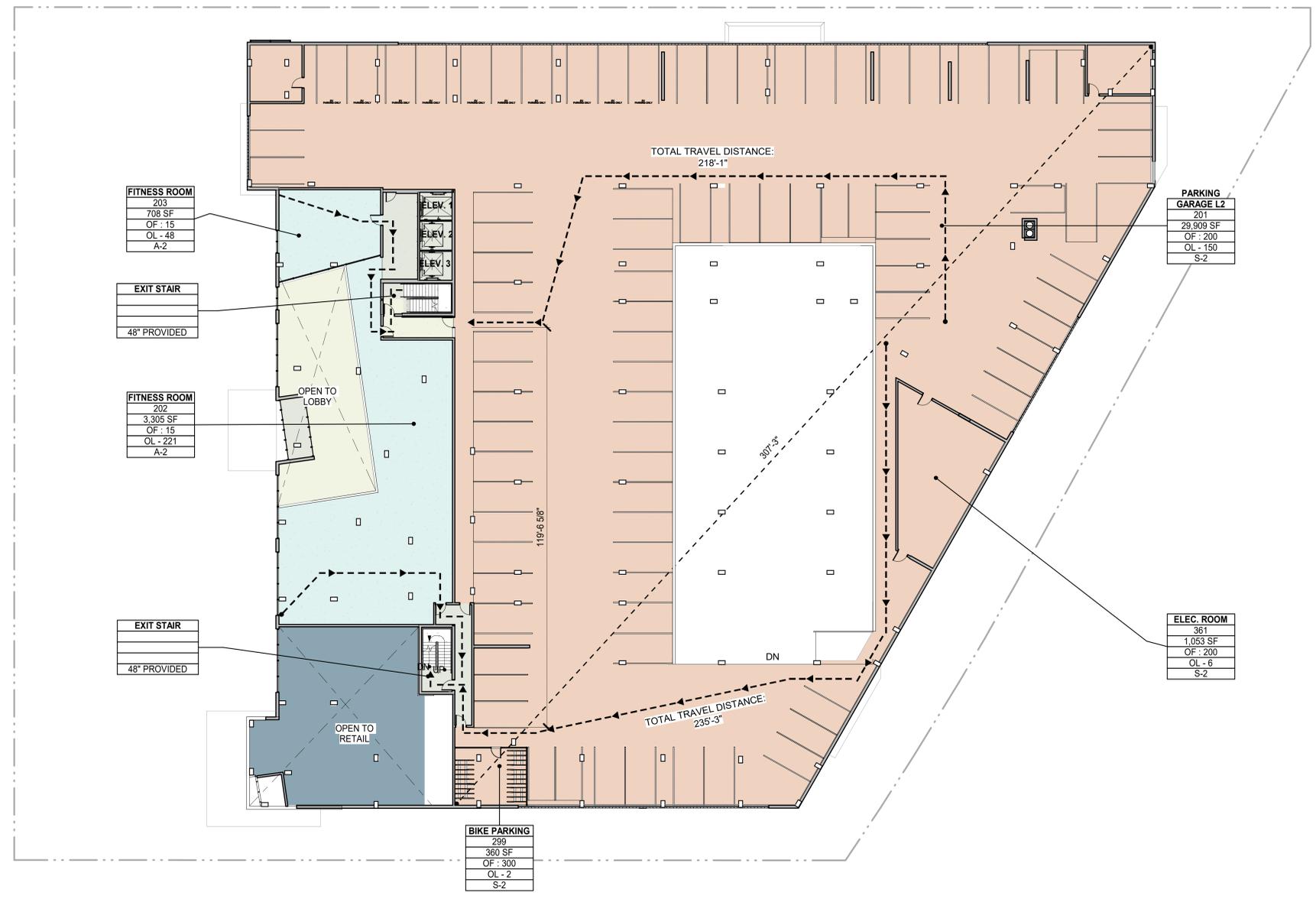
**1009.4 ELEVATORS.** IN ORDER TO BE CONSIDERED PART OF AN ACCESSIBLE MEANS OF EGRESS, AN ELEVATOR SHALL COMPLY WITH THE EMERGENCY OPERATION AND SIGNALING DEVICE REQUIREMENTS OF CALIFORNIA CODE OF REGULATIONS, TITLE 8, DIVISION 1, CHAPTER 4, SUBCHAPTER 6, ELEVATOR SAFETY ORDERS. STANDBY POWER SHALL BE PROVIDED IN ACCORDANCE WITH CHAPTER 27, AND SECTION 3003. THE ELEVATOR SHALL BE ACCESSED FROM AN AREA OF REFUGE COMPLYING WITH SECTION 1009.6.

EXCEPTIONS:  
 1. AREAS OF REFUGE ARE NOT REQUIRED AT THE ELEVATOR IN OPEN PARKING GARAGES.  
 2. AREAS OF REFUGE ARE NOT REQUIRED IN BUILDINGS AND FACILITIES EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2.  
 3. AREAS OF REFUGE ARE NOT REQUIRED AT ELEVATORS NOT REQUIRED TO BE LOCATED IN A SHAFT IN ACCORDANCE WITH SECTION 712.  
 4. AREAS OF REFUGE ARE NOT REQUIRED AT ELEVATORS SERVING SMOKE-PROTECTED ASSEMBLY SEATING AREAS COMPLYING WITH SECTION 1029.6.2.  
 5. AREAS OF REFUGE ARE NOT REQUIRED FOR ELEVATORS ACCESSED FROM A REFUGE AREA IN CONJUNCTION WITH A HORIZONTAL EXIT.

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**iVista@Alderwood**  
 18799 ALDERWOOD MALL  
 PARKWAY  
 LYNNWOOD, WA  
 98037

OWNER NAME  
**ALDERWOOD INVESTMENTS LLC**  
 18799 ALDERWOOD MALL  
 PARKWAY



**LEVEL 2 - EXITING PLAN**  
 SCALE: 1/16" = 1'-0"  
**1** G0.53

**LEGEND**

- EXIT STAIR: OL - ###, OF - ###, ## REQUIRED, ## PROVIDED - STAIR LOAD, CAPACITY FACTOR PER CBC 2018 SECTION 1005.3.1, REQUIRED WIDTH, PROVIDED WIDTH
- EXIT DOOR: OL - ###, OF - ###, ## REQUIRED, ## PROVIDED - DOOR LOAD, CAPACITY FACTOR PER CBC 2018 SECTION 1005.3.2, REQUIRED WIDTH, PROVIDED WIDTH
- ROOM NAME: ROOM NUMBER, AREA, OCCUPANT LOAD FACTOR PER CBC 2019 TABLE 1004.5, OCCUPANT LOAD, OCCUPANCY TYPE
- ### - ACCUMULATED LOAD AND TRAVEL DIRECTION
- > - EGRESS PATH OF TRAVEL

DATE	ISSUES & REVISIONS
1 03/31/23	PDR SUBMITTAL

SCALE AS SHOWN  
 PROJECT NUMBER 23.301

DESCRIPTION  
**EXITING PLAN - LEVEL 2**

SHEET NUMBER  
**G0.53**

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.

OCCUPANCY SCHEDULE - LEVEL 3					
NUMBER	NAME	OCCUPANCY	AREA	OCCUPANT FACTOR	OCCUPANT LOAD
LEVEL 3					
301	3-BR	R-2	1,270 SF	200	7
302	INDOOR AMENITY - AREA 1	A-2	936 SF		
303	1-BR	R-2	642 SF	200	4
304	MOVIE ROOM	A-2	306 SF		
305	2-BR	R-2	875 SF	200	5
306	1-BR	R-2	577 SF	200	3
307	2-BR	R-2	877 SF	200	5
308	1-BR	R-2	578 SF	200	3
309	2-BR	R-2	878 SF	200	5
310	1-BR	R-2	578 SF	200	3
311	2-BR	R-2	877 SF	200	5
312	1-BR W DEN	R-2	810 SF	200	5
313	1-BR	R-2	613 SF	200	4
314	TENANT STORAGE	S-2	203 SF	300	1
315	1-BR	R-2	605 SF	200	4
316	ELEC. ROOM	S-2	185 SF	300	1
317	3-BR	R-2	1,230 SF	200	7
318	PANTRY	S-2	47 SF		
319	2-BR	R-2	968 SF	200	5
320	1-BR W DEN	R-2	793 SF	200	4
321	2-BR	R-2	878 SF	200	5
322	2-BR	R-2	770 SF	200	4
323	2-BR	R-2	940 SF	200	5
324	1-BR	R-2	576 SF	200	3
325	1-BR	R-2	723 SF	200	4

OCCUPANCY SCHEDULE - LEVEL 3					
NUMBER	NAME	OCCUPANCY	AREA	OCCUPANT FACTOR	OCCUPANT LOAD
326	1-BR	R-2	574 SF	200	3
327	2-BR	R-2	840 SF	200	5
328	1-BR W DEN	R-2	656 SF	200	4
329	1-BR	R-2	588 SF	200	3
330	OUTDOOR AMENITY	A-3	8,145 SF	100	82
330	1-BR	R-2	710 SF	200	4
331	1-BR W DEN	R-2	929 SF	200	5
332	1-BR W DEN	R-2	838 SF	200	5
333	1-BR	R-2	675 SF	200	4
334	2-BR	R-2	862 SF	200	5
335	1-BR	R-2	676 SF	200	4
337	2-BR	R-2	917 SF	200	5
339	2-BR	R-2	813 SF	200	5
341	3-BR	R-2	1,202 SF	200	7
343	2-BR	R-2	831 SF	200	5
344	2-BR	R-2	789 SF	200	4
345	1-BR	R-2	609 SF	200	4
346	2-BR	R-2	786 SF	200	4
347	1-BR	R-2	610 SF	200	4
348	INDOOR AMENITY - AREA 2	A-2	749 SF	15	50
349	1-BR	R-2	655 SF	200	4
351	2-BR	R-2	840 SF	200	5
353	2-BR	R-2	1,035 SF	200	6
359	ELEC. RM	S-2	200 SF	300	1
TOTAL					320

**SECTION 1009 ACCESSIBLE MEANS OF EGRESS**  
**1009.1 ACCESSIBLE MEANS OF EGRESS REQUIRED.** ACCESSIBLE MEANS OF EGRESS SHALL COMPLY WITH THIS SECTION. ACCESSIBLE SPACES SHALL BE PROVIDED WITH NOT LESS THAN ONE ACCESSIBLE MEANS OF EGRESS. WHERE MORE THAN ONE MEANS OF EGRESS ARE REQUIRED BY SECTION 1006.2 OR 1006.3 FROM ANY ACCESSIBLE SPACE, EACH ACCESSIBLE PORTION OF THE SPACE SHALL BE SERVED BY ACCESSIBLE MEANS OF EGRESS IN AT LEAST THE SAME NUMBER AS REQUIRED BY SECTIONS 1006.2 OR 1006.3. IN ADDITION TO THE REQUIREMENTS OF THIS CHAPTER, MEANS OF EGRESS, WHICH PROVIDE ACCESS TO, OR EGRESS FROM, BUILDINGS FOR PERSONS WITH DISABILITIES, SHALL ALSO COMPLY WITH THE REQUIREMENTS OF CHAPTER 11A OR 11B AS APPLICABLE.

**EXCEPTIONS:**  
1. ACCESSIBLE MEANS OF EGRESS ARE NOT REQUIRED TO BE PROVIDED IN EXISTING BUILDINGS.  
2. ONE ACCESSIBLE MEANS OF EGRESS IS REQUIRED FROM AN ACCESSIBLE MEZZANINE LEVEL IN ACCORDANCE WITH SECTION 1009.3, 1009.4 OR 1009.5, AND CHAPTER 11A OR 11B, AS APPLICABLE.  
3. IN ASSEMBLY AREAS WITH RAMPED AISLES OR STEPPED AISLES, ONE ACCESSIBLE MEANS OF EGRESS IS PERMITTED WHERE THE COMMON TRAVEL ACCESSIBLE AND MEETS THE REQUIREMENTS IN SECTION 1029.8, AND CHAPTER 11A OR 11B, AS APPLICABLE.

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**1009.2 CONTINUITY AND COMPONENTS.** EACH REQUIRED ACCESSIBLE MEANS OF EGRESS SHALL BE CONTINUOUS TO A PUBLIC WAY AND SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING COMPONENTS:  
1. ACCESSIBLE ROUTES COMPLYING WITH CHAPTER 11A, SECTIONS 1110A.1 AND 1120A, OR CHAPTER 11B, SECTIONS 11B-206 AND 11B-402, AS APPLICABLE.  
2. INTERIOR EXIT STAIRWAYS COMPLYING WITH SECTIONS 1009.3 AND 1023, AND CHAPTER 11A, SECTION 1123A, OR CHAPTER 11B, SECTIONS 11B-210 AND 11B-504, APPLICABLE.  
3. EXIT ACCESS STAIRWAYS COMPLYING WITH SECTIONS 1009.3 AND 1019.3 OR 1019.4, CHAPTER 11A, SECTION 1123A, OR CHAPTER 11B, SECTIONS 11B-210 AND 11B-504, AS APPLICABLE.  
4. EXTERIOR EXIT STAIRWAYS COMPLYING WITH SECTIONS 1009.3 AND 1027 AND CHAPTER 11A, SECTION 1115A, OR CHAPTER 11B, SECTIONS 11B-210 AND 11B-504, AS APPLICABLE AND SERVING LEVELS OTHER THAN THE LEVEL OF EXIT DISCHARGE.  
5. ELEVATORS COMPLYING WITH SECTION 1009.4, AND CHAPTER 11A, SECTION 1124A, OR CHAPTER 11B, SECTIONS 11B-206.6 AND 11B-407, AS APPLICABLE.  
6. PLATFORM LIFTS COMPLYING WITH SECTION 1009.5 AND CHAPTER 11A, SECTION 1124A, OR CHAPTER 11B, SECTIONS 11B-206.7, 11B-207.2 AND 11B-410 AS APPLICABLE.  
7. HORIZONTAL EXITS COMPLYING WITH SECTION 1026.  
8. RAMPS COMPLYING WITH SECTION 1012, AND CHAPTER 11A, SECTIONS 1114A AND 1122A, OR CHAPTER 11B, 11B-405, AS APPLICABLE.  
9. AREAS OF REFUGE COMPLYING WITH SECTION 1009.6.  
10. EXTERIOR AREAS FOR ASSISTED RESCUE COMPLYING WITH SECTION 1009.7 SERVING EXITS AT THE LEVEL OF EXIT DISCHARGE.

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PARKWAY

**1009.2.1 ELEVATORS REQUIRED.** IN BUILDINGS WHERE A REQUIRED ACCESSIBLE FLOOR IS FOUR OR MORE STORIES ABOVE OR BELOW A LEVEL OF EXIT DISCHARGE, NOT LESS THAN ONE REQUIRED ACCESSIBLE MEANS OF EGRESS SHALL BE AN ELEVATOR COMPLYING WITH SECTION 1009.4.

**EXCEPTIONS:**  
1. IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE ELEVATOR SHALL NOT BE REQUIRED ON FLOORS PROVIDED WITH A HORIZONTAL EXIT AND LOCATED AT OR ABOVE THE LEVELS OF EXIT DISCHARGE.  
2. IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE ELEVATOR SHALL NOT BE REQUIRED ON FLOORS PROVIDED WITH A RAMP CONFORMING TO THE PROVISIONS OF SECTION 1012.

**1009.3 STAIRWAYS.** IN ORDER TO BE CONSIDERED PART OF AN ACCESSIBLE MEANS OF EGRESS, A STAIRWAY BETWEEN STORIES SHALL HAVE A CLEAR WIDTH OF 48 INCHES (1219 MM) MINIMUM BETWEEN HANDRAILS AND SHALL EITHER INCORPORATE AN AREA OF REFUGE WITHIN AN ENLARGED FLOOR-LEVEL LANDING OR SHALL BE ACCESSED FROM AN AREA OF REFUGE COMPLYING WITH SECTION 1009.6. EXIT ACCESS STAIRWAYS THAT CONNECT LEVELS IN THE SAME STORY ARE NOT PERMITTED AS PART OF AN ACCESSIBLE MEANS OF EGRESS. [DSA-AC & HCD 1-AC] IN ADDITION, EXIT STAIRWAYS SHALL COMPLY WITH CHAPTER 11A, SECTIONS 1115A AND 1123A, OR CHAPTER 11B, SECTIONS 11B-210 AND 11B-504, AS APPLICABLE.

**EXCEPTIONS:**  
1. EXIT ACCESS STAIRWAYS PROVIDING MEANS OF EGRESS FROM MEZZANINES ARE PERMITTED AS PART OF AN ACCESSIBLE MEANS OF EGRESS.  
2. THE CLEAR WIDTH OF 48 INCHES (1219 MM) BETWEEN HANDRAILS IS NOT REQUIRED IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2.  
3. THE CLEAR WIDTH OF 48 INCHES (1219 MM) BETWEEN HANDRAILS IS NOT REQUIRED FOR STAIRWAYS ACCESSED FROM A REFUGE AREA IN CONJUNCTION WITH A HORIZONTAL EXIT.  
4. AREAS OF REFUGE ARE NOT REQUIRED AT EXIT ACCESS STAIRWAYS WHERE TWO-WAY COMMUNICATION IS PROVIDED AT THE ELEVATOR LANDING IN ACCORDANCE WITH SECTION 1009.8.  
5. AREAS OF REFUGE ARE NOT REQUIRED AT STAIRWAYS IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2.  
6. AREAS OF REFUGE ARE NOT REQUIRED AT STAIRWAYS SERVING OPEN PARKING GARAGES.  
7. AREAS OF REFUGE ARE NOT REQUIRED FOR SMOKE-PROTECTED ASSEMBLY SEATING AREAS COMPLYING WITH SECTION 1029.6.2.  
8. AREAS OF REFUGE ARE NOT REQUIRED AT STAIRWAYS IN GROUP R-2 OCCUPANCIES.  
9. AREAS OF REFUGE ARE NOT REQUIRED FOR STAIRWAYS ACCESSED FROM A REFUGE AREA IN CONJUNCTION WITH A HORIZONTAL EXIT.

**1009.4 ELEVATORS.** IN ORDER TO BE CONSIDERED PART OF AN ACCESSIBLE MEANS OF EGRESS, AN ELEVATOR SHALL COMPLY WITH THE EMERGENCY OPERATION AND SIGNALING DEVICE REQUIREMENTS OF CALIFORNIA CODE OF REGULATIONS, TITLE 8, DIVISION 1, CHAPTER 4, SUBCHAPTER 6, ELEVATOR SAFETY ORDERS. STANDBY POWER SHALL BE PROVIDED IN ACCORDANCE WITH CHAPTER 27 AND SECTION 3003. THE ELEVATOR SHALL BE ACCESSED FROM AN AREA OF REFUGE COMPLYING WITH SECTION 1009.6.

**EXCEPTIONS:**  
1. AREAS OF REFUGE ARE NOT REQUIRED AT THE ELEVATOR IN OPEN PARKING GARAGES.  
2. AREAS OF REFUGE ARE NOT REQUIRED IN BUILDINGS AND FACILITIES EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2  
3. AREAS OF REFUGE ARE NOT REQUIRED AT ELEVATORS NOT REQUIRED TO BE LOCATED IN A SHAFT IN ACCORDANCE WITH SECTION 712.  
4. AREAS OF REFUGE ARE NOT REQUIRED AT ELEVATORS SERVING SMOKE-PROTECTED ASSEMBLY SEATING AREAS COMPLYING WITH SECTION 1029.6.2.  
5. AREAS OF REFUGE ARE NOT REQUIRED FOR ELEVATORS ACCESSED FROM A REFUGE AREA IN CONJUNCTION WITH A HORIZONTAL EXIT.

8192 REGISTERED ARCHITECT  
*Tom Blaz*  
TOM BLAZ  
STATE OF WASHINGTON

DATE	ISSUES & REVISIONS
1 03/31/23	PDR SUBMITTAL

SCALE AS SHOWN

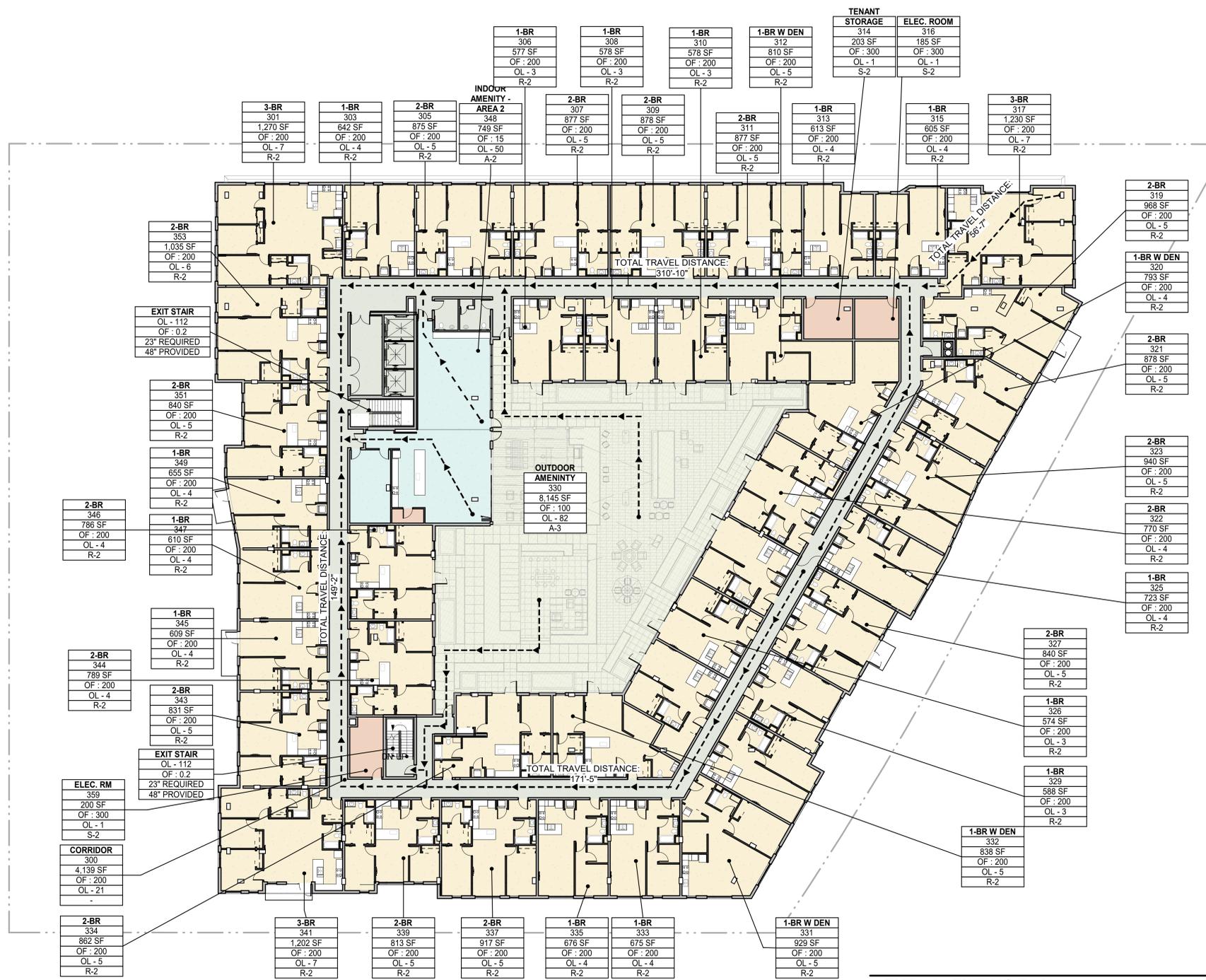
PROJECT NUMBER 23.301

DESCRIPTION  
**EXITING PLAN - LEVEL 3**

SHEET NUMBER

**G0.54**

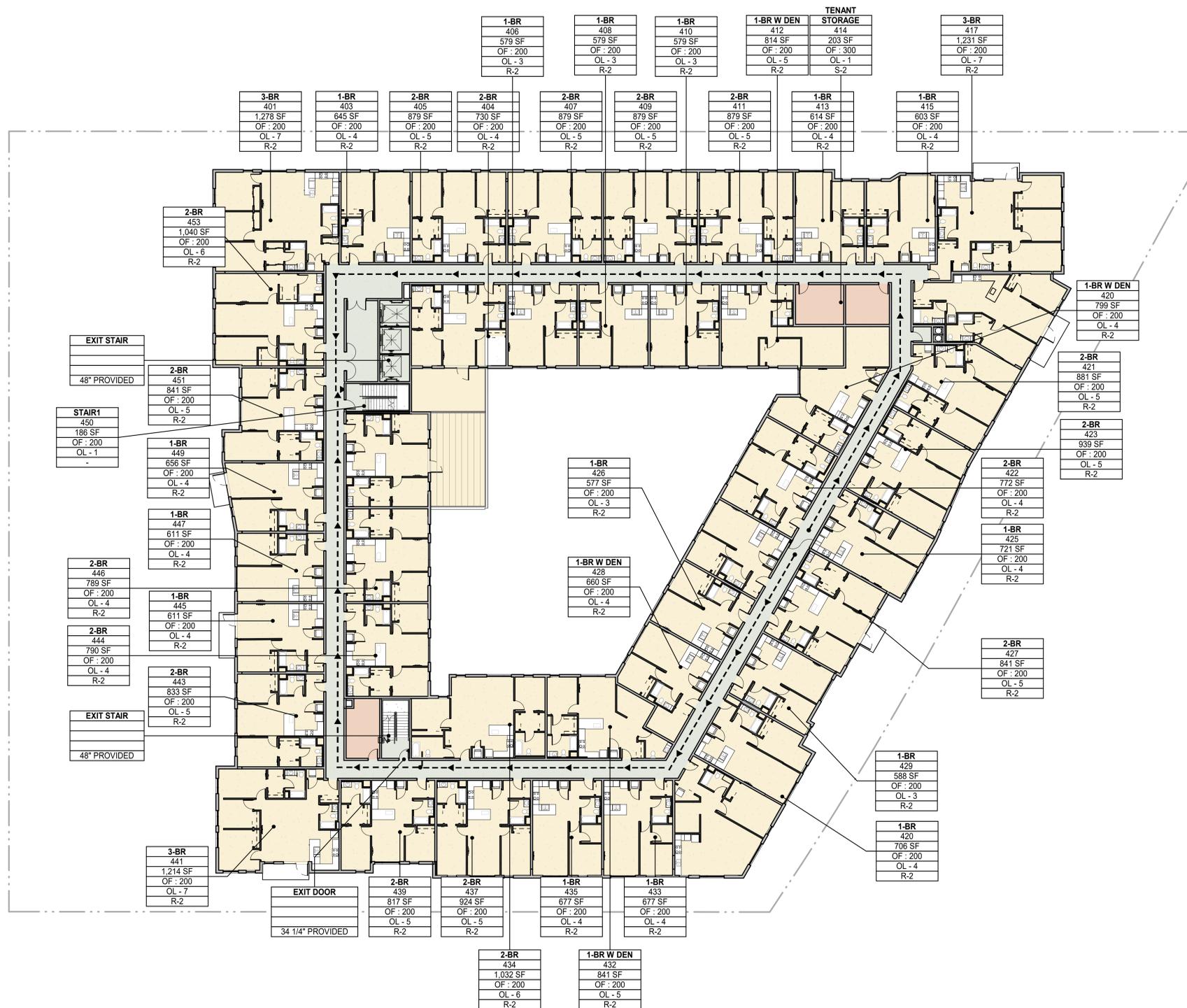
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**LEVEL 3 - EXITING PLAN**  
SCALE: 1/16" = 1'-0" **1** G0.54

DATE 3/31/2023 02:08:46 PM

OCCUPANCY SCHEDULE - LEVEL 2					
NUMBER	NAME	OCCUPANCY	AREA	OCCUPANT FACTOR	OCCUPANT LOAD
201	PARKING GARAGE L2	S-2	29,909 SF	200	150
202	FITNESS ROOM	A-2	3,305 SF	15	221
203	FITNESS ROOM	A-2	708 SF	15	48
299	BIKE PARKING	S-2	360 SF	300	2
361	ELEC. ROOM	S-2	1,053 SF	200	6
364	STORAGE	S-2	258 SF	300	1
530	STORAGE	S-2	274 SF		
TOTAL					428



**SECTION 1009 ACCESSIBLE MEANS OF EGRESS**  
**1009.1 ACCESSIBLE MEANS OF EGRESS REQUIRED.** ACCESSIBLE MEANS OF EGRESS SHALL COMPLY WITH THIS SECTION. ACCESSIBLE SPACES SHALL BE PROVIDED WITH NOT LESS THAN ONE ACCESSIBLE MEANS OF EGRESS. WHERE MORE THAN ONE MEANS OF EGRESS ARE REQUIRED BY SECTION 1006.2 OR 1006.3 FROM ANY ACCESSIBLE SPACE, EACH ACCESSIBLE PORTION OF THE SPACE SHALL BE SERVED BY ACCESSIBLE MEANS OF EGRESS IN AT LEAST THE SAME NUMBER AS REQUIRED BY SECTIONS 1006.2 OR 1006.3. IN ADDITION TO THE REQUIREMENTS OF THIS CHAPTER, MEANS OF EGRESS, WHICH PROVIDE ACCESS TO, OR EGRESS FROM, BUILDINGS FOR PERSONS WITH DISABILITIES, SHALL ALSO COMPLY WITH THE REQUIREMENTS OF CHAPTER 11A OR 11B AS APPLICABLE.

**EXCEPTIONS:**  
 1. ACCESSIBLE MEANS OF EGRESS ARE NOT REQUIRED TO BE PROVIDED IN EXISTING BUILDINGS.  
 2. ONE ACCESSIBLE MEANS OF EGRESS IS REQUIRED FROM AN ACCESSIBLE MEZZANINE LEVEL IN ACCORDANCE WITH SECTION 1009.3, 1009.4 OR 1009.5, AND CHAPTER 11A OR 11B, AS APPLICABLE.  
 3. IN ASSEMBLY AREAS WITH RAMPED AISLES OR STEPPED AISLES, ONE ACCESSIBLE MEANS OF EGRESS IS PERMITTED WHERE THE COMMON PATH OF EGRESS TRAVEL IS ACCESSIBLE AND MEETS THE REQUIREMENTS IN SECTION 1029.8, AND CHAPTER 11A OR 11B, AS APPLICABLE.

**1009.2 CONTINUITY AND COMPONENTS.** EACH REQUIRED ACCESSIBLE MEANS OF EGRESS SHALL BE CONTINUOUS TO A PUBLIC WAY AND SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING COMPONENTS:  
 1. ACCESSIBLE ROUTES COMPLYING WITH CHAPTER 11A, SECTIONS 1110A.1 AND 1120A, OR CHAPTER 11B, SECTIONS 11B-206 AND 11B-402, AS APPLICABLE.  
 2. INTERIOR EXIT STAIRWAYS COMPLYING WITH SECTIONS 1009.3 AND 1023, AND CHAPTER 11A, SECTION 1123A, OR CHAPTER 11B, SECTIONS 11B-210 AND 11B-504, APPLICABLE.  
 3. EXIT ACCESS STAIRWAYS COMPLYING WITH SECTIONS 1009.3 AND 1019.3 OR 1019.4, CHAPTER 11A, SECTION 1123A, OR CHAPTER 11B, SECTIONS 11B-210 AND 11B-504, AS APPLICABLE.  
 4. EXTERIOR EXIT STAIRWAYS COMPLYING WITH SECTIONS 1009.3 AND 1027 AND CHAPTER 11A, SECTION 1115A, OR CHAPTER 11B, SECTIONS 11B-210 AND 11B-504, AS APPLICABLE AND SERVING LEVELS OTHER THAN THE LEVEL OF EXIT DISCHARGE.  
 5. ELEVATORS COMPLYING WITH SECTION 1009.4, AND CHAPTER 11A, SECTION 1124A, OR CHAPTER 11B, SECTIONS 11B-206.6 AND 11B-407, AS APPLICABLE.  
 6. PLATFORM LIFTS COMPLYING WITH SECTION 1009.5 AND CHAPTER 11A, SECTION 1124A, OR CHAPTER 11B, SECTIONS 11B-206.7, 11B-207.2 AND 11B-410 AS APPLICABLE.  
 7. HORIZONTAL EXITS COMPLYING WITH SECTION 1026.  
 8. RAMPS COMPLYING WITH SECTION 1012, AND CHAPTER 11A, SECTIONS 1114A AND 1122A, OR CHAPTER 11B, 11B-405, AS APPLICABLE.  
 9. AREAS OF REFUGE COMPLYING WITH SECTION 1009.6.  
 10. EXTERIOR AREAS FOR ASSISTED RESCUE COMPLYING WITH SECTION 1009.7 SERVING EXITS AT THE LEVEL OF EXIT DISCHARGE.

**1009.2.1 ELEVATORS REQUIRED.** IN BUILDINGS WHERE A REQUIRED ACCESSIBLE FLOOR IS FOUR OR MORE STORIES ABOVE OR BELOW A LEVEL OF EXIT DISCHARGE, NOT LESS THAN ONE REQUIRED ACCESSIBLE MEANS OF EGRESS SHALL BE AN ELEVATOR COMPLYING WITH SECTION 1009.4.

**EXCEPTIONS:**  
 1. IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE ELEVATOR SHALL NOT BE REQUIRED ON FLOORS PROVIDED WITH A HORIZONTAL EXIT AND LOCATED AT OR ABOVE THE LEVELS OF EXIT DISCHARGE.  
 2. IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE ELEVATOR SHALL NOT BE REQUIRED ON FLOORS PROVIDED WITH A RAMP CONFORMING TO THE PROVISIONS OF SECTION 1012.

**1009.3 STAIRWAYS.** IN ORDER TO BE CONSIDERED PART OF AN ACCESSIBLE MEANS OF EGRESS, A STAIRWAY BETWEEN STORIES SHALL HAVE A CLEAR WIDTH OF 48 INCHES (1219 MM) MINIMUM BETWEEN HANDRAILS AND SHALL EITHER INCORPORATE AN AREA OF REFUGE WITHIN AN ENLARGED FLOOR-LEVEL LANDING OR SHALL BE ACCESSED FROM AN AREA OF REFUGE COMPLYING WITH SECTION 1009.6. EXIT ACCESS STAIRWAYS THAT CONNECT LEVELS IN THE SAME STORY ARE NOT PERMITTED AS PART OF AN ACCESSIBLE MEANS OF EGRESS. [DSA-AC & HCD 1-AC] IN ADDITION, EXIT STAIRWAYS SHALL COMPLY WITH CHAPTER 11A, SECTIONS 1115A AND 1123A, OR CHAPTER 11B, SECTIONS 11B-210 AND 11B-504, AS APPLICABLE.

**EXCEPTIONS:**  
 1. EXIT ACCESS STAIRWAYS PROVIDING MEANS OF EGRESS FROM MEZZANINES ARE PERMITTED AS PART OF AN ACCESSIBLE MEANS OF EGRESS.  
 2. THE CLEAR WIDTH OF 48 INCHES (1219 MM) BETWEEN HANDRAILS IS NOT REQUIRED IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2.  
 3. THE CLEAR WIDTH OF 48 INCHES (1219 MM) BETWEEN HANDRAILS IS NOT REQUIRED FOR STAIRWAYS ACCESSED FROM A REFUGE AREA IN CONJUNCTION WITH A HORIZONTAL EXIT.  
 4. AREAS OF REFUGE ARE NOT REQUIRED AT EXIT ACCESS STAIRWAYS WHERE TWO-WAY COMMUNICATION IS PROVIDED AT THE ELEVATOR LANDING IN ACCORDANCE WITH SECTION 1009.8.  
 5. AREAS OF REFUGE ARE NOT REQUIRED AT STAIRWAYS IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2.  
 6. AREAS OF REFUGE ARE NOT REQUIRED AT STAIRWAYS SERVING OPEN PARKING GARAGES.  
 7. AREAS OF REFUGE ARE NOT REQUIRED FOR SMOKE-PROTECTED ASSEMBLY SEATING AREAS COMPLYING WITH SECTION 1029.8.2.  
 8. AREAS OF REFUGE ARE NOT REQUIRED AT STAIRWAYS IN GROUP R-2 OCCUPANCIES.  
 9. AREAS OF REFUGE ARE NOT REQUIRED FOR STAIRWAYS ACCESSED FROM A REFUGE AREA IN CONJUNCTION WITH A HORIZONTAL EXIT.

**1009.4 ELEVATORS.** IN ORDER TO BE CONSIDERED PART OF AN ACCESSIBLE MEANS OF EGRESS, AN ELEVATOR SHALL COMPLY WITH THE EMERGENCY OPERATION AND SIGNALING DEVICE REQUIREMENTS OF CALIFORNIA CODE OF REGULATIONS, TITLE 8, DIVISION 1, CHAPTER 4, SUBCHAPTER 6, ELEVATOR SAFETY ORDERS. STANDBY POWER SHALL BE PROVIDED IN ACCORDANCE WITH CHAPTER 27, AND SECTION 3003. THE ELEVATOR SHALL BE ACCESSED FROM AN AREA OF REFUGE COMPLYING WITH SECTION 1009.6.

**EXCEPTIONS:**  
 1. AREAS OF REFUGE ARE NOT REQUIRED AT THE ELEVATOR IN OPEN PARKING GARAGES.  
 2. AREAS OF REFUGE ARE NOT REQUIRED IN BUILDINGS AND FACILITIES EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2.  
 3. AREAS OF REFUGE ARE NOT REQUIRED AT ELEVATORS NOT REQUIRED TO BE LOCATED IN A SHAFT IN ACCORDANCE WITH SECTION 712.  
 4. AREAS OF REFUGE ARE NOT REQUIRED AT ELEVATORS SERVING SMOKE-PROTECTED ASSEMBLY SEATING AREAS COMPLYING WITH SECTION 1029.8.2.  
 5. AREAS OF REFUGE ARE NOT REQUIRED FOR ELEVATORS ACCESSED FROM A REFUGE AREA IN CONJUNCTION WITH A HORIZONTAL EXIT.

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OWNER NAME  
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 PARKWAY



DATE	ISSUES & REVISIONS
1 03/31/23	PDR SUBMITTAL

SCALE AS SHOWN  
 PROJECT NUMBER 23.301

DESCRIPTION  
**EXITING PLAN - LEVEL 4-8**

SHEET NUMBER  
**G0.55**

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**LEVEL 4-8 - EXITING PLAN**  
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DATE 3/31/2023 02:08:54 PM

PROJECT NAME

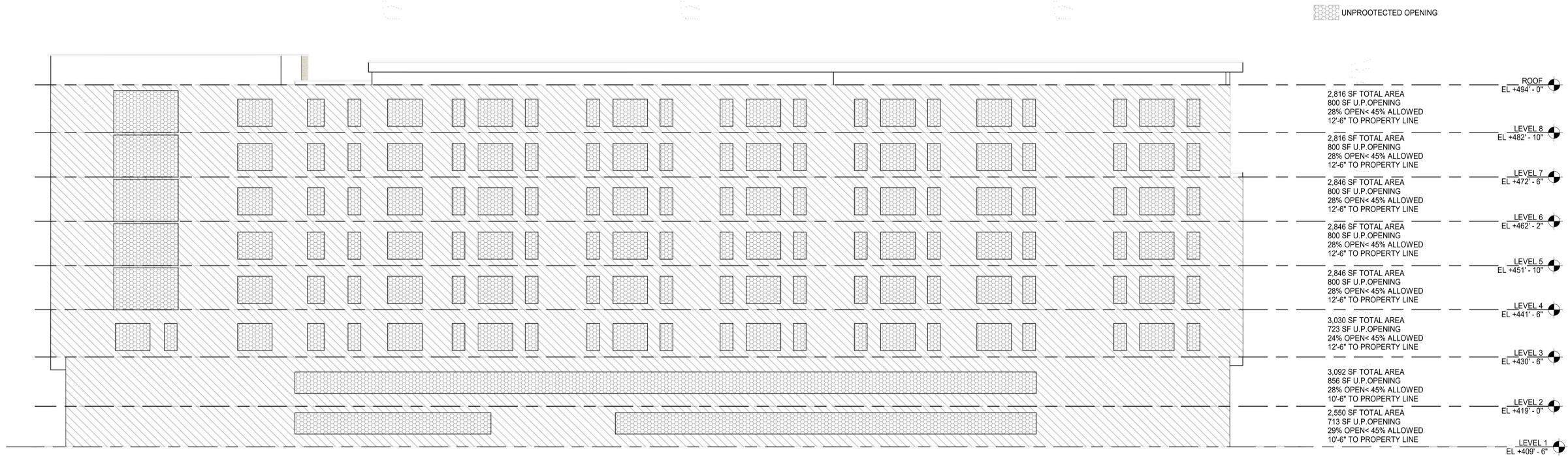
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98037

OWNER NAME

**ALDERWOOD  
INVESTMENTS LLC**

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PARKWAY



**NORTH ELEVATION - OPENING**

SCALE: 3/32" = 1'-0"

**2**  
G0.61



**WEST ELEVATION - OPENING**

SCALE: 3/32" = 1'-0"

**1**  
G0.61



DATE ISSUES & REVISIONS

NO.	DATE	ISSUES & REVISIONS
1	03/31/23	PDR SUBMITTAL

SCALE AS SHOWN

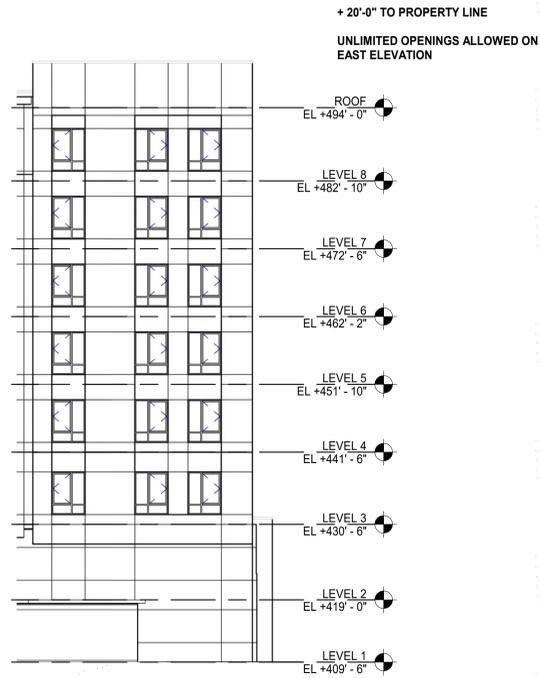
PROJECT NUMBER 23.301

DESCRIPTION  
OPENING CALCULATION

SHEET NUMBER

**G0.61**

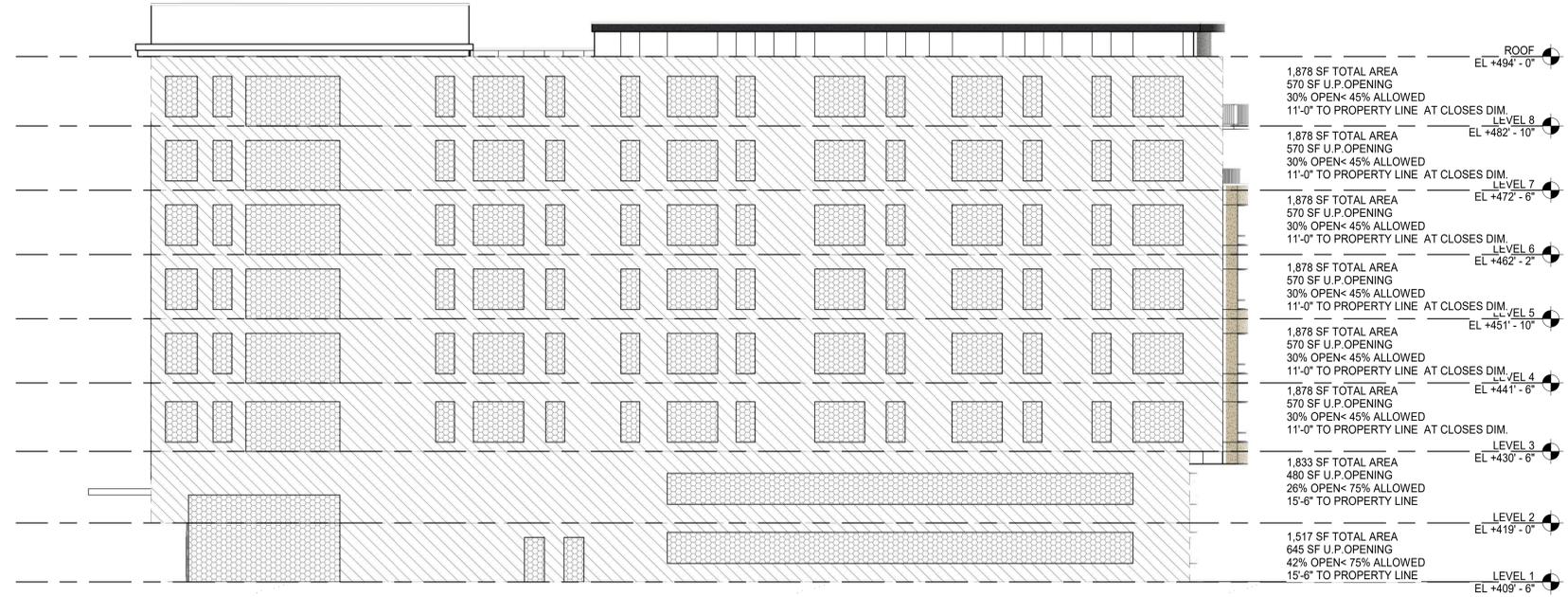
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.



**EAST ELEVATION - OPENING**

SCALE: 3/32" = 1'-0"

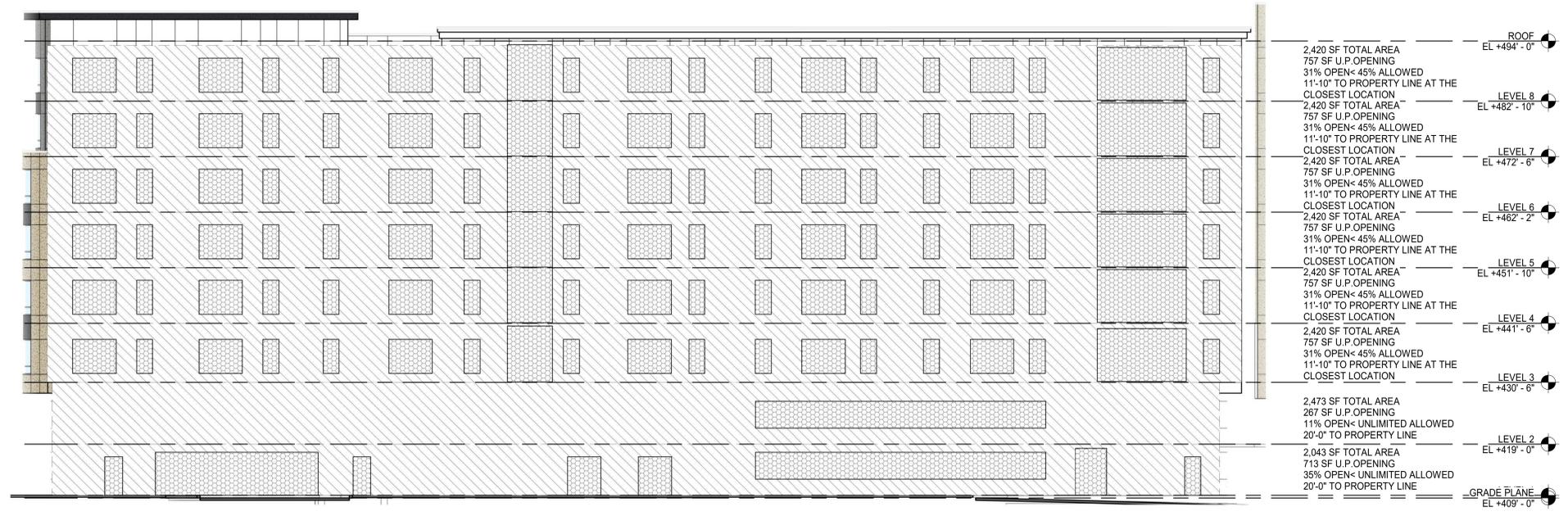
**3**



**SOUTH ELEVATION - OPENING**

SCALE: 3/32" = 1'-0"

**2**



**SOUTHEAST ELEVATION - OPENING**

SCALE: 3/32" = 1'-0"

**1**



DATE	ISSUES & REVISIONS
1 03/31/23	PDR SUBMITTAL

SCALE AS SHOWN

PROJECT NUMBER 23.301

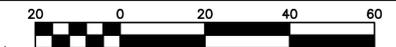
DESCRIPTION  
OPENING CALCULATION

SHEET NUMBER

**G0.62**

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.

SW1/4, NW1/4, SEC. 14, T. 27 N., R. 4 E., W.M.



Scale 1" = 20'

**MERIDIAN**  
WASHINGTON STATE PLANE COORDINATE SYSTEM - NORTH ZONE (NAD83/91)  
(PER WASHINGTON GEODETIC SURVEY CONTROL POINTS ID NOS. 20723 AND 20499)

**DATUM**  
NAVD 88  
(PER 3 GPS FAST STATIC OBSERVATIONS AND OPUS SOLUTIONS)

**CONTOUR INTERVAL = 1'**

**EQUIPMENT AND PROCEDURES**  
A 5" ELECTRONIC TOTAL STATION WAS USED FOR THIS FIELD TRAVERSE SURVEY. ACCURACY MEETS OR EXCEEDS W.A.C. 332-130-090.

**BENCHMARKS**

ORIGINAL BM: SET HUB TACK AND SHINER AT E SIDE OF BEACH RD. 7.8' S'LY OF EDGE ASPH AND 78.6' S'LY OF SE PROP COR. (FAST STATIC GPS OBSERVATION AND OPUS SOLUTION) ELEV. = 409.92'

TBM - A: CHISELED "X" AT SE ANCHOR BOLT AT BASE OF STREET LIGHT IN CONC WALK AT E SIDE ALDERWOOD MALL PKWY. AND 12.7' NW'LY OF NW PROP COR. ELEV. = 407.23'

TBM - B: CHISELED "X" AT SE ANCHOR BOLT (1 OF 4) AT BASE OF TRAFFIC SIGNAL AT GRASS AREA AT E SIDE ALDERWOOD MALL PKWY. AND 23.0' N'LY OF SW PROP COR. ELEV. = 409.99'

**GENERAL NOTES**

- THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITION EXISTING AT THAT TIME.
- UNDERGROUND UTILITIES WERE LOCATED BASED ON THE SURFACE EVIDENCE OF UTILITIES (I.E. PAINT MARKS, SAW CUTS IN PAVEMENT, COVERS, LIDS ETC.). THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- TREE SIZES WERE LOCATED & SPECIES DETERMINED TO THE BEST OF OUR ABILITY. HOWEVER, MEAD GILMAN & ASSOCIATES DOES NOT WARRANT THE ACCURACY OF SIZE & SPECIES SHOWN HEREIN. ANY TREES CONSIDERED TO BE CRITICAL SHOULD BE VERIFIED BY A TRAINED ARBORIST.

**LEGAL DESCRIPTION**

THE SOUTH 255 FEET OF THE NORTH 530.25 FEET, AS MEASURED ALONG THE WEST LINE, OF THAT PORTION OF LOTS 13 AND 14, BLOCK 4, ALDERWOOD MANOR NO. 3, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 9 OF PLATS, PAGES 74 THROUGH 76, INCLUSIVE, RECORDS OF SNOHOMISH COUNTY, WASHINGTON, LYING NORTH-WESTERLY OF P.S.H. NO. 1 (SR 5);

EXCEPT THAT PORTION THEREOF CONVEYED TO THE CITY OF LYNNWOOD FOR ROAD BY DEED RECORDED UNDER AUDITOR'S FILE NO. 2116457, RECORDS OF SNOHOMISH COUNTY, WASHINGTON;

(ALSO KNOWN AS PARCEL C OF SHORT PLAT RECORDED UNDER AUDITOR'S FILE NO. 7811130408).

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

**REFERENCES**

- PLAT OF ALDERWOOD MANOR NO. 3, AS RECORDED IN VOL. 9 OF PLATS, PGS. 74-76 IN SNOHOMISH COUNTY, WASHINGTON.
- SNOHOMISH COUNTY SP REC. NO. 7811130408, VOL. 1415, PG 407.
- ROS REC. NO. 9403115006, VOL. 42, PGS 114-115.
- ROS REC. NO. 20069075002.
- ROS REC. NO. 8208165003, VOL. 25, PG 22.
- BLA REC. NO. 9804230002.
- ROS REC. NO. 820325022, VOL. 15, PG 184.
- ALDERWOOD MALL BLA REC. NO. 20050645002.
- PLAT OF ALDERWOOD MALL REC. NO. 7910220232 VIL.40, PG. 259.
- ROS. NO. 7708160281, VOL. 5, PG. 274.

**RESTRICTION OF RECORDS**

- CONDEMNATION OF ACCESS TO STATE HIGHWAY NUMBER 1 AND OF LIGHT, VIEW AND AIR BY DECREE IN FAVOR OF THE STATE OF WASHINGTON PER SUPERIOR CASE CAUSE NO. SC 72524.
- RIGHT TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS UPON PROPERTY HEREIN DESCRIBED AS GRANTED OR RESERVED IN DEED REC. NO. 2116457. (NOT SURVEY MATTER)
- COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, AS SET FORTH ON CITY OF LYNNWOOD SHORT PLAT NO. 78-5-26, RECORDING NO. 7811130408. (BLANKET - NOT PLOTTED)
- SUBJECT TO AN EASEMENT FOR UNDERGROUND FACILITIES FOR COMMUNICATION, POWER AND OTHER RELATED SERVICES AS RECORDED UNDER RECORDING NO. 7904060231. (PLOTTED HEREIN).
- SUBJECT TO THE COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS SET FORTH IN THE DOCUMENT AS RECORDED UNDER RECORDING NO. 7904170151, UTILITY EASEMENT WITHIN SAID DOCUMENT ARE PLOTTED. DOCUMENT CONTAIN PROVISIONS FOR RECIPROCAL PARKING EASEMENTS AND SHARED COSTS OF MAINTENANCE FOR UTILITIES INCLUDING OFFSITE DETENTION POND.
- SUBJECT TO AN EASEMENT AND THE RIGHTS INCIDENTAL THERETO FOR UNDERGROUND ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEM TO PUBLIC UTILITY DISTRICT NO. 1 OF SNOHOMISH COUNTY AS RECORDED UNDER RECORDING NO. 7912100192. (10' EASEMENT PLOTTED HEREON AND APPROXIMATE POSITION OF 7' EASEMENT PLOTTED HEREON)
- SUBJECT TO AN EASEMENT AND THE RIGHTS INCIDENTAL THERETO FOR GAS PIPELINE(S) TO WASHINGTON NATURAL GAS COMPANY AS RECORDED UNDER RECORDING NO. 8009180159. (PLOTTED HEREON)
- SUBJECT TO AN EASEMENT AND THE RIGHTS INCIDENTAL THERETO FOR A LIGHT STANDARD, TRAFFIC CONTROL, REPLACE DRIVEWAYS AND PAVEMENT APPROACHES TO CITY OF LYNNWOOD AS RECORDED UNDER RECORDING NO. 9805150701.

**LEGEND:**

- |      |                         |      |                         |
|------|-------------------------|------|-------------------------|
| CB   | CATCH BASIN             | SSC  | SOLID LOCKING LID       |
| C/S  | CONC SLAB               | SSCO | SANITARY SEWER CLEANOUT |
| EJB  | ELECTRICAL JUNCTION BOX | TR   | TELEPHONE RISER         |
| FL   | FIRE HYDRANT            | TMH  | TELEPHONE MANHOLE       |
| LN   | FLOW LINE               | TR   | TELEPHONE RISER         |
| LS   | LIGHT STANDARD          | TS   | TRAFFIC SIGNAL          |
| LV   | FACE OF VERTICAL CURB   | TSB  | TRAFFIC SIGNAL BOX      |
| GA   | GUY ANCHOR              | WM   | WATER METER             |
| GM   | GAS VALVE               | WV   | WATER VALVE             |
| IE   | INVERT ELEVATION        | XFMR | TRANSFORMER             |
| LS   | LIGHT STANDARD          |      |                         |
| PM   | POWER METER             | CW   | COTTONWOOD              |
| PP   | POWER POLE              | D    | DECIDUOUS               |
| PV   | POST VALVE INDICATOR    | DF   | DECIDUOUS FIR           |
| PS   | PEDESTRIAN WALK SIGNAL  | M    | MAPLE                   |
| SDMS | STORM DRAIN MANHOLE     | P    | PINE                    |
| SGN  | SIGN                    |      |                         |

**SYMBOLS LEGEND:**

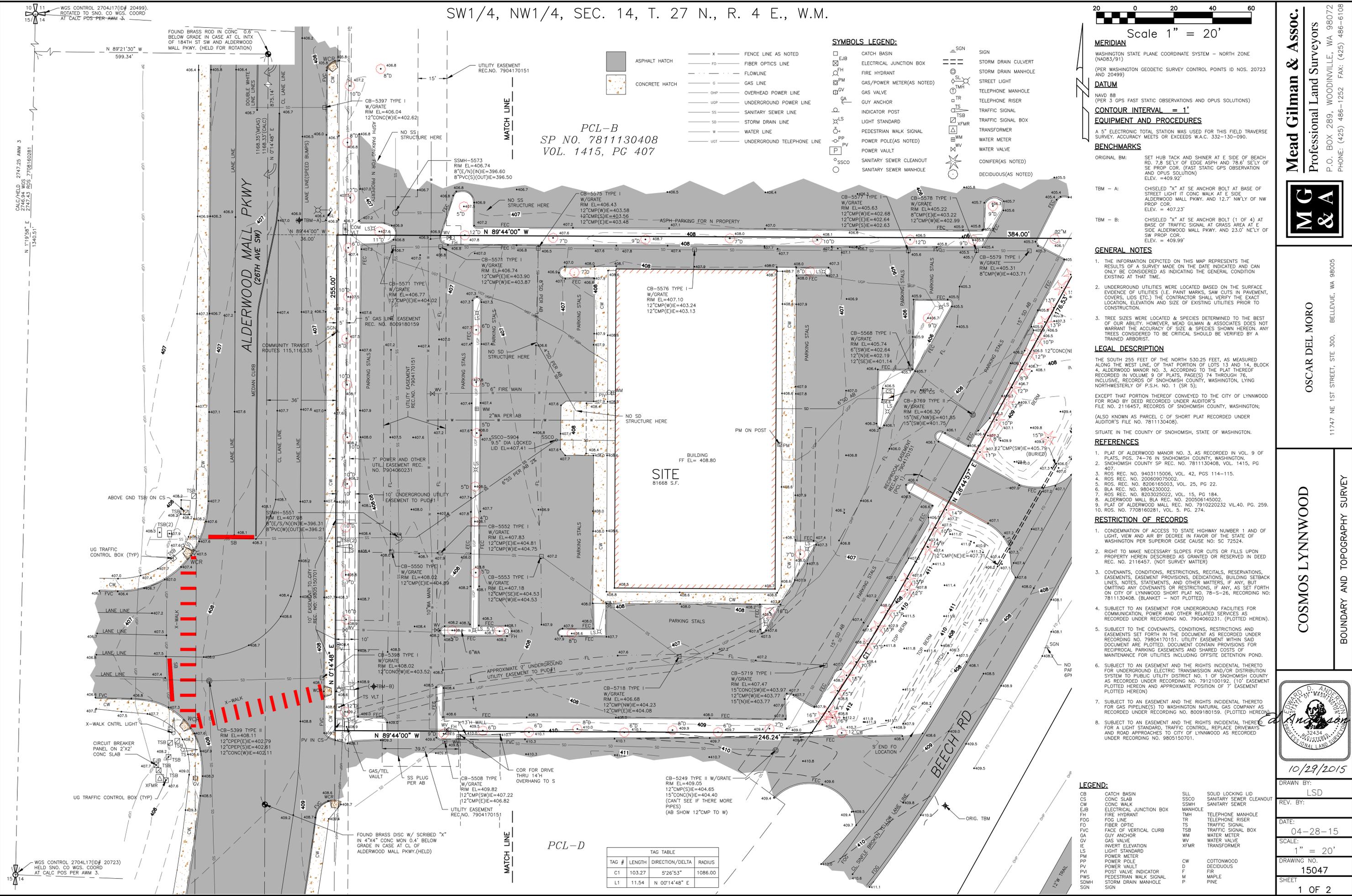
- |   |                           |         |                            |
|---|---------------------------|---------|----------------------------|
| □ | CATCH BASIN               | — X —   | FENCE LINE AS NOTED        |
| □ | ELECTRICAL JUNCTION BOX   | — FO —  | FIBER OPTICS LINE          |
| □ | FIRE HYDRANT              | — FL —  | FLOW LINE                  |
| □ | GAS/POWER METER(AS NOTED) | — G —   | GAS LINE                   |
| □ | GAS VALVE                 | — OHP — | OVERHEAD POWER LINE        |
| □ | GUY ANCHOR                | — UGP — | UNDERGROUND POWER LINE     |
| □ | INDICATOR POST            | — SS —  | SANITARY SEWER LINE        |
| □ | LIGHT STANDARD            | — SD —  | STORM DRAIN LINE           |
| □ | PEDESTRIAN WALK SIGNAL    | — W —   | WATER LINE                 |
| □ | POWER POLE(AS NOTED)      | — UGT — | UNDERGROUND TELEPHONE LINE |
| □ | POWER VAULT               |         |                            |
| □ | SANITARY SEWER CLEANOUT   |         |                            |
| □ | SANITARY SEWER MANHOLE    |         |                            |
| □ | SGN                       |         |                            |
| □ | SIGN                      |         |                            |
| □ | STORM DRAIN CULVERT       |         |                            |
| □ | STORM DRAIN MANHOLE       |         |                            |
| □ | STREET LIGHT              |         |                            |
| □ | TELEPHONE MANHOLE         |         |                            |
| □ | TELEPHONE RISER           |         |                            |
| □ | TRAFFIC SIGNAL            |         |                            |
| □ | TRAFFIC SIGNAL BOX        |         |                            |
| □ | TRANSFORMER               |         |                            |
| □ | WATER METER               |         |                            |
| □ | WATER VALVE               |         |                            |
| □ | CONFIR(AS NOTED)          |         |                            |
| □ | DECIDUOUS(AS NOTED)       |         |                            |

ASPHALT HATCH  
CONCRETE HATCH

PCL-B  
SP NO. 7811130408  
VOL. 1415, PG 407

**TAG TABLE**

TAG #	LENGTH	DIRECTION/DELTA	RADIUS
C1	103.27	S 26° 53'	1086.00
L1	11.54	N 00° 14' 48" E	



WGS CONTROL 270417(0# 20499).  
ROTATED TO SNO. CO WGS. COORD  
AT CALC POS PER AWM 3.

CALC/HELD 2747.25 AWM 3  
2747.43 ROS 7708160281  
1340.51'

WGS CONTROL 270417(0# 20723)  
HELD SNO. CO WGS. COORD  
AT CALC POS PER AWM 3.

**Mead Gilman & Assoc.**  
Professional Land Surveyors  
P.O. BOX 289, WOODINVILLE, WA 98072  
PHONE: (425) 486-1252 FAX: (425) 486-6108



OSCAR DEL MORO  
11747 NE 1ST STREET, STE. 300, BELLEVUE, WA 98005

COSMOS LYNNWOOD  
BOUNDARY AND TOPOGRAPHY SURVEY



10/29/2015

DRAWN BY: LSD  
REV. BY:  
DATE: 04-28-15  
SCALE: 1" = 20'  
DRAWING NO. 15047  
SHEET 1 OF 2

SW1/4, NW1/4, SEC. 14, T. 27 N., R. 4 E., W.M.

Scale 1" = 20'

**MERIDIAN**  
WASHINGTON STATE PLANE COORDINATE SYSTEM - NORTH ZONE (NAD83/91)  
(PER WASHINGTON GEODETIC SURVEY CONTROL POINTS ID NOS. 20723 AND 20499)

**DATUM**  
NAVD 88  
(PER 3 GPS FAST STATIC OBSERVATIONS AND OPUS SOLUTIONS)

**CONTOUR INTERVAL = 1'**

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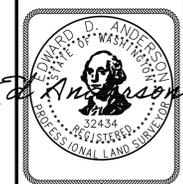


OSCAR DEL MORO

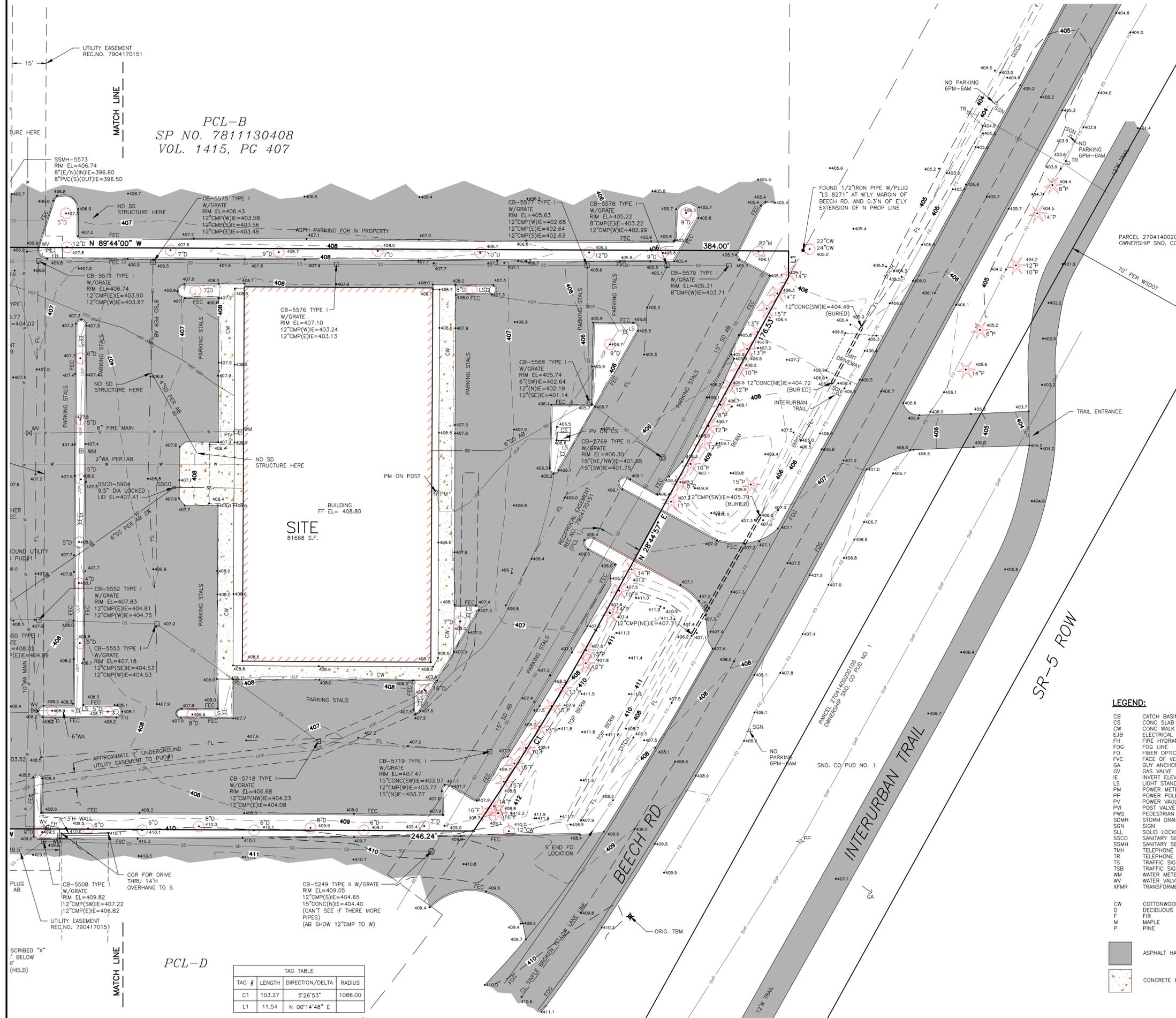
11747 NE 1ST STREET, STE. 300, BELLEVUE, WA 98005

COSMOS LYNNWOOD

BOUNDARY AND TOPOGRAPHY SURVEY



10/29/2015  
DRAWN BY: LSD  
REV. BY:  
DATE: 04-28-15  
SCALE: 1" = 20'  
DRAWING NO. 15047  
SHEET 2 OF 2



PCL-B  
SP NO. 7811130408  
VOL. 1415, PG 407

PCL-D

TAG TABLE

TAG #	LENGTH	DIRECTION/Delta	RADIUS
C1	103.27	S 26° 53'	1086.00
L1	11.54	N 00° 14' 48" E	

**LEGEND:**

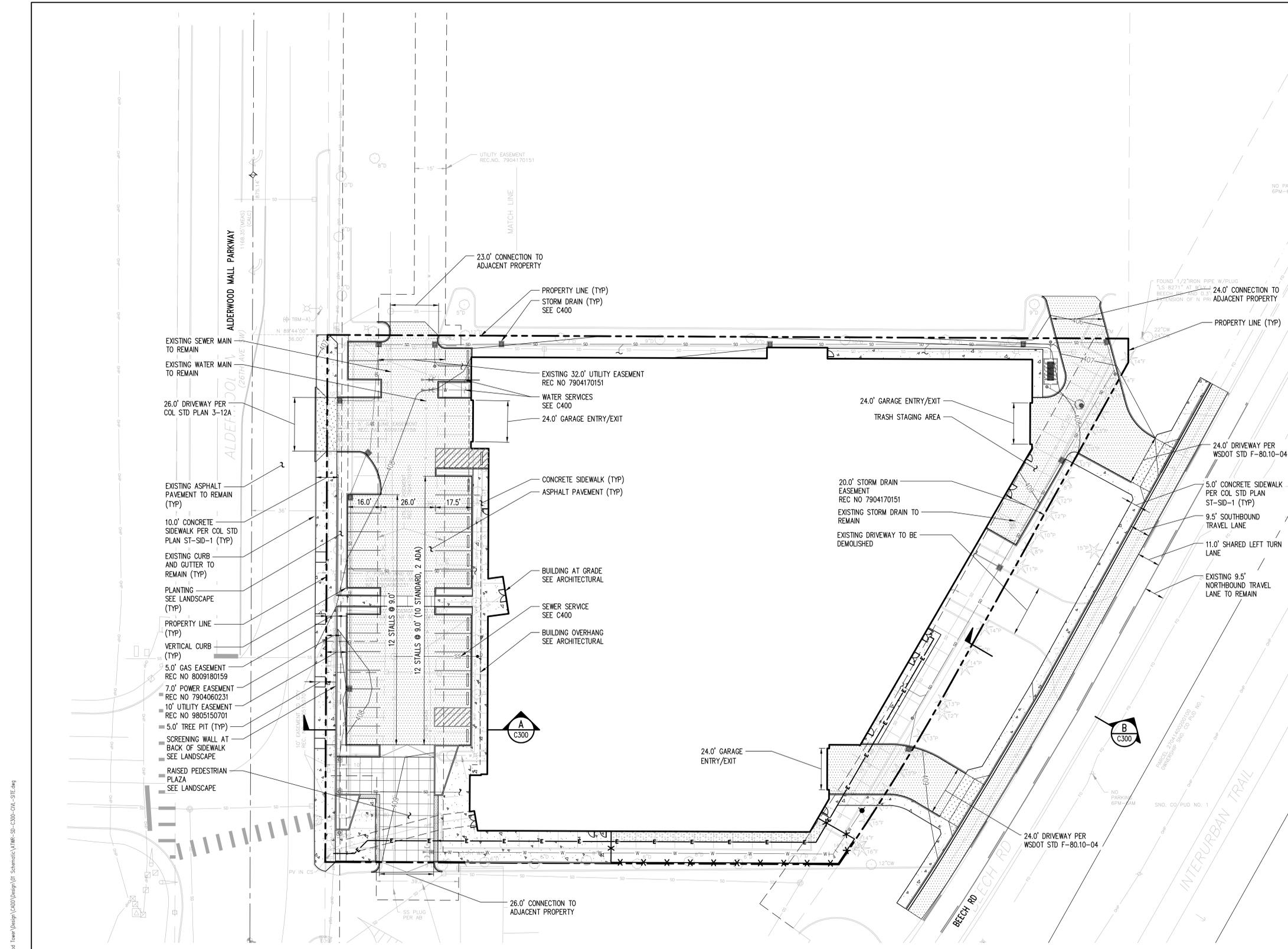
- CB CATCH BASIN
- CS CONC SLAB
- CW CONC WALK
- EJB ELECTRICAL JUNCTION BOX
- FH FIRE HYDRANT
- FOG FOG LINE
- FO FIBER OPTIC
- FVC FACE OF VERTICAL CURB
- GA GUY ANCHOR
- GV GAS VALVE
- IE INVERT ELEVATION
- LS LIGHT STANDARD
- PP POWER POLE
- PP POWER POLE (AS NOTED)
- PV POWER VAULT
- SLL SOLID LOCKING LID
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- TMH TELEPHONE MANHOLE
- TR TELEPHONE RISER
- TS TRAFFIC SIGNAL
- TSB TRAFFIC SIGNAL BOX
- WM WATER METER
- WV WATER VALVE
- WFM TRANSFORMER

- CW COTTONWOOD
- D DECIDUOUS
- F FIR
- M MAPLE
- P PINE

- ASPHALT HATCH
- CONCRETE HATCH

**SYMBOLS LEGEND:**

- EJB ELECTRICAL JUNCTION BOX
- FH FIRE HYDRANT
- FOG GAS/POWER METER (AS NOTED)
- FOG GAS VALVE
- GA GUY ANCHOR
- IPV INDICATOR POST
- LS LIGHT STANDARD
- PP PEDESTRIAN WALK SIGNAL
- PP POWER POLE (AS NOTED)
- PV POWER VAULT
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- SGN SIGN
- SDM STORM DRAIN CULVERT
- SDM STORM DRAIN MANHOLE
- SLM STREET LIGHT
- TMH TELEPHONE MANHOLE
- TR TELEPHONE RISER
- TS TRAFFIC SIGNAL
- TSB TRAFFIC SIGNAL BOX
- WFM WATER METER
- WV WATER VALVE
- WFM TRANSFORMER
- DECIDUOUS (AS NOTED)
- FENCE LINE AS NOTED
- FIBER OPTICS LINE
- FLOWLINE
- GAS LINE
- OVERHEAD POWER LINE
- UNDERGROUND POWER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- WATER LINE
- UNDERGROUND TELEPHONE LINE



- NOTES**
1. REFER TO SHEET C400 FOR GRADING, STORM DRAIN, AND UTILITY DESIGN.
  2. REFER TO LANDSCAPE FOR PLANTING DESIGN.
  3. ALL SURFACE IMPROVEMENTS WITHIN THE PROPOSED PROPERTY LINE ARE TO BE DEMOLISHED BY THE PROJECT.

**LEGEND**

	STREET CENTERLINE
	PROPOSED PROPERTY LINE
	EASEMENT LINE
	BUILDING WALL AT GRADE (SEE ARCHITECTURAL)
	BUILDING CANOPY (SEE ARCHITECTURAL)
	VERTICAL CURB
	STORM DRAIN (SEE C400)
	WATER SERVICE (SEE C400)
	FIRE SERVICE (SEE C400)
	SEWER SERVICE (SEE C400)
	CONCRETE SIDEWALK
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	PLANTING (SEE LANDSCAPE)

**PROJECT NAME**

**iVISTA  
ALDERWOOD**

18799 ALDERWOOD MALL  
PARKWAY  
LYNNWOOD, WA  
98037

**OWNER NAME**

**ALDERWOOD  
INVESTMENTS LLC**

18799 ALDERWOOD MALL  
PARKWAY

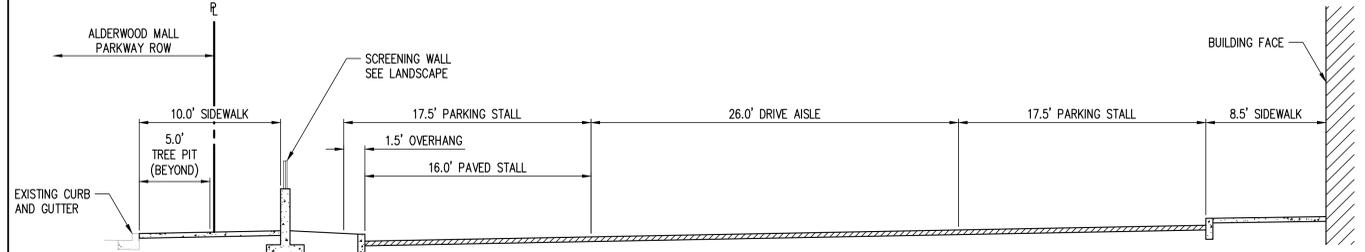
**kpff**

1601 5th Avenue, Suite 1600  
Seattle, WA 98101  
206.622.5822  
www.kpff.com

**PRELIMINARY**

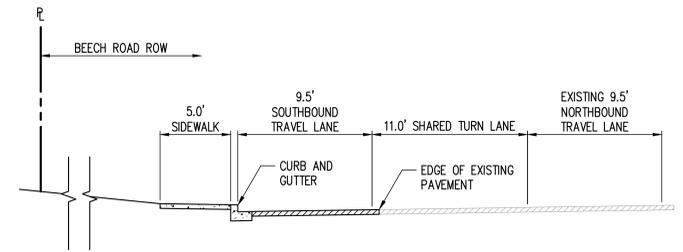
03/29/2023

PROJECT NO.: 2200091  
PROJECT MGR.: BCR  
DRAWN BY: DC  
CHECKED BY: TJE



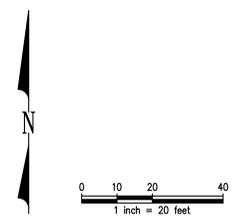
**ALDERWOOD MALL PARKWAY  
TYPICAL SECTION**

NTS



**BEECH ROAD  
TYPICAL SECTION**

NTS



SCALE AS SHOWN

PROJECT NUMBER 23.301  
TRUE NORTH

DESCRIPTION  
CIVIL SITE PLAN

SHEET NUMBER  
**C300**

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Mar 29, 2023 - 8:26am  
 DATE 3/10/2023 10:59:26 AM  
 \\pff.com\Civil\2200091-220999\220091 Alderwood Tower\Design\CADD\Design\01\_Schematic\TMR-S0-C300-CIV-SITE.dwg  
 insoft





**GRADE PLANE CALCULATION**

**GRADE PLANE**  
 LOT GRADE MEANS THE AVERAGE OF THE FINISHED GROUND LEVEL AT THE CENTER OF ALL EXPOSED WALLS OF THE BUILDING. IN CASE WALLS ARE PARALLEL TO AND WITHIN FIVE FEET OF THE SIDEWALK, THE ABOVE GROUND LEVEL SHALL BE MEASURED AT THE SIDEWALK. (ORD. 2020 § 2, 1994; ORD. 190 ART. IV § 407, 1964)  
 LOT GRADE CALCULATION:  
 NORTH (A)= 408.5, EAST (B)= 409.00, SOUTH (C)=409.5, WEST (D)=409.0  
 $408.5 + 409.00 + 409.5 + 409 = 1,636$   
 $1636/4 = 409.00$

**SHEET NOTES**

- REFER TO CIVIL, LANDSCAPE DWGS FOR MORE INFORMATION.
- REFER TO SITE LIGHTING DWG FOR PARKING LOT, POOL AND LANDSCAPE LIGHTING DESIGN.
- PROHIBIT SMOKING WITHIN 25 FEET OF BUILDING ENTRIES, OUTDOOR AIR INTAKES AND OPERABLE WINDOWS. PROVIDE NO SMOKING SIGNAGE WITHIN THESE AREAS. [CALGREEN 5.504.7]
- AT HAZARDOUS VEHICULAR AREAS, DETECTABLE WARNING SURFACES SHALL BE YELLOW CONFORMING TO FS 33538 OF FEDERAL STANDARD 595C
- ONLY APPROVED DSA-AC DETECTABLE WARNING PRODUCTS AND DIRECTIONAL SURFACES SHALL BE INSTALLED [CBC SEC 11B-705.3]

**AXIS GF7**  
 801 BLANCHARD ST.  
 SUITE 200  
 SEATTLE, WA 98121  
 T 206.367.1382  
 F 206.367.1385  
 www.axisgfa.com

PROJECT NAME

**iVista@Alderwood**

18799 ALDERWOOD MALL  
 PARKWAY  
 LYNNWOOD, WA  
 98037

OWNER NAME

**ALDERWOOD INVESTMENTS LLC**

18799 ALDERWOOD MALL  
 PARKWAY

**KEYNOTES**



DATE ISSUES & REVISIONS

1	03/31/23	PDR SUBMITTAL
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SCALE AS SHOWN

PROJECT NUMBER 23.301

TRUE NORTH

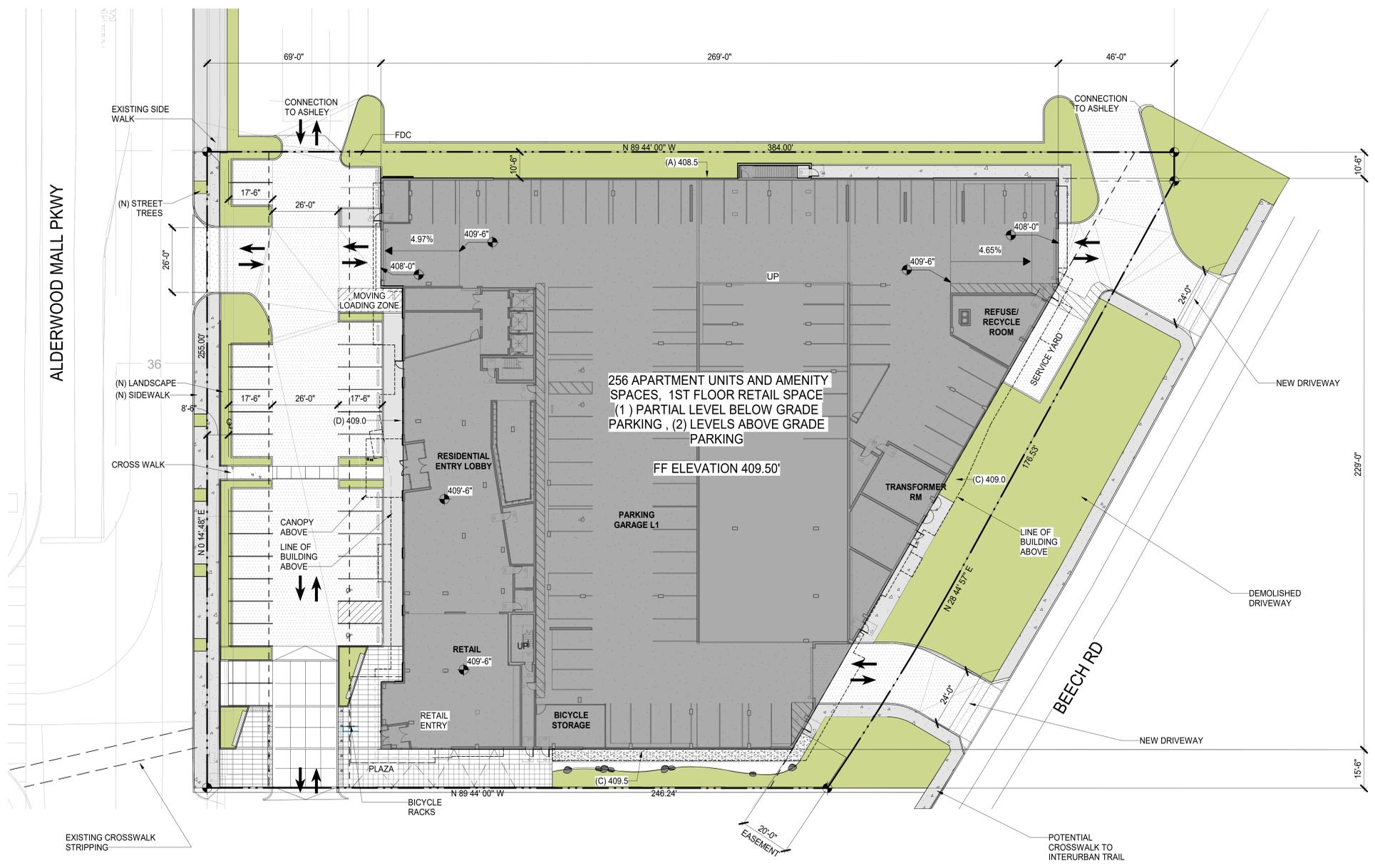


DESCRIPTION  
 SITE PLAN

SHEET NUMBER

**A1.01**

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**SITE PLAN**

SCALE: 1" = 20'-0"

**1**

A1.01



PROJECT NAME

**iVista@Alderwood**

18799 ALDERWOOD MALL  
PARKWAY  
LYNNWOOD, WA  
98037

OWNER NAME

**ALDERWOOD INVESTMENTS LLC**

18799 ALDERWOOD MALL  
PARKWAY

### SHEET NOTES

- FOR CONCRETE AND METAL STUD CONSTRUCTION, GRIDLINE SHALL BE AT THE CENTER OF COLUMN, UON.
- FOR WOOD CONSTRUCTION, THE GRIDLINE SHALL BE AT THE FACE OF EXTERIOR SHEATHING, AND CENTER OF DEMISING WALL STUD, UON. NOTE: IF STAGGER STUDS OR DOUBLE STUDS ARE USED FOR THE DEMISING WALL, THE GRIDLINE SHALL BE LOCATED AT THE CENTER OF THE ASSEMBLY.
- DIMENSION OF EXTERIOR WALL SHALL BE MEASURED FROM THE FACE OF EXTERIOR SHEATHING, UON.
- SEE WINDOW SCHEDULE A0.21 FOR ALL WINDOW & EXTERIOR LOUVER SIZES.
- ALL WINDOWS ARE LOCATED ON FLOOR PLANS A2.00 SERIES.
- SEE ELEVATIONS ON A4.00 SERIES FOR ALL EXTERIOR FINISH MATERIALS.
- ALL SIGNAGE REQUIRES SEPARATE PERMIT BY SIGN CONTRACTOR.
- SEE A9.01 FOR EXTERIOR PARTITION DETAILS.
- SEE A9.20 SERIES FOR EXTERIOR WINDOW DETAILS.

### KEYNOTES



DATE	ISSUES & REVISIONS
1 03/31/23	PDR SUBMITTAL

SCALE AS SHOWN

PROJECT NUMBER 23.301  
TRUE NORTH

DESCRIPTION  
FIRST FLOOR PLAN

SHEET NUMBER

**A2.01**

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.



### LEVEL 1 - FLOOR PLAN

SCALE: 3/32" = 1'-0"

**1**  
A2.01

PROJECT NAME

**iVista@Alderwood**

18799 ALDERWOOD MALL  
PARKWAY  
LYNNWOOD, WA  
98037

OWNER NAME

**ALDERWOOD  
INVESTMENTS LLC**

18799 ALDERWOOD MALL  
PARKWAY

### SHEET NOTES

- FOR CONCRETE AND METAL STUD CONSTRUCTION, GRIDLINE SHALL BE AT THE CENTER OF COLUMN, UON.
- FOR WOOD CONSTRUCTION, THE GRIDLINE SHALL BE AT THE FACE OF EXTERIOR SHEATHING, AND CENTER OF DEMISING WALL STUD, UON.  
NOTE: IF STAGGER STUDS OR DOUBLE STUDS ARE USED FOR THE DEMISING WALL, THE GRIDLINE SHALL BE LOCATED AT THE CENTER OF THE ASSEMBLY.
- DIMENSION OF EXTERIOR WALL SHALL BE MEASURED FROM THE FACE OF EXTERIOR SHEATHING, UON.
- SEE WINDOW SCHEDULE A0.21 FOR ALL WINDOW & EXTERIOR LOUVER SIZES.
- ALL WINDOWS ARE LOCATED ON FLOOR PLANS A2.00 SERIES.
- SEE ELEVATIONS ON A4.00 SERIES FOR ALL EXTERIOR FINISH MATERIALS.
- ALL SIGNAGE REQUIRES SEPARATE PERMIT BY SIGN CONTRACTOR.
- SEE A9.01 FOR EXTERIOR PARTITION DETAILS.
- SEE A9.20 SERIES FOR EXTERIOR WINDOW DETAILS.

### KEYNOTES

8192 REGISTERED ARCHITECT  
*Tom W*  
TOM BLAZER  
STATE OF WASHINGTON

DATE	ISSUES & REVISIONS
1 03/31/23	PDR SUBMITTAL

SCALE AS SHOWN

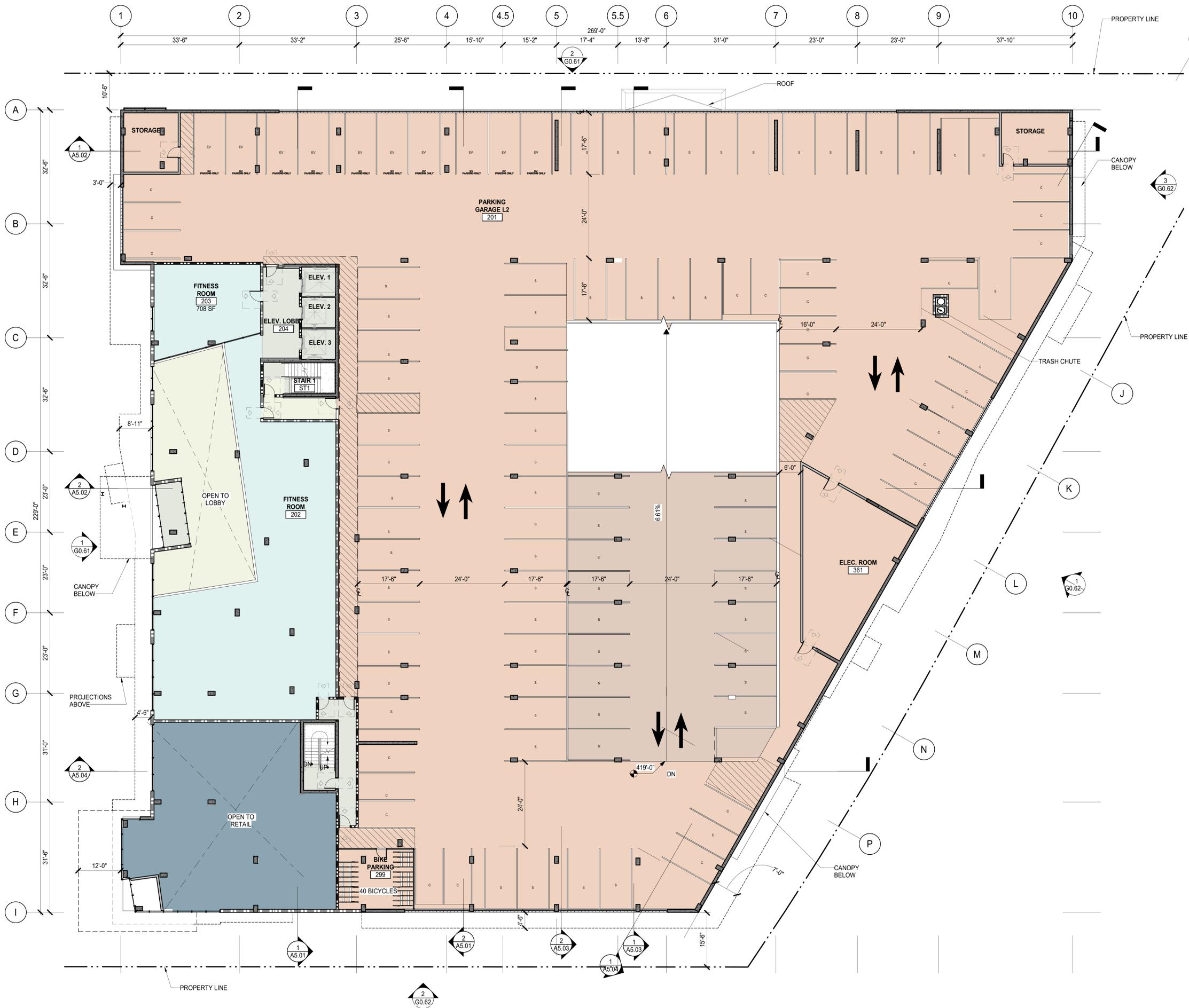
PROJECT NUMBER 23.301  
TRUE NORTH 

DESCRIPTION  
SECOND FLOOR PLAN

SHEET NUMBER

**A2.02**

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.



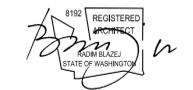
**LEVEL 2 - FLOOR PLAN**  
SCALE: 3/32" = 1'-0"

**1**  
A2.02

### SHEET NOTES

- FOR CONCRETE AND METAL STUD CONSTRUCTION, GRIDLINE SHALL BE AT THE CENTER OF COLUMN, UON.
- FOR WOOD CONSTRUCTION, THE GRIDLINE SHALL BE AT THE FACE OF EXTERIOR SHEATHING, AND CENTER OF DEMISING WALL STUD, UON.  
NOTE: IF STAGGER STUDS OR DOUBLE STUDS ARE USED FOR THE DEMISING WALL, THE GRIDLINE SHALL BE LOCATED AT THE CENTER OF THE ASSEMBLY.
- DIMENSION OF EXTERIOR WALL SHALL BE MEASURED FROM THE FACE OF EXTERIOR SHEATHING, UON.
- SEE WINDOW SCHEDULE A0.21 FOR ALL WINDOW & EXTERIOR LOUVER SIZES.
- ALL WINDOWS ARE LOCATED ON FLOOR PLANS A2.00 SERIES.
- SEE ELEVATIONS ON A4.00 SERIES FOR ALL EXTERIOR FINISH MATERIALS.
- ALL SIGNAGE REQUIRES SEPARATE PERMIT BY SIGN CONTRACTOR.
- SEE A9.01 FOR EXTERIOR PARTITION DETAILS.
- SEE A9.20 SERIES FOR EXTERIOR WINDOW DETAILS.

### KEYNOTES



DATE	ISSUES & REVISIONS
1 03/31/23	PDR SUBMITTAL

SCALE AS SHOWN

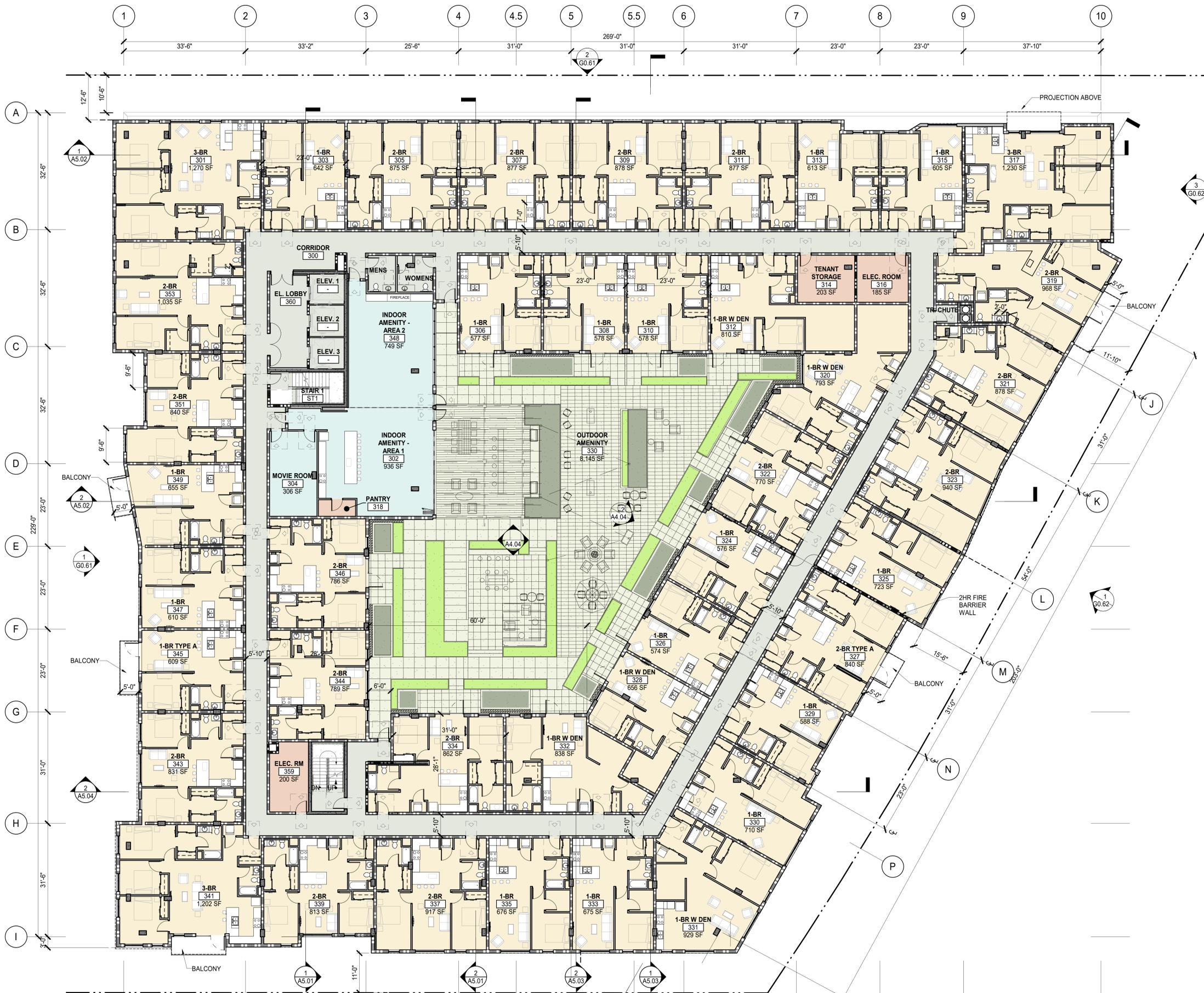
PROJECT NUMBER 23.301  
TRUE NORTH

DESCRIPTION  
THIRD FLOOR PLAN

SHEET NUMBER

**A2.03**

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.



**LEVEL 3 - FLOOR PLAN**  
SCALE: 3/32" = 1'-0"

1 A2.03

PROJECT NAME

**iVista@Alderwood**

18799 ALDERWOOD MALL  
PARKWAY  
LYNNWOOD, WA  
98037

OWNER NAME

**ALDERWOOD INVESTMENTS LLC**

18799 ALDERWOOD MALL  
PARKWAY

### SHEET NOTES

- FOR CONCRETE AND METAL STUD CONSTRUCTION, GRIDLINE SHALL BE AT THE CENTER OF COLUMN, UON.
- FOR WOOD CONSTRUCTION, THE GRIDLINE SHALL BE AT THE FACE OF EXTERIOR SHEATHING, AND CENTER OF DEMISING WALL STUD, UON. NOTE: IF STAGGER STUDS OR DOUBLE STUDS ARE USED FOR THE DEMISING WALL, THE GRIDLINE SHALL BE LOCATED AT THE CENTER OF THE ASSEMBLY.
- DIMENSION OF EXTERIOR WALL SHALL BE MEASURED FROM THE FACE OF EXTERIOR SHEATHING, UON.
- SEE WINDOW SCHEDULE A0.21 FOR ALL WINDOW & EXTERIOR LOUVER SIZES.
- ALL WINDOWS ARE LOCATED ON FLOOR PLANS A2.00 SERIES.
- SEE ELEVATIONS ON A4.00 SERIES FOR ALL EXTERIOR FINISH MATERIALS.
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- SEE A9.01 FOR EXTERIOR PARTITION DETAILS.
- SEE A9.20 SERIES FOR EXTERIOR WINDOW DETAILS.

### KEYNOTES



DATE	ISSUES & REVISIONS
1 03/31/23	PDR SUBMITTAL

SCALE AS SHOWN

PROJECT NUMBER 23.301

TRUE NORTH

DESCRIPTION  
FOURTH FLOOR PLAN

SHEET NUMBER

**A2.04**

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.



**LEVEL 4 FLOOR PLAN**  
SCALE: 3/32" = 1'-0"

**1** A2.04

PROJECT NAME

**iVista@Alderwood**

18799 ALDERWOOD MALL  
PARKWAY  
LYNNWOOD, WA  
98037

OWNER NAME

**ALDERWOOD INVESTMENTS LLC**

18799 ALDERWOOD MALL  
PARKWAY

### SHEET NOTES

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NOTE: IF STAGGER STUDS OR DOUBLE STUDS ARE USED FOR THE DEMISING WALL, THE GRIDLINE SHALL BE LOCATED AT THE CENTER OF THE ASSEMBLY.
- DIMENSION OF EXTERIOR WALL SHALL BE MEASURED FROM THE FACE OF EXTERIOR SHEATHING, UON.
- SEE WINDOW SCHEDULE A0.21 FOR ALL WINDOW & EXTERIOR LOUVER SIZES.
- ALL WINDOWS ARE LOCATED ON FLOOR PLANS A2.00 SERIES.
- SEE ELEVATIONS ON A4.00 SERIES FOR ALL EXTERIOR FINISH MATERIALS.
- ALL SIGNAGE REQUIRES SEPARATE PERMIT BY SIGN CONTRACTOR.
- SEE A9.01 FOR EXTERIOR PARTITION DETAILS.
- SEE A9.20 SERIES FOR EXTERIOR WINDOW DETAILS.

### KEYNOTES

8192 REGISTERED ARCHITECT  
*Tom*  
TOM BLAZER  
STATE OF WASHINGTON

DATE ISSUES & REVISIONS

1	03/31/23	PDR SUBMITTAL
---	----------	---------------

SCALE AS SHOWN

PROJECT NUMBER 23.301

DESCRIPTION  
FIFTH & SIXTH FLOOR PLAN

SHEET NUMBER

**A2.05**

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### LEVEL 5 & 6 FLOOR PLAN

SCALE: 3/32" = 1'-0"

**1** A2.05



PROJECT NAME

**iVista@Alderwood**

18799 ALDERWOOD MALL  
PARKWAY  
LYNNWOOD, WA  
98037

OWNER NAME

**ALDERWOOD INVESTMENTS LLC**

18799 ALDERWOOD MALL  
PARKWAY

### SHEET NOTES

- FOR CONCRETE AND METAL STUD CONSTRUCTION, GRIDLINE SHALL BE AT THE CENTER OF COLUMN, UON.
- FOR WOOD CONSTRUCTION, THE GRIDLINE SHALL BE AT THE FACE OF EXTERIOR SHEATHING, AND CENTER OF DEMISING WALL STUD, UON.  
NOTE: IF STAGGER STUDS OR DOUBLE STUDS ARE USED FOR THE DEMISING WALL, THE GRIDLINE SHALL BE LOCATED AT THE CENTER OF THE ASSEMBLY.
- DIMENSION OF EXTERIOR WALL SHALL BE MEASURED FROM THE FACE OF EXTERIOR SHEATHING, UON.
- SEE WINDOW SCHEDULE A0.21 FOR ALL WINDOW & EXTERIOR LOUVER SIZES.
- ALL WINDOWS ARE LOCATED ON FLOOR PLANS A2.00 SERIES.
- SEE ELEVATIONS ON A4.00 SERIES FOR ALL EXTERIOR FINISH MATERIALS.
- ALL SIGNAGE REQUIRES SEPARATE PERMIT BY SIGN CONTRACTOR.
- SEE A9.01 FOR EXTERIOR PARTITION DETAILS.
- SEE A9.20 SERIES FOR EXTERIOR WINDOW DETAILS.

### KEYNOTES



DATE	ISSUES & REVISIONS
1 03/31/23	PDR SUBMITTAL

SCALE AS SHOWN

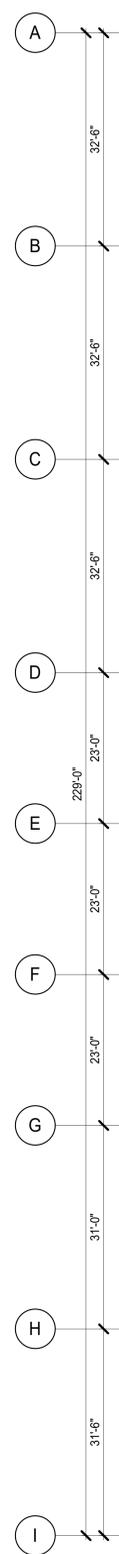
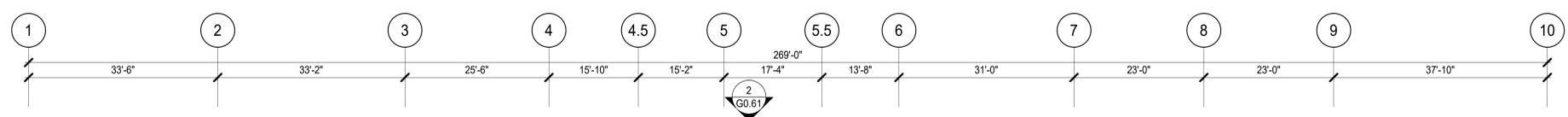
PROJECT NUMBER 23.301

DESCRIPTION  
EIGHTH FLOOR PLAN

SHEET NUMBER

**A2.07**

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.



### LEVEL 8 FLOOR PLAN

SCALE: 3/32" = 1'-0"

**1**  
A2.07

PROJECT NAME

**iVista@Alderwood**

18799 ALDERWOOD MALL  
PARKWAY  
LYNNWOOD, WA  
98037

OWNER NAME

**ALDERWOOD INVESTMENTS LLC**

18799 ALDERWOOD MALL  
PARKWAY

### SHEET NOTES

- SEE SECTION DETAILS FOR THERMAL & MOISTURE CONTROL AT EXTERIOR WALLS (A9.00 SERIES) & FOUNDATIONS (A1.30 SERIES).
- SEE ROOF ASSEMBLY DETAILS ON A9.10 SERIES FOR THERMAL & MOISTURE CONTROL AT ROOF.
- FIRE STOPPING AS REQUIRED: SEE SPECIFICATIONS.
- JOINT SEALANTS AS REQUIRED: SEE SPECIFICATIONS.
- SEE MECHANICAL DRAWINGS FOR HVAC SYSTEMS, EQUIPMENT & THERMOSTAT LOCATIONS.

### KEYNOTES



△	DATE	ISSUES & REVISIONS
1	03/31/23	PDR SUBMITTAL

SCALE AS SHOWN

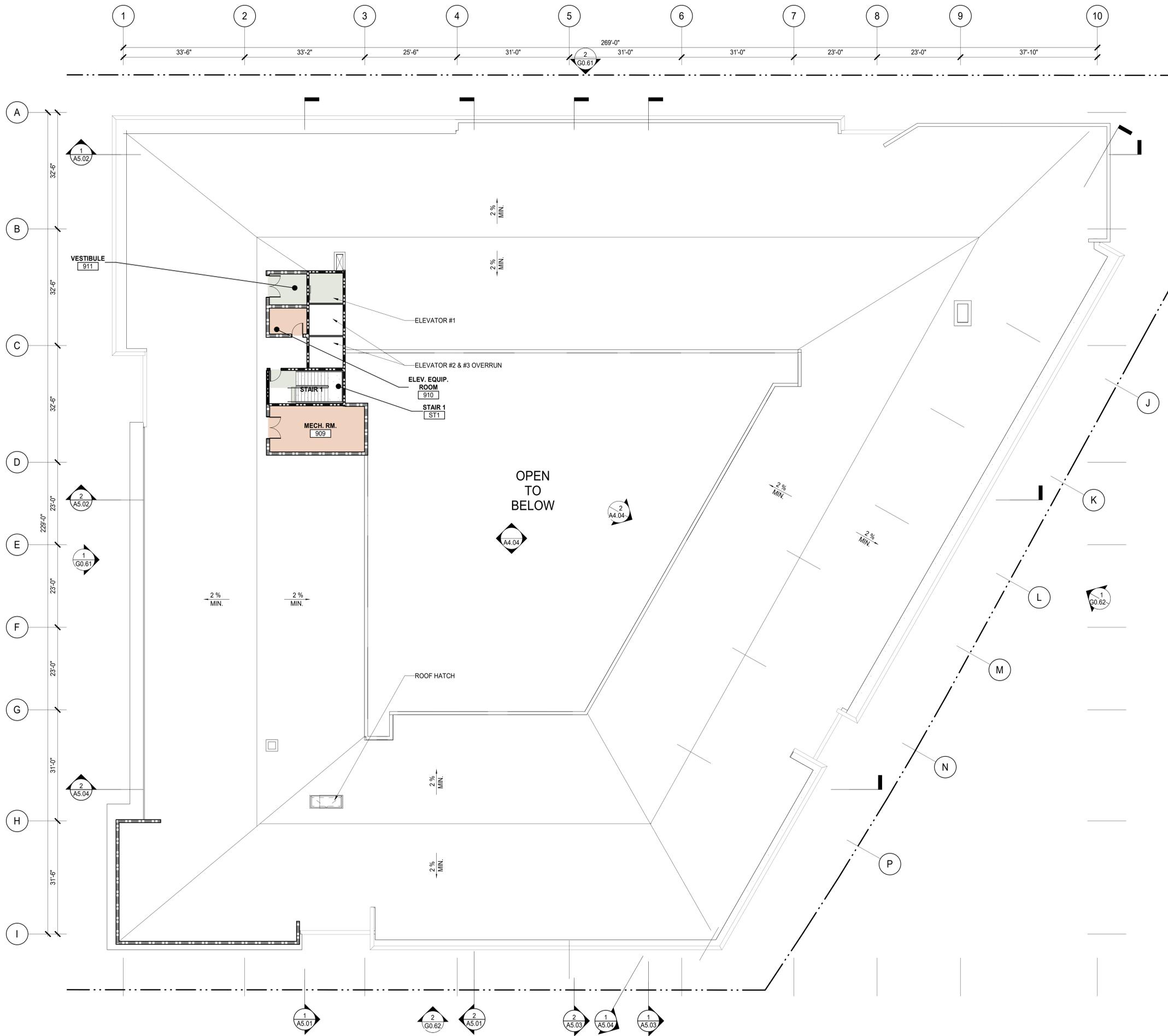
PROJECT NUMBER 23.301  
TRUE NORTH

DESCRIPTION  
ROOF PLAN

SHEET NUMBER

**A2.08**

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.



**ROOF PLAN**  
SCALE: 3/32" = 1'-0"

**1**  
A2.08

PROJECT NAME

**iVista@Alderwood**

18799 ALDERWOOD MALL  
PARKWAY  
LYNNWOOD, WA  
98037

OWNER NAME

**ALDERWOOD INVESTMENTS LLC**

18799 ALDERWOOD MALL  
PARKWAY

### SHEET NOTES

1. SEE SECTION DETAILS FOR THERMAL & MOISTURE CONTROL AT EXTERIOR WALLS (A9.00 SERIES) & FOUNDATIONS (A1.30 SERIES).
2. SEE ROOF ASSEMBLY DETAILS ON A9.10 SERIES FOR THERMAL & MOISTURE CONTROL AT ROOF.
3. FIRE STOPPING AS REQUIRED: SEE SPECIFICATIONS.
4. JOINT SEALANTS AS REQUIRED: SEE SPECIFICATIONS.
5. SEE MECHANICAL DRAWINGS FOR HVAC SYSTEMS, EQUIPMENT & THERMOSTAT LOCATIONS.

### KEYNOTES



### DATE ISSUES & REVISIONS

NO.	DATE	ISSUES & REVISIONS
1	03/31/23	PDR SUBMITTAL

SCALE AS SHOWN

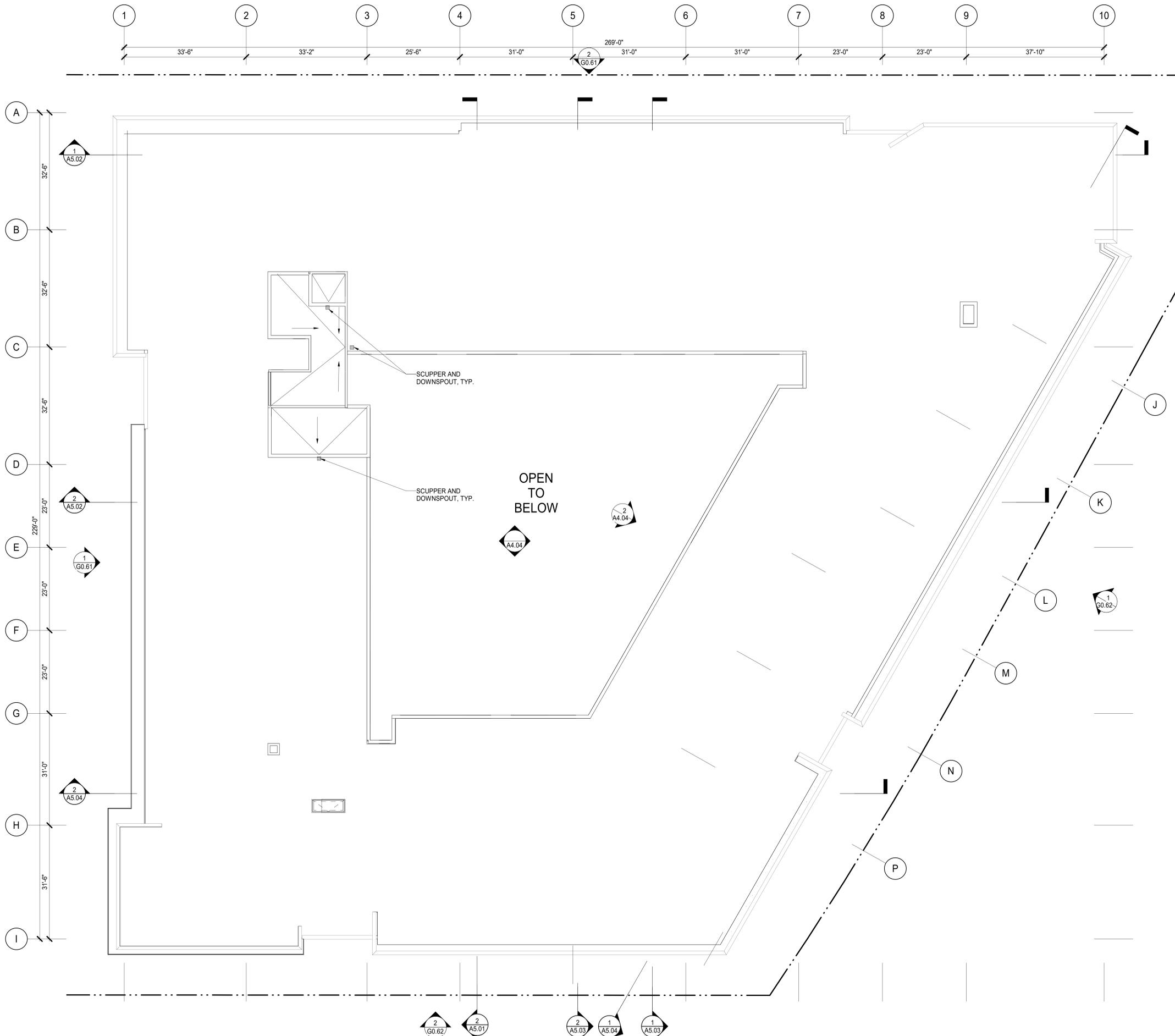
PROJECT NUMBER 23.301

DESCRIPTION  
**UPPER ROOF PLAN**

SHEET NUMBER

**A2.09**

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### HIGH ROOF PLAN

SCALE: 3/32" = 1'-0"

**1**  
A2.09

### WALL TYPES

- NON-RATED WALL
- 1-HOUR FIRE PROTECTED WALL
- 1-HOUR RATED FIRE PARTITION
- 1-HOUR RATED FIRE BARRIER
- 2-HOUR RATED FIRE BARRIER / FIRE BARRIER
- CONCRETE WALL
- CONCRETE MASONRY UNIT WALL

FINISH LEGEND - EXTERIOR		
TAG	FINISH MATERIAL	NOTES
CONC-1	SITE-CAST CONCRETE	SMOOTH FINISH
FCP-1	FIBER CEMENT PANEL	BEIGE
FCP-2	FIBER CEMENT PANEL	DARK BROWN
FCP-3	FIBER CEMENT PANEL	DARK GREY
FCP-4	FIBER CEMENT PANEL	LIGHT GREY
GL-1	RESIDENTIAL WINDOWS	VINYL - BLACK
GL-2	STOREFRONT GLAZING SYSTEM	DARK BRONZE METALLIC
HPL-1	HIGH PRESSURE LAMINATE PANELS	WESTERN RED CEDAR
MTL-1	STEEL CANOPY	COLOR: BLACK
MTL-2	BOLT-ON METAL BALCONIES & RAILING	COLOR: BLACK
MTL-3	GALV. METAL PARAPET FLASHING	COLOR TO MATCH ADJACENT SIDING
MTL-4	METAL SCUPPER AND DOWNSPOUTS	COLOR TO MATCH ADJACENT SIDING
MTL-5	METAL SCREEN OPENING AT GARAGE	

**AXIS GF/**  
 801 BLANCHARD ST.  
 SUITE 200  
 SEATTLE, WA 98121  
 T 206.367.1382  
 F 206.367.1385  
 www.axisgfa.com

PROJECT NAME

**iVista@Alderwood**

18799 ALDERWOOD MALL  
 PARKWAY  
 LYNNWOOD, WA  
 98037

OWNER NAME

**ALDERWOOD INVESTMENTS LLC**

18799 ALDERWOOD MALL  
 PARKWAY



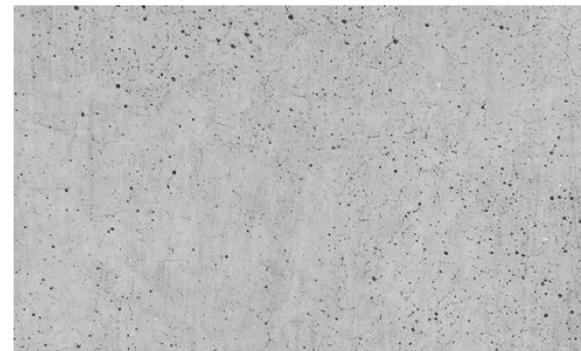
**FCP-4 FIBER CEMENT PANEL - LIGHT GREY**



**FCP-3 FIBER CEMENT PANEL - DARK GREY**



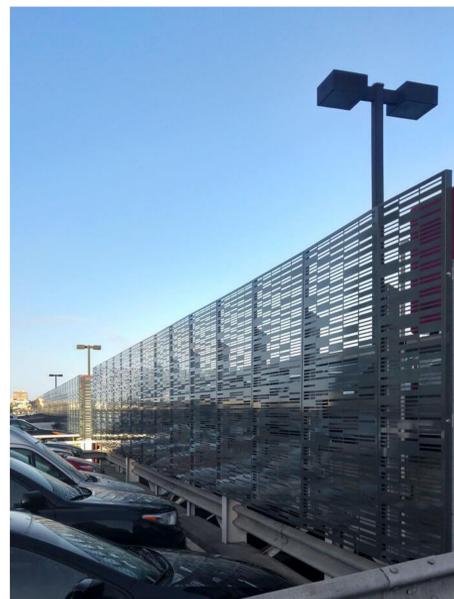
**RENDERING FOR REFERENCE**



**CONC-1 SITECAST CONCRETE - SMOOTH FINISH**



**FCP-2 FIBER CEMENT PANEL - DARK BROWN**

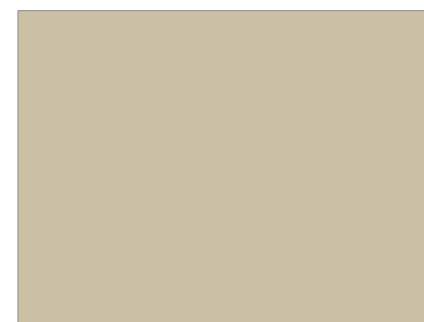


NOTE: MTL-5 METAL SCREEN SIMILAR TO THE ABOVE. IMAGE FOR REFERENCE.

**MTL-5 METAL SCREEN OPENING**



**HPL-1 HIGH PRESSURE LAMINATED PANELS - WESTERN RED CEDAR**



**FCP-1 FIBER CEMENT PANEL - BEIGE**



DATE	ISSUES & REVISIONS
03/31/23	PDR SUBMITTAL

SCALE AS SHOWN

PROJECT NUMBER 23.301

DESCRIPTION MATERIALS

SHEET NUMBER

**A4.00**

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## SHEET NOTES

1. SEE WINDOW SCHEDULE A0.21 FOR ALL WINDOW SIZES.
2. SEE LOUVER SCHEDULE A0.21 FOR ALL EXTERIOR LOUVER SIZES.
3. ALL WINDOWS ARE LOCATED ON FLOOR PLANS A2.00 SERIES.
4. SEE ELEVATIONS ON A4.00 SERIES FOR ALL EXTERIOR FINISH MATERIALS.
5. ALL SIGNAGE REQUIRES SEPARATE PERMIT BY SIGN CONTRACTOR
6. SEE A9.01 FOR EXTERIOR PARTITION DETAILS.
7. SEE A9.20 SERIES FOR EXTERIOR WINDOW DETAILS.

PROJECT NAME

## iVista@Alderwood

18799 ALDERWOOD MALL  
PARKWAY  
LYNNWOOD, WA  
98037

OWNER NAME

**ALDERWOOD INVESTMENTS LLC**

18799 ALDERWOOD MALL  
PARKWAY

## KEYNOTES

FINISH LEGEND - EXTERIOR		
TAG	FINISH MATERIAL	NOTES
CONC-1	SITE-CAST CONCRETE	SMOOTH FINISH
FCP-1	FIBER CEMENT PANEL	BEIGE
FCP-2	FIBER CEMENT PANEL	DARK BROWN
FCP-3	FIBER CEMENT PANEL	DARK GREY
FCP-4	FIBER CEMENT PANEL	LIGHT GREY
GL-1	RESIDENTIAL WINDOWS	VINYL - BLACK
GL-2	STOREFRONT GLAZING SYSTEM	DARK BRONZE METALLIC
HPL-1	HIGH PRESSURE LAMINATE PANELS	WESTERN RED CEDAR
MTL-1	STEEL CANOPY	COLOR: BLACK
MTL-2	BOLT-ON METAL BALCONIES & RAILING	COLOR: BLACK
MTL-3	GALV. METAL PARAPET FLASHING	COLOR TO MATCH ADJACENT SIDING
MTL-4	METAL SCUPPER AND DOWNSPOUTS	COLOR TO MATCH ADJACENT SIDING
MTL-5	METAL SCREEN OPENING AT GARAGE	



## DATE ISSUES & REVISIONS

DATE	ISSUES & REVISIONS
1 03/31/23	PDR SUBMITTAL

SCALE AS SHOWN

PROJECT NUMBER 23.301

DESCRIPTION  
BUILDING ELEVATIONS

SHEET NUMBER

**A4.01**

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**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**1**  
A4.01

### SHEET NOTES

1. SEE WINDOW SCHEDULE A0.21 FOR ALL WINDOW SIZES.
2. SEE LOUVER SCHEDULE A0.21 FOR ALL EXTERIOR LOUVER SIZES.
3. ALL WINDOWS ARE LOCATED ON FLOOR PLANS A2.00 SERIES.
4. SEE ELEVATIONS ON A4.00 SERIES FOR ALL EXTERIOR FINISH MATERIALS.
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7. SEE A9.20 SERIES FOR EXTERIOR WINDOW DETAILS.

### KEYNOTES

FINISH LEGEND - EXTERIOR		
TAG	FINISH MATERIAL	NOTES
CONC-1	SITE-CAST CONCRETE	SMOOTH FINISH
FCP-1	FIBER CEMENT PANEL	BEIGE
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FCP-3	FIBER CEMENT PANEL	DARK GREY
FCP-4	FIBER CEMENT PANEL	LIGHT GREY
GL-1	RESIDENTIAL WINDOWS	VINYL - BLACK
GL-2	STOREFRONT GLAZING SYSTEM	DARK BRONZE METALLIC
HPL-1	HIGH PRESSURE LAMINATE PANELS	WESTERN RED CEDAR
MTL-1	STEEL CANOPY	COLOR: BLACK
MTL-2	BOLT-ON METAL BALCONIES & RAILING	COLOR: BLACK
MTL-3	GALV. METAL PARAPET FLASHING	COLOR TO MATCH ADJACENT SIDING
MTL-4	METAL SCUPPER AND DOWNSPOUTS	COLOR TO MATCH ADJACENT SIDING
MTL-5	METAL SCREEN OPENING AT GARAGE	



DATE	ISSUES & REVISIONS
1 03/31/23	PDR SUBMITTAL

SCALE AS SHOWN  
PROJECT NUMBER 23.301

DESCRIPTION  
BUILDING ELEVATIONS

SHEET NUMBER  
**A4.02**

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DATE 3/31/2023 02:20:16 PM

**SOUTHEAST ELEVATION**  
SCALE: 1/8" = 1'-0"

**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

**2** A4.02

**1** A4.02

### SHEET NOTES

- SEE WINDOW SCHEDULE A0.21 FOR ALL WINDOW SIZES.
- SEE LOUVER SCHEDULE A0.21 FOR ALL EXTERIOR LOUVER SIZES.
- ALL WINDOWS ARE LOCATED ON FLOOR PLANS A2.00 SERIES.
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- SEE A9.20 SERIES FOR EXTERIOR WINDOW DETAILS.

### KEYNOTES

#### FINISH LEGEND - EXTERIOR

TAG	FINISH MATERIAL	NOTES
CONC-1	SITE-CAST CONCRETE	SMOOTH FINISH
FCP-1	FIBER CEMENT PANEL	BEIGE
FCP-2	FIBER CEMENT PANEL	DARK BROWN
FCP-3	FIBER CEMENT PANEL	DARK GREY
FCP-4	FIBER CEMENT PANEL	LIGHT GREY
GL-1	RESIDENTIAL WINDOWS	VINYL - BLACK
GL-2	STOREFRONT GLAZING SYSTEM	DARK BRONZE METALLIC
HPL-1	HIGH PRESSURE LAMINATE PANELS	WESTERN RED CEDAR
MTL-1	STEEL CANOPY	COLOR: BLACK
MTL-2	BOLT-ON METAL BALCONIES & RAILING	COLOR: BLACK
MTL-3	GALV. METAL PARAPET FLASHING	COLOR TO MATCH ADJACENT SIDING
MTL-4	METAL SCUPPER AND DOWNSPOUTS	COLOR TO MATCH ADJACENT SIDING
MTL-5	METAL SCREEN OPENING AT GARAGE	



### WEST ELEVATION

SCALE: 1/8" = 1'-0"

**2** A4.03



### SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

**1** A4.03



#### DATE ISSUES & REVISIONS

DATE	ISSUES & REVISIONS
03/31/23	PDR SUBMITTAL

SCALE AS SHOWN

PROJECT NUMBER 23.301

DESCRIPTION  
BUILDING ELEVATIONS

SHEET NUMBER

**A4.03**

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.

### SHEET NOTES

- SEE WINDOW SCHEDULE A0.21 FOR ALL WINDOW SIZES.
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- ALL WINDOWS ARE LOCATED ON FLOOR PLANS A2.00 SERIES.
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- SEE A9.20 SERIES FOR EXTERIOR WINDOW DETAILS.

### KEYNOTES

### FINISH LEGEND - EXTERIOR

TAG	FINISH MATERIAL	NOTES
CONC-1	SITE-CAST CONCRETE	SMOOTH FINISH
FCP-1	FIBER CEMENT PANEL	BEIGE
FCP-2	FIBER CEMENT PANEL	DARK BROWN
FCP-3	FIBER CEMENT PANEL	DARK GREY
FCP-4	FIBER CEMENT PANEL	LIGHT GREY
GL-1	RESIDENTIAL WINDOWS	VINYL - BLACK
GL-2	STOREFRONT GLAZING SYSTEM	DARK BRONZE METALLIC
HPL-1	HIGH PRESSURE LAMINATE PANELS	WESTERN RED CEDAR
MTL-1	STEEL CANOPY	COLOR: BLACK
MTL-2	BOLT-ON METAL BALCONIES & RAILING	COLOR: BLACK
MTL-3	GALV. METAL PARAPET FLASHING	COLOR TO MATCH ADJACENT SIDING
MTL-4	METAL SCUPPER AND DOWNSPOUTS	COLOR TO MATCH ADJACENT SIDING
MTL-5	METAL SCREEN OPENING AT GARAGE	

8192 REGISTERED ARCHITECT  
*Tom Blaz*  
TOM BLAZ  
STATE OF WASHINGTON

### DATE ISSUES & REVISIONS

NO.	DATE	ISSUES & REVISIONS
1	03/31/23	PDR SUBMITTAL

SCALE AS SHOWN

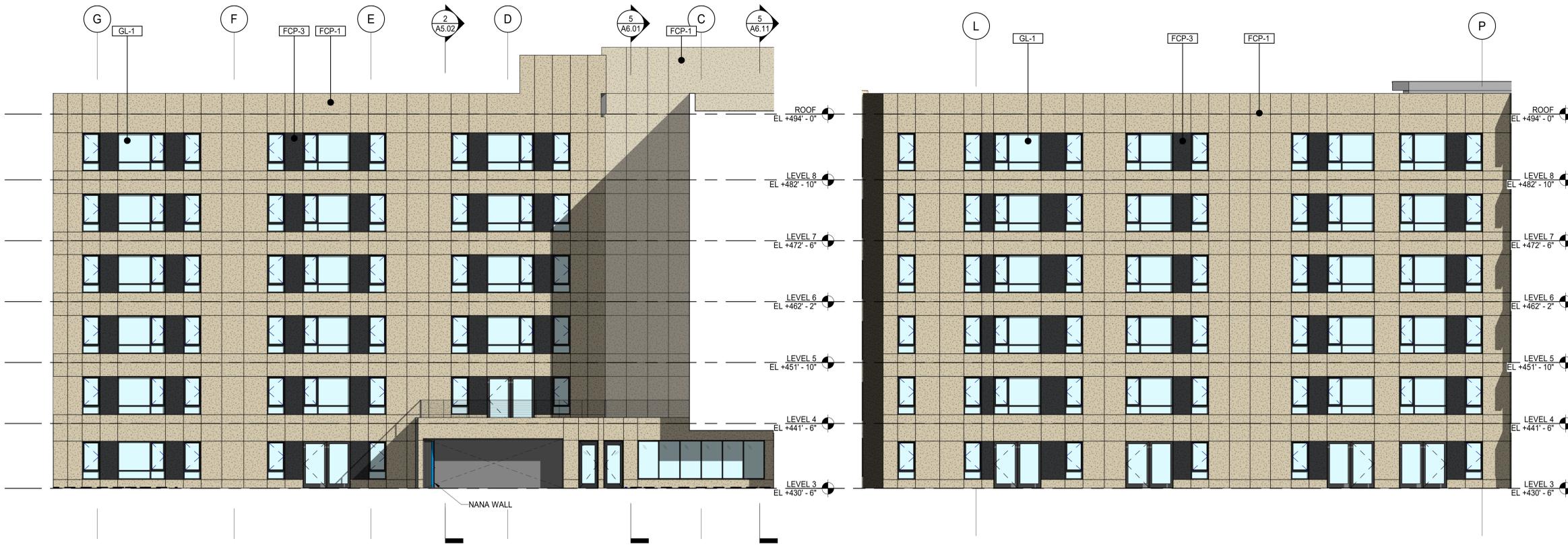
PROJECT NUMBER 23.301

DESCRIPTION  
BUILDING ELEVATIONS

SHEET NUMBER

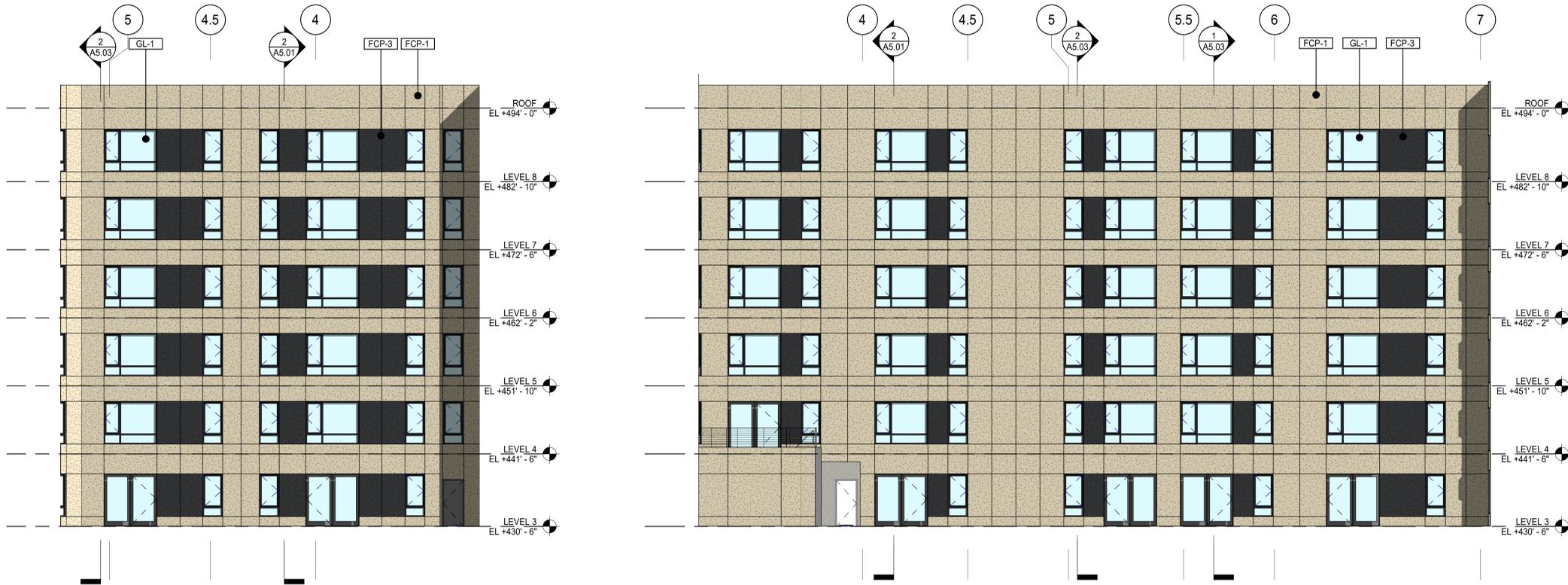
**A4.04**

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**COURTYARD - WEST ELEVATION** 4  
SCALE: 1/8" = 1'-0" A4.04

**COURTYARD - SOUTHEAST ELEVATION** 2  
SCALE: 1/8" = 1'-0" A4.04



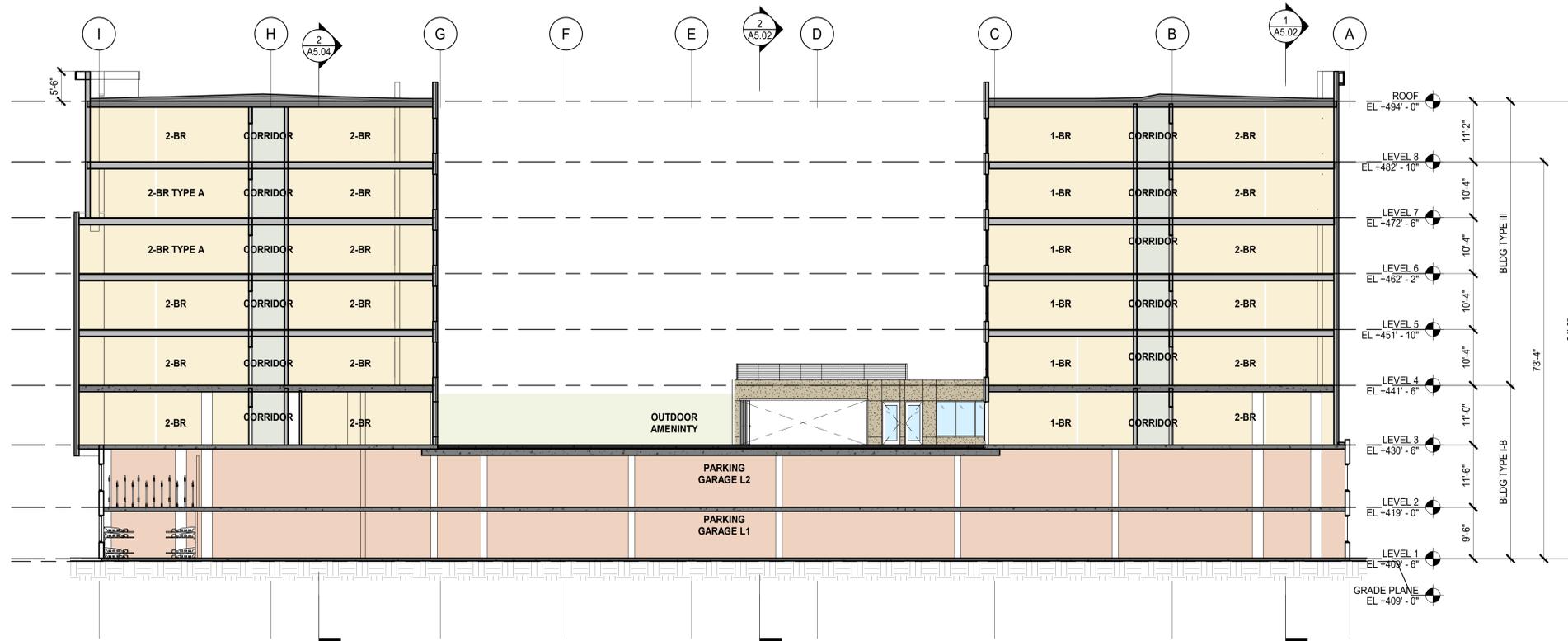
**COURTYARD - SOUTH ELEVATION** 3  
SCALE: 1/8" = 1'-0" A4.04

**COURTYARD - NORTH ELEVATION** 1  
SCALE: 1/8" = 1'-0" A4.04

### SHEET NOTES

- SEE WINDOW SCHEDULE A0.21 FOR ALL WINDOW SIZES.
- SEE LOUVER SCHEDULE A0.21 FOR ALL EXTERIOR LOUVER SIZES.
- ALL WINDOWS ARE LOCATED ON FLOOR PLANS A2.00 SERIES.
- SEE ELEVATIONS ON A4.00 SERIES FOR ALL EXTERIOR FINISH MATERIALS.
- ALL SIGNAGE REQUIRES SEPARATE PERMIT BY SIGN CONTRACTOR
- SEE A9.01 FOR EXTERIOR PARTITION DETAILS.
- SEE A9.20 SERIES FOR EXTERIOR WINDOW DETAILS.

### KEYNOTES



**Section BB**  
SCALE: 3/32" = 1'-0"

**2**  
A5.01



**Section AA**  
SCALE: 3/32" = 1'-0"

**1**  
A5.01



DATE	ISSUES & REVISIONS
1 03/31/23	PDR SUBMITTAL

SCALE AS SHOWN

PROJECT NUMBER 23.301

DESCRIPTION  
BUILDING SECTIONS

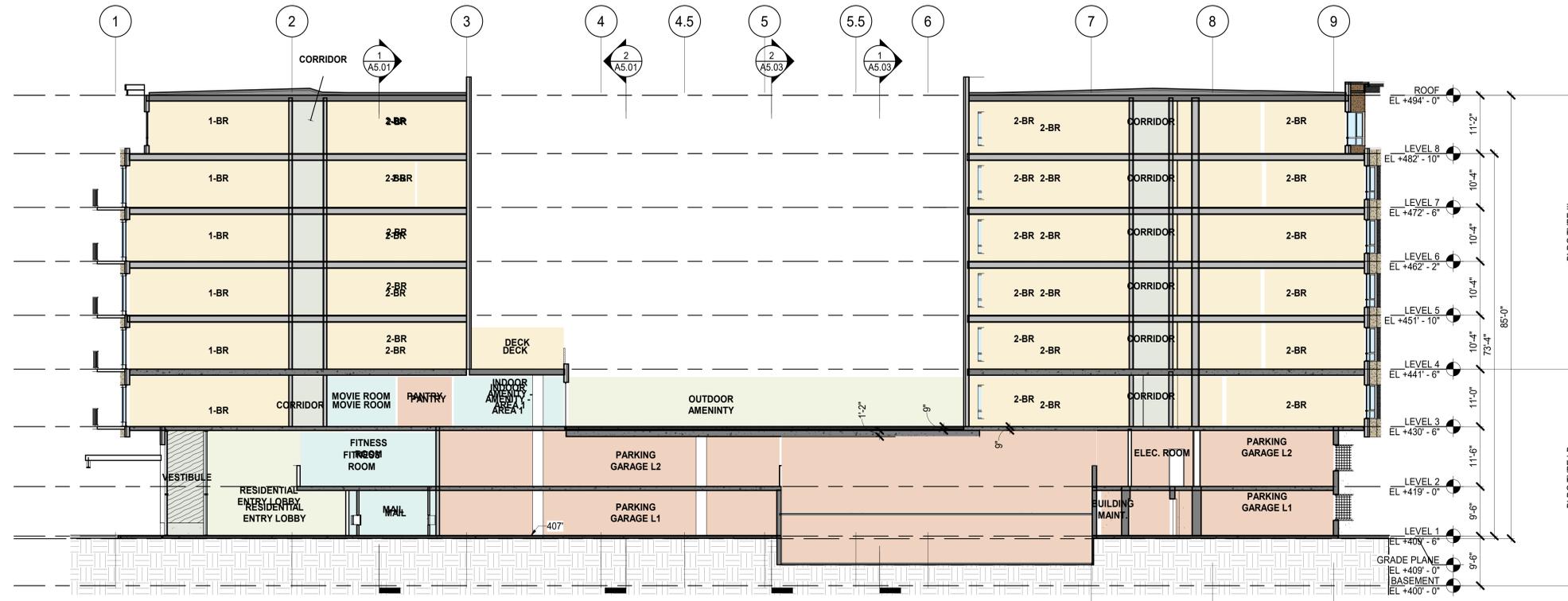
SHEET NUMBER

**A5.01**

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**Section 1**  
SCALE: 3/32" = 1'-0" **1**  
A5.02



**Section 2**  
SCALE: 3/32" = 1'-0" **2**  
A5.02

**SHEET NOTES**

1. SEE WINDOW SCHEDULE A0.21 FOR ALL WINDOW SIZES.
2. SEE LOUVER SCHEDULE A0.21 FOR ALL EXTERIOR LOUVER SIZES.
3. ALL WINDOWS ARE LOCATED ON FLOOR PLANS A2.00 SERIES.
4. SEE ELEVATIONS ON A4.00 SERIES FOR ALL EXTERIOR FINISH MATERIALS.
5. ALL SIGNAGE REQUIRES SEPARATE PERMIT BY SIGN CONTRACTOR
6. SEE A9.01 FOR EXTERIOR PARTITION DETAILS.
7. SEE A9.20 SERIES FOR EXTERIOR WINDOW DETAILS.



801 BLANCHARD ST.  
SUITE 200  
SEATTLE, WA 98121  
T 206.367.1382  
F 206.367.1385  
www.axisgfa.com

PROJECT NAME

**iVista@Alderwood**

18799 ALDERWOOD MALL  
PARKWAY  
LYNNWOOD, WA  
98037

OWNER NAME

**ALDERWOOD INVESTMENTS LLC**

18799 ALDERWOOD MALL  
PARKWAY

**KEYNOTES**



DATE	ISSUES & REVISIONS
1 03/31/23	PDR SUBMITTAL

SCALE AS SHOWN

PROJECT NUMBER 23.301

DESCRIPTION  
BUILDING SECTIONS

SHEET NUMBER

**A5.02**

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### SHEET NOTES

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- SEE LOUVER SCHEDULE A0.21 FOR ALL EXTERIOR LOUVER SIZES.
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- SEE A9.01 FOR EXTERIOR PARTITION DETAILS.
- SEE A9.20 SERIES FOR EXTERIOR WINDOW DETAILS.

PROJECT NAME

**iVista@Alderwood**

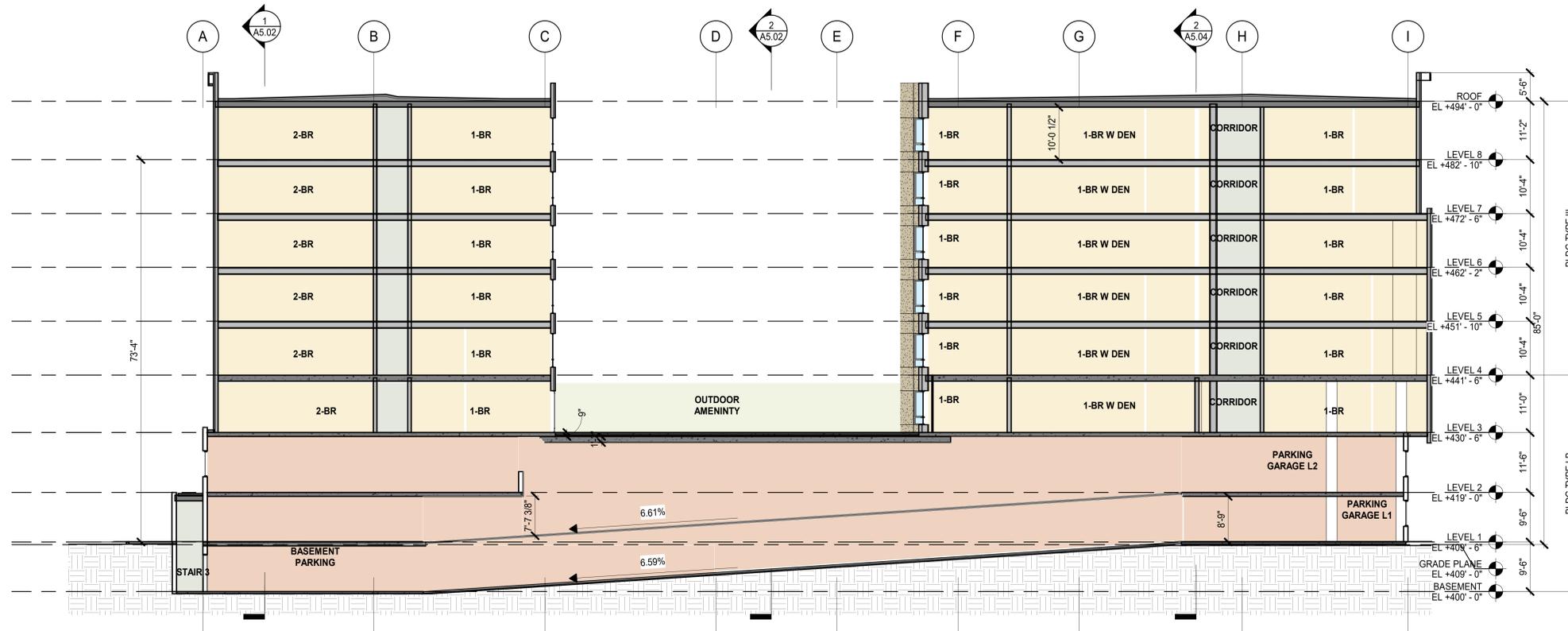
18799 ALDERWOOD MALL  
PARKWAY  
LYNNWOOD, WA  
98037

OWNER NAME

**ALDERWOOD INVESTMENTS LLC**

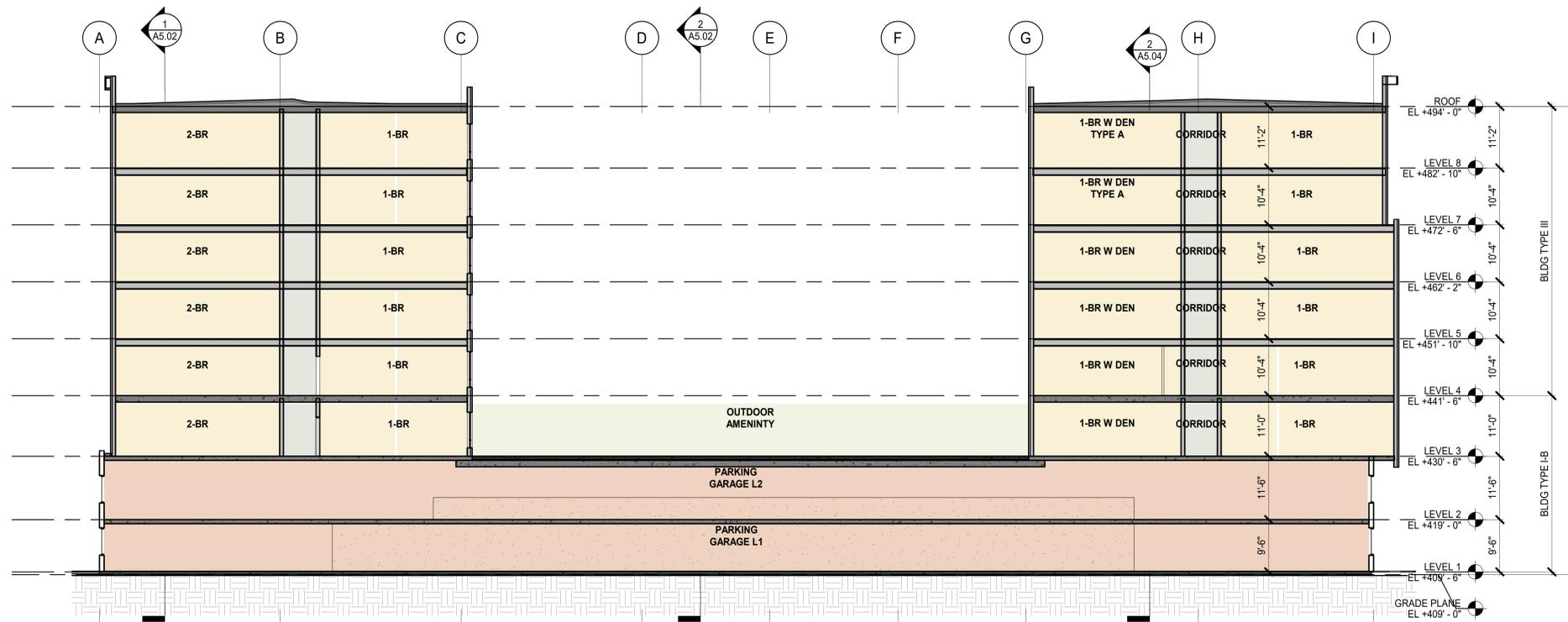
18799 ALDERWOOD MALL  
PARKWAY

### KEYNOTES



**Section CC**  
SCALE: 3/32" = 1'-0"

**1**  
A5.03



**Section DD**  
SCALE: 3/32" = 1'-0"

**2**  
A5.03



### DATE ISSUES & REVISIONS

DATE	ISSUES & REVISIONS
03/31/23	PDR SUBMITTAL

SCALE AS SHOWN

PROJECT NUMBER 23.301

DESCRIPTION  
BUILDING SECTIONS

SHEET NUMBER

**A5.03**

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PROJECT NAME

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LYNNWOOD, WA  
98037

OWNER NAME

**ALDERWOOD INVESTMENTS LLC**

18799 ALDERWOOD MALL  
PARKWAY

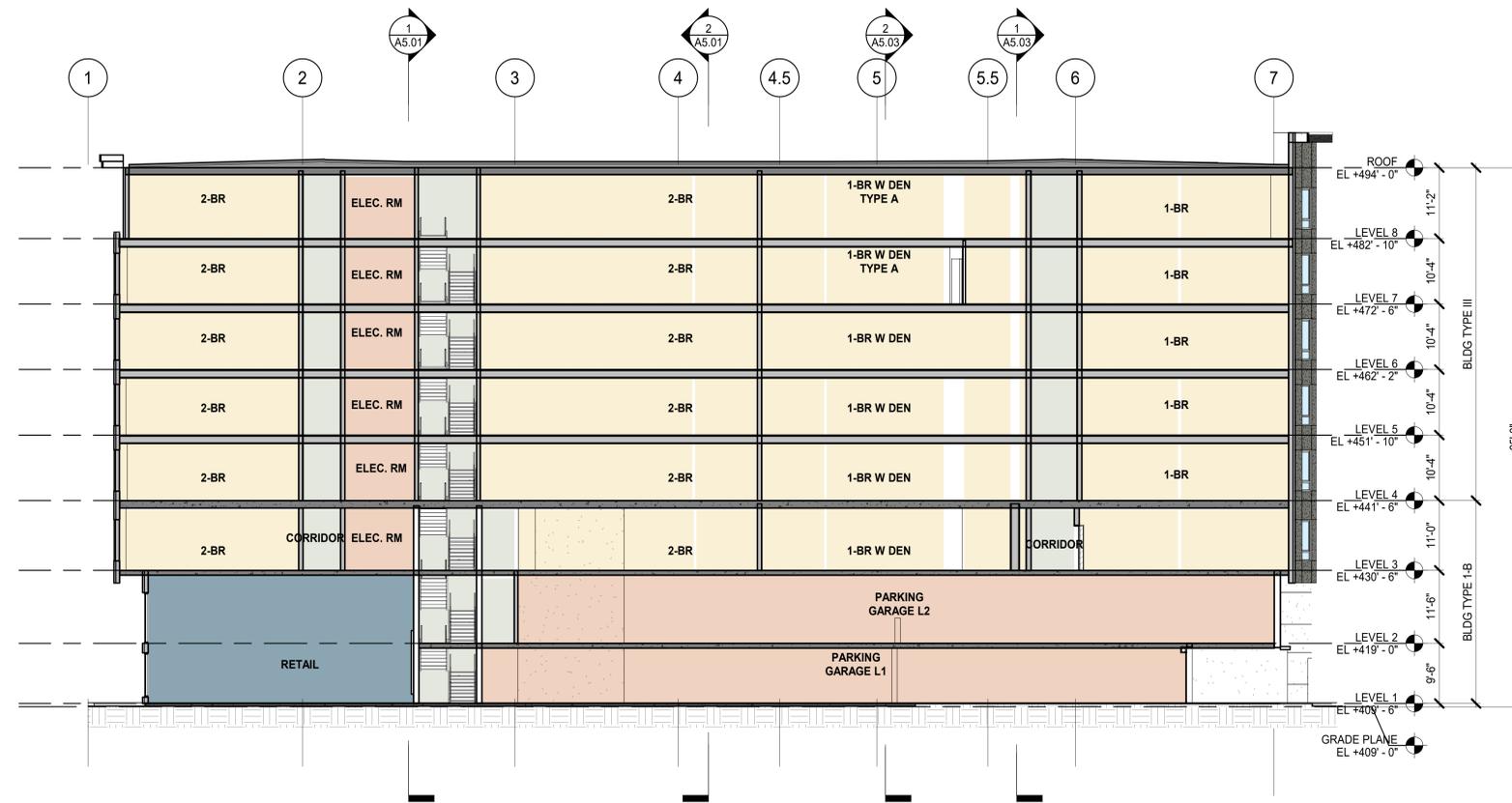
### SHEET NOTES

1. SEE WINDOW SCHEDULE A0.21 FOR ALL WINDOW SIZES.
2. SEE LOUVER SCHEDULE A0.21 FOR ALL EXTERIOR LOUVER SIZES.
3. ALL WINDOWS ARE LOCATED ON FLOOR PLANS A2.00 SERIES.
4. SEE ELEVATIONS ON A4.00 SERIES FOR ALL EXTERIOR FINISH MATERIALS.
5. ALL SIGNAGE REQUIRES SEPARATE PERMIT BY SIGN CONTRACTOR
6. SEE A9.01 FOR EXTERIOR PARTITION DETAILS.
7. SEE A9.20 SERIES FOR EXTERIOR WINDOW DETAILS.

### KEYNOTES



**Section EE**  
SCALE: 3/32" = 1'-0"  
**1**  
A5.04



**Section 3**  
SCALE: 3/32" = 1'-0"  
**2**  
A5.04



DATE	ISSUES & REVISIONS
03/31/23	PDR SUBMITTAL

SCALE AS SHOWN  
PROJECT NUMBER 23.301

DESCRIPTION  
BUILDING SECTIONS

SHEET NUMBER  
**A5.04**

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TREE PRESERVATION LEGEND		
EVERGREEN (CON)	DECIDUOUS (DEC)	
		SIGNIFICANT TREE TO REMAIN
		SIGNIFICANT TREE TO BE REMOVED
		NON SIGNIFICANT TREE TO REMAIN
		NON SIGNIFICANT TREE TO BE REMOVED

PROJECT NAME  
**iVista@Alderwood**  
 18799 ALDERWOOD MALL PARKWAY  
 LYNNWOOD, WA 98037

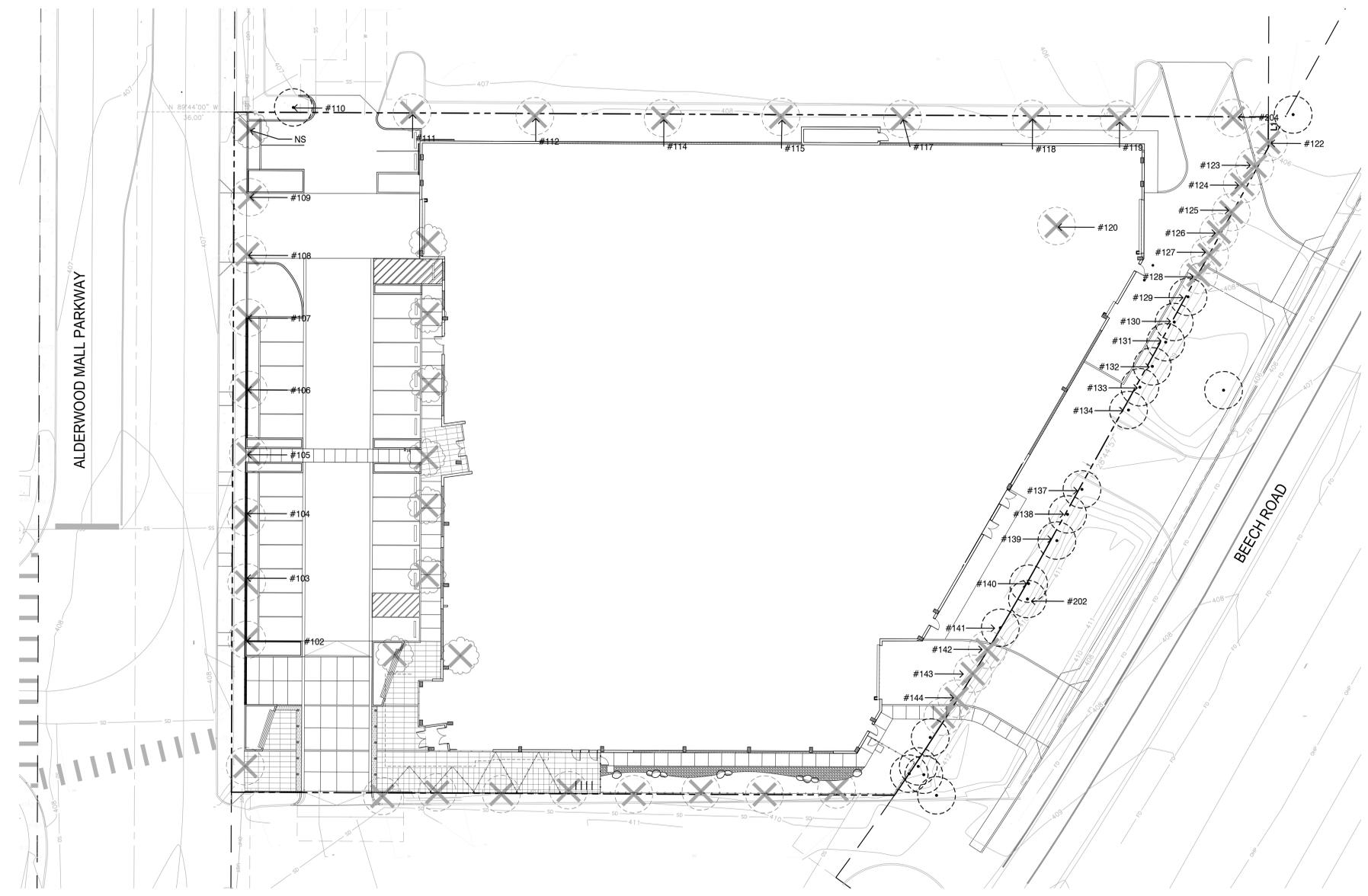
OWNER NAME  
**ALDERWOOD INVESTMENTS LLC**  
 18799 ALDERWOOD MALL PARKWAY

**Brumbaugh & Associates**  
 Landscape Architecture  
 600 North 85th Street, Suite 102  
 Seattle, WA 98103-3826  
 Telephone 206 782 2650  
 Facsimile 206 782 2675

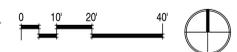
STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT  
  
 KRISTEN S. LARSEN  
 CERTIFICATE NO. 815

**DATA FROM ARBORIST REPORT**

101	LONDON PLANE, 10"	133	SCOTCH PINE, 10"
102	LONDON PLANE, 9"	134	SCOTCH PINE, 12"
103	LONDON PLANE, 7"	135	MAPLE, 8"
104	LONDON PLANE, 9"	136	MAPLE, 14"
105	LONDON PLANE, 8"	137	SCOTCH PINE, 13"
106	LONDON PLANE, 9"	138	SCOTCH PINE, 10"
107	LONDON PLANE, 8"	139	SCOTCH PINE, 14"
108	LONDON PLANE, 7"	140	SCOTCH PINE, 12"
109	LONDON PLANE, 8"	141	SCOTCH PINE, 12"
110	LONDON PLANE, 9"	142	SCOTCH PINE, 12"
111	MAPLE, 10"	143	SCOTCH PINE, 12"
112	MAPLE, 8"	144	DOUGLAS FIR, 11"
113	MAPLE, 6"	145	DOUGLAS FIR, 14"
114	MAPLE, 8"	146	DOUGLAS FIR, 14"
115	MAPLE, 7"	147	DOUGLAS FIR, 12"
116	MAPLE, 8"	148	DOUGLAS FIR, 15"
117	MAPLE, 8"	149	MAPLE, 6"
118	MAPLE, 10"	150	MAPLE, 6"
119	MAPLE, 9"	151	MAPLE, 7"
120	MAPLE, 9"	152	MAPLE, 9"
121	MAPLE, 14"	153	MAPLE, 9"
122	DOUGLAS FIR, 14, 6"	154	MAPLE, 7"
123	DOUGLAS FIR, 15"	155	MAPLE, 7"
124	DOUGLAS FIR, 17"	156	MAPLE, 8"
125	DOUGLAS FIR, 15"	157	MAPLE, 8"
126	SCOTCH PINE, 14"		
127	SCOTCH PINE, 10"	201	MAPLE, 7, 6, 6, 4"
128	SCOTCH PINE, 13"	202	DOUGLAS FIR, 11"
129	SCOTCH PINE, 9"	203	WESTERN WHITE PINE, 15"
130	SCOTCH PINE, 13"	204	MAPLE, 8"
131	SCOTCH PINE, 13"		
132	SCOTCH PINE, 12"		



**1 TREE PRESERVATION PLAN**  
 1"=20'-0"



DATE 3/15/2023 3:31:50 PM

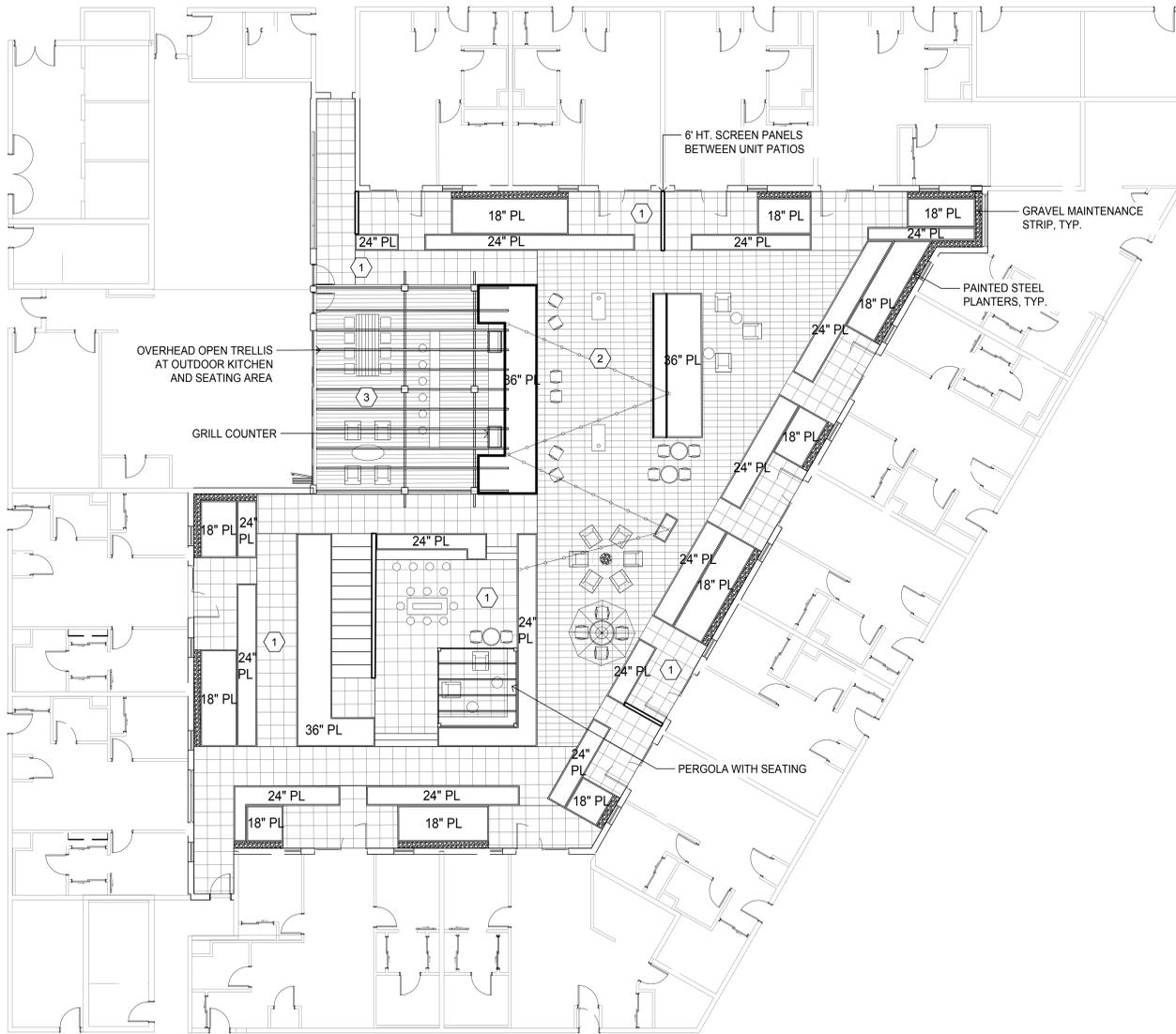
SCALE AS SHOWN  
 PROJECT NUMBER 2023-02IVISTA

DESCRIPTION  
**TREE PRESERVATION PLAN**

SHEET NUMBER  
**L1.01**

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PAVING / MATERIALS LEGEND - LEVEL 3	
SYMBOL	DESCRIPTION
	24" x 24" MODULAR CONCRETE PAVER, PEDESTAL SET
	12" x 24" MODULAR CONCRETE PAVER, PEDESTAL SET
	WOOD DECKING BY THERMORY, JOIST SYSTEM ON PEDESTALS
	OUTDOOR BBQ GRILL
	FIRE PIT
	FIRE TABLE
XX" PL	STEEL PLANTER WITH HEIGHT INDICATED
GR	GREEN ROOF

PROJECT NAME

**iVista@Alderwood**

18799 ALDERWOOD MALL  
PARKWAY  
LYNNWOOD, WA  
98037

OWNER NAME

**ALDERWOOD  
INVESTMENTS LLC**

18799 ALDERWOOD MALL  
PARKWAY

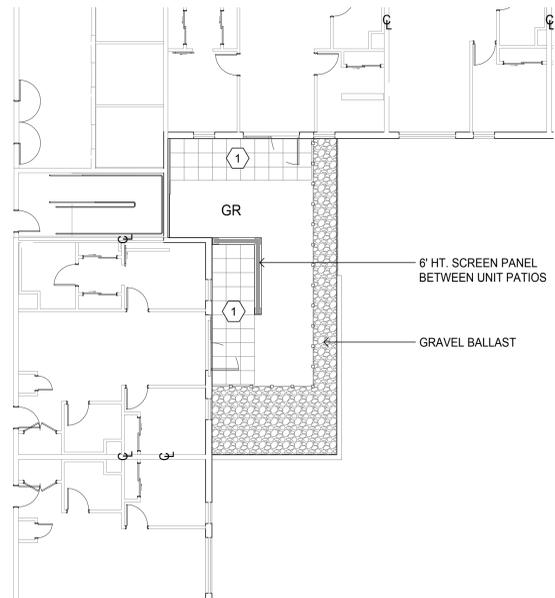
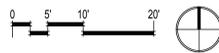
**Brumbaugh & Associates**

**Landscape Architecture**

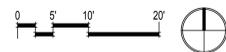
600 North 85th Street, Suite 102  
Seattle, WA 98103-3826  
Telephone 206 782 3650  
Facsimile 206 782 3675



1 MATERIALS PLAN - LEVEL 3  
1"=10'-0"



2 MATERIALS PLAN - LEVEL 4  
1"=10'-0"



SCALE AS SHOWN

PROJECT NUMBER 2023-02IVISTA

DESCRIPTION  
MATERIALS PLAN -  
LEVELS 3 AND 4

SHEET NUMBER

**L3.02**

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**LANDSCAPE CALCULATIONS PER LMC 21.08 AND LYNNWOOD CITYWIDE GUIDELINES**

**INTERIOR PARKING LOT LANDSCAPE**  
 PROVIDED PARKING LOT AREA: 12,524 SF  
 PROVIDED SURFACE PARKING COUNT: 30 STALLS  
 REQUIRED INTERIOR PARKING LOT LANDSCAPE (10% OF PARKING LOT AREA): 1,252 SF  
 PROVIDED INTERIOR PARKING LOT LANDSCAPE: 1,291 SF (10%)  
 REQUIRED INTERIOR PARKING LOT TREES (1 MEDIUM TREE / 4 STALLS): 7 TREES  
 PROVIDED INTERIOR PARKING LOT TREES: 9 TREES

**PARKING LOT FRONTAGE**  
 PROVIDED STREET FRONTAGE: 255 LF (744 SF)  
 REQUIRED FRONTAGE TREES (1 MED TREE / 22 LF): 12 MEDIUM TREES  
 PROVIDED FRONTAGE TREES: 12 TREES  
 REQUIRED SHRUBS (2/20 SF): 744 SF/10 = 74 SHRUBS  
 PROVIDED SHRUBS: 144 LF @ 3' O.C. = 24 MEDIUM SHRUBS, @ 2' O.C. = 50 SMALL SHRUBS = 74 SHRUBS

PLANTING PROVIDED BETWEEN PARKING LOT AND R.O.W.: 74 SHRUBS  
 REQUIRED EVERGREEN PLANTING BETWEEN PARKING LOT AND R.O.W.: (75%): 56 SHRUBS  
 PROVIDED EVERGREEN PLANTING BETWEEN PARKING LOT AND R.O.W.: 56 (75%)

LANDSCAPE BUFFER: N/A

**PLAZA AREA**  
 PROVIDED R-2 RESIDENTIAL AREA: 251,723 SF  
 REQUIRED PLAZA AREA (1' PLAZA / 100' BUILDING AREA): 2,517 SF  
 PROVIDED PLAZA AREA: 2,861 SF

PROJECT NAME

**iVista@Alderwood**

18799 ALDERWOOD MALL  
 PARKWAY  
 LYNNWOOD, WA  
 98037

OWNER NAME

**ALDERWOOD  
 INVESTMENTS LLC**

18799 ALDERWOOD MALL  
 PARKWAY

**Brumbaugh & Associates**

**Landscape Architecture**  
 600 North 85th Street, Suite 102  
 Seattle, WA 98103-3826  
 Telephone 206 782 3650  
 Facsimile 206 782 3675



**LYNNWOOD MUNICIPAL CODE NOTES**

- LMC 21.08.300 (A)1 - SOIL MUST BE LOOSENEED OR UNCOMPACTED, MIN. 24" DEPTH, IN BUFFER, STREET FRONTAGE, AND PARKING LOT LANDSCAPE AREAS WHERE NECESSARY DUE TO COMPACTION.
- LMC 21.08.300 (A)2 - TREES PLANTED WITHIN 10' OF PUBLIC STREET OR SIDEWALK MUST BE SEPARATED FROM HARDSCAPE BY A ROOT BARRIER.
- LMC 21.08.300 (B)1a - INVASIVE SPECIES ARE PROHIBITED PER WASHINGTON STATE NOXIOUS WEED CONTROL BOARD.
- LMC 21.08.300 (C)1c - DECIDUOUS TREES MUST BE MIN. 8' HT. AND 2" CAL. AT TIME OF PLANTING.
- LMC 21.08.300 (C)1d - TREES MUST HAVE 10' OF O.C. CLEARANCE BETWEEN TREES.
- LMC 21.08.300 (C)1e - TREES MUST COMPLY WITH SNOHOMISH PUD UTILITY REQUIREMENTS.
- LMC 21.08.300 (C)1g - TREE BRANCHES MUST BE TRIMMED TO PROVIDE MIN. 6' CLEARANCE. TREES OVERHANGING VEHICULAR USE AREA MUST PROVIDE 8' CLEARANCE.

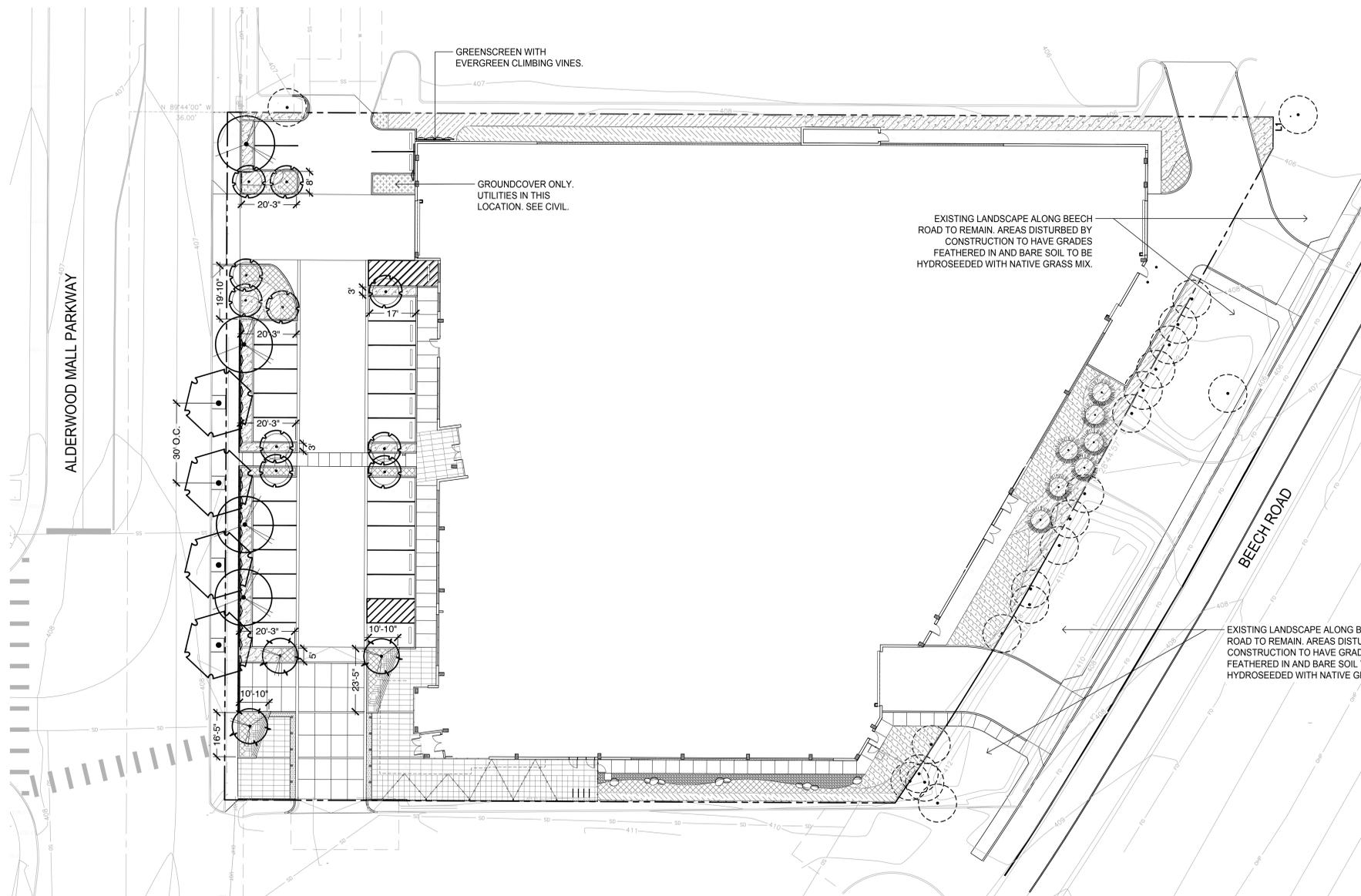
**CLASS II TREE REMOVAL AND REPLACEMENT SCHEDULE PER LMC 17.15**

TOTAL NUMBER OF SIGNIFICANT TREES TO BE REMOVED: 37 QTY.  
 TOTAL DBH OF SIGNIFICANT TREES TO BE REMOVED: 352 DBH  
 AVERAGE DBH OF SIGNIFICANT TREES TO BE REMOVED (DBH / SIG TREE): 9.5 DBH  
 REQUIRED REPLACEMENT TREES (# OF SIGNIFICANT TREES REMOVED X TREE UNITS): 37 TREES  
 PROVIDED REPLACEMENT TREES: 38 TREES

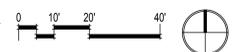
TOTAL NUMBER OF NON SIGNIFICANT TREES TO BE REMOVED: 9 TREES  
 REQUIRED REPLACEMENT (1 TREE / 10 NON-SIGNIFICANT TREES REMOVED): 1 TREE  
 PROVIDED REPLACEMENT: 1 TREES

**CLASS II PERMIT REPLACEMENT TREE NOTES**

- PRIOR TO PLANTING, LOCATION AND SPECIES SHALL BE APPROVED BY THE CITY.
- DECIDUOUS REPLACEMENT TREES SHALL BE MIN. 2 1/2" CAL.
- EVERGREEN REPLACEMENT TREES SHALL BE MIN. 8' HT.



**1 PLANTING PLAN - SITE LEVEL**  
 1"=20'-0"



DATE 3/15/2023 3:31:50 PM

SCALE AS SHOWN

PROJECT NUMBER 2023-021VISTA

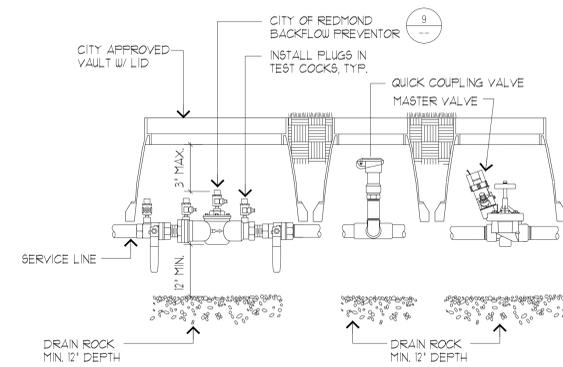
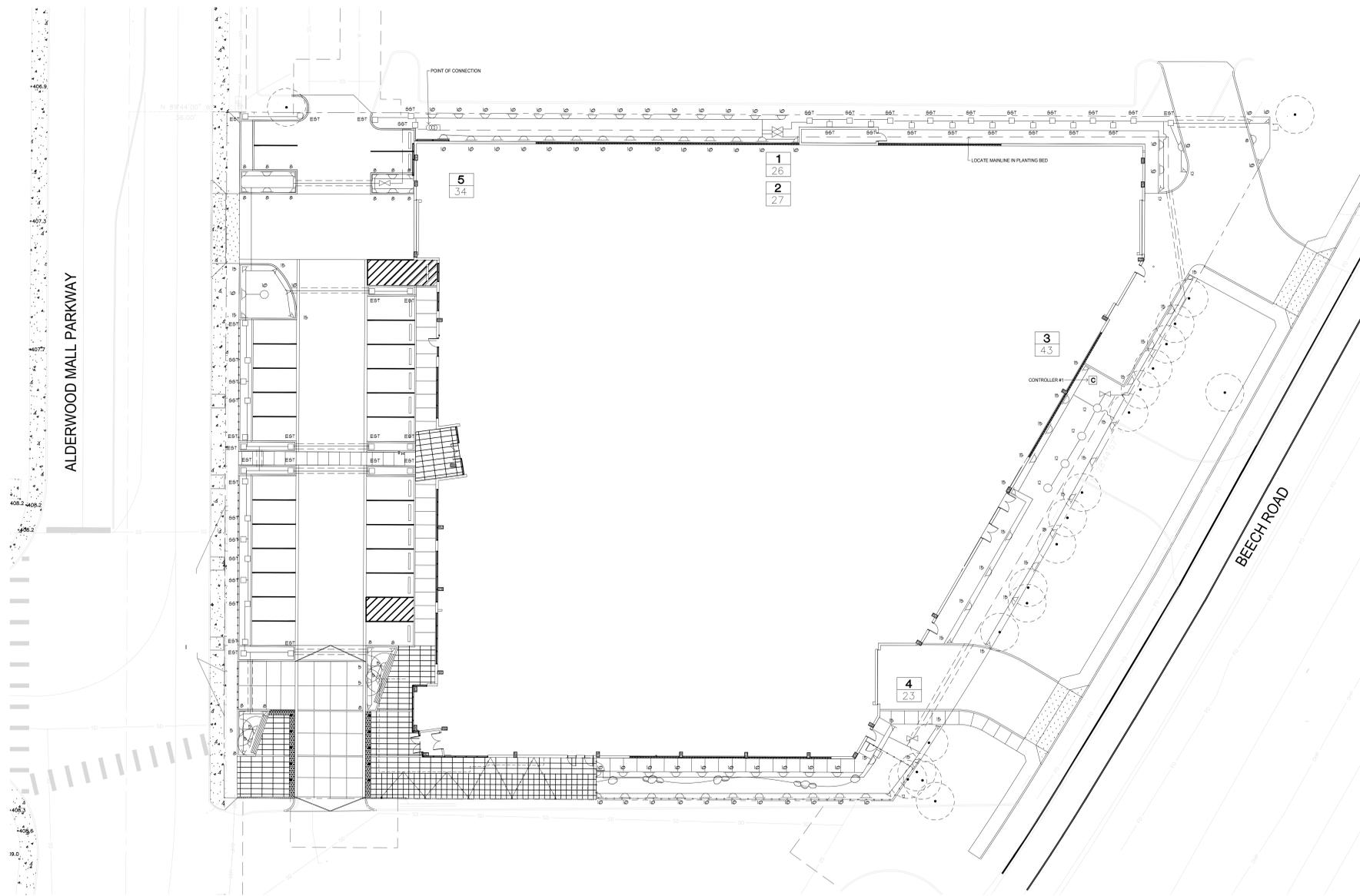
DESCRIPTION  
 PLANTING PLAN -  
 SITE LEVEL

SHEET NUMBER

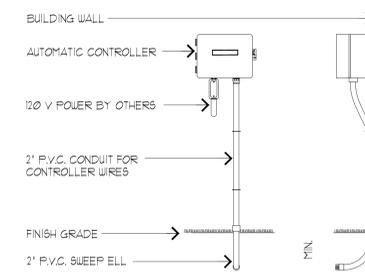
**L5.01**

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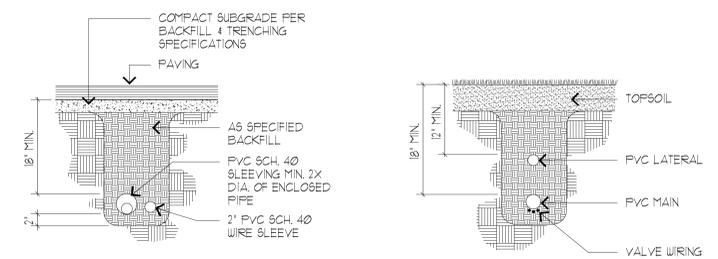




**1 POINT OF CONNECTION**  
SCALE: NTS



**2 WALL MOUNT CONTROLLER**  
SCALE: NTS

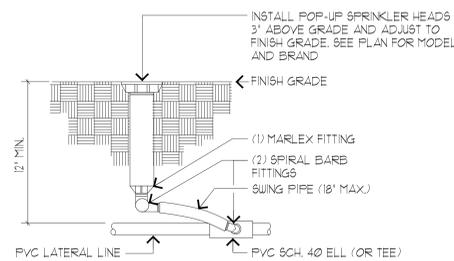
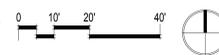


NOTE: BACKFILL TO BE FREE OF ROCK OR DEBRIS LARGER THAN 1" DIA. ABSOLUTELY NO ROCK OR DEBRIS SHALL BE PLACED DIRECTLY ADJACENT TO ANY PIPE

NOTE: BACKFILL TO BE FREE OF ROCK OR DEBRIS LARGER THAN 1" DIA. ABSOLUTELY NO ROCK OR DEBRIS SHALL BE PLACED DIRECTLY ADJACENT TO ANY PIPE

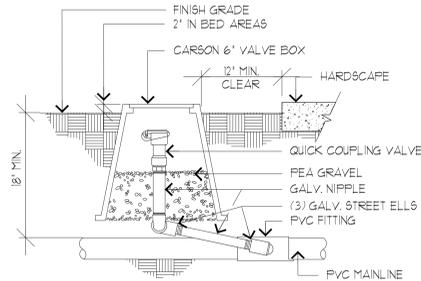
**3 TRENCHING**  
SCALE: NTS

**1 IRRIGATION PLAN - SITE LEVEL**  
1"=20'-0"



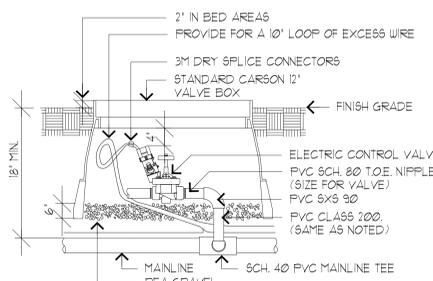
NOTE: THIS DETAIL APPLIES ONLY TO POP-UP SPRAY SPRINKLER HEADS. INSTALL ALL STREAM ROTOR SPRINKLER HEADS ON TRIPLE SWING ASSEMBLIES

**4 POP-UP SPRAY HEAD**  
SCALE: NTS



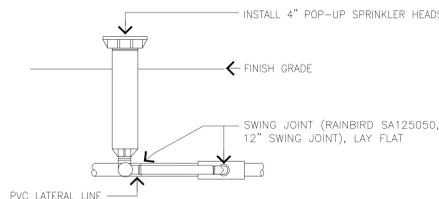
NOTE: ALL GALV. FITTINGS TO BE PAINTED WITH ROOFING TAR EMULSION

**5 QUICK COUPLER VALVE**  
SCALE: NTS



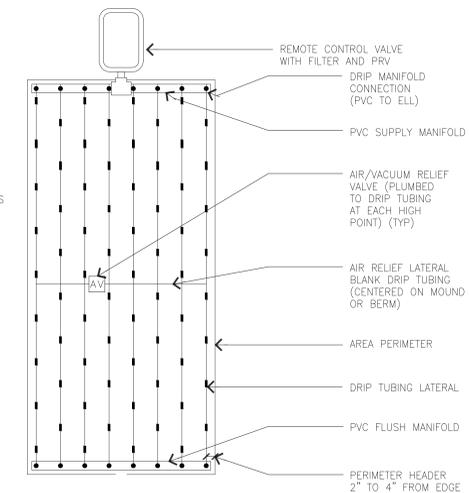
NOTE: ATTACH RAINBIRD VALVE LABELS TO VALVE NUMBER SHALL BE COORDINATED WITH IRRIGATION CONTROLLER ZONES

**6 REMOTE CONTROL VALVE**  
SCALE: NTS



NOTE: 1. ADAPTORS OR BUSHINGS WHICH MAY BE REQUIRED FOR PROPER INSTALLATION ARE NOT SHOWN

**7 POP-UP HEAD / TRIPLE SWING**  
SCALE: NTS



**8 DRIP LINE MANIFOLD**  
SCALE: NTS

PROJECT NAME

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98037

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PARKWAY

**Brumbaugh & Associates**

Landscape Architecture  
600 North 85th Street, Suite 102  
Seattle, WA 98103-3826  
Telephone 206 782 3650  
Facsimile 206 782 3675



SCALE AS SHOWN

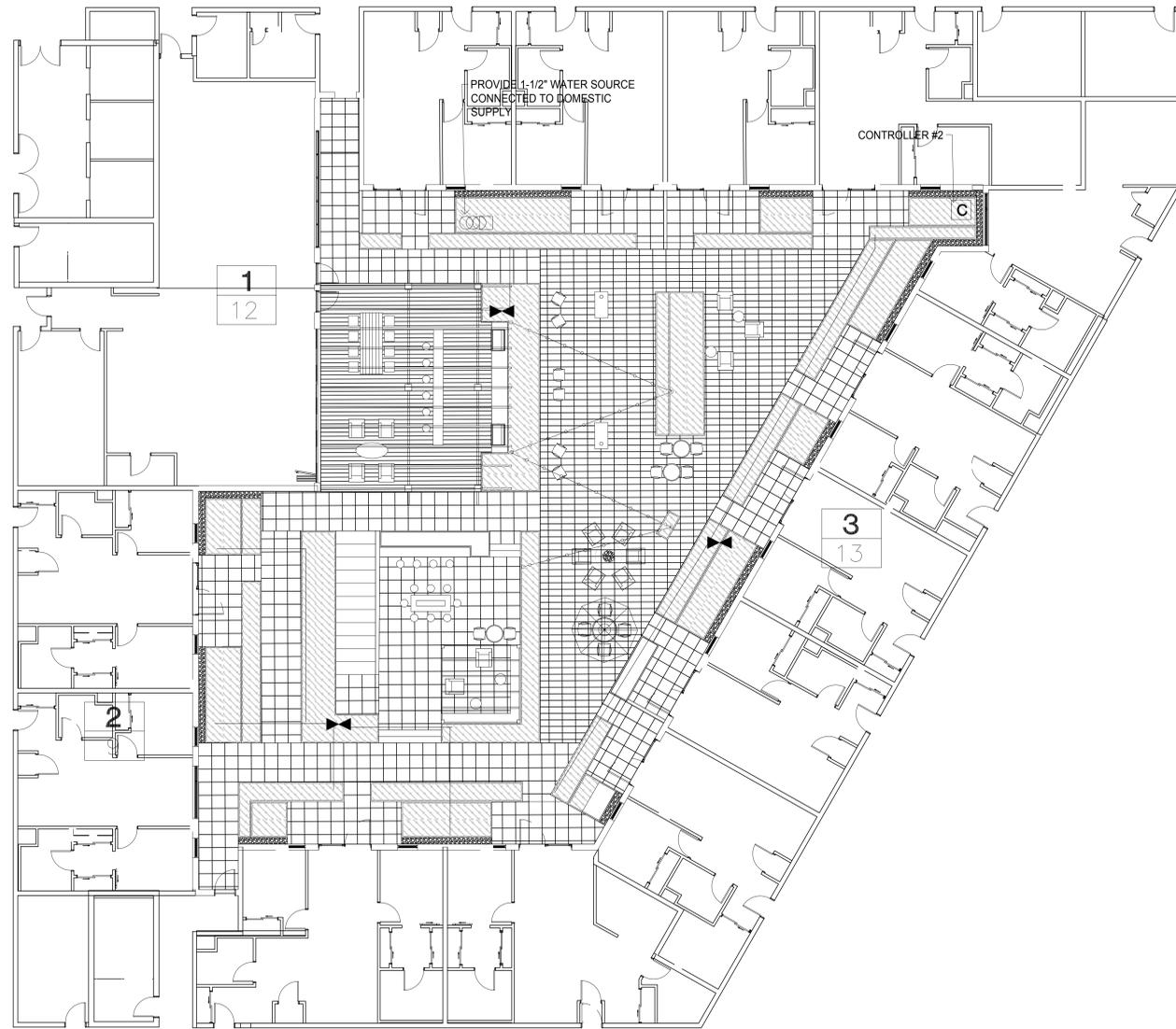
PROJECT NUMBER 2023-02IVISTA

DESCRIPTION  
IRRIGATION PLAN -  
SITE LEVEL

SHEET NUMBER

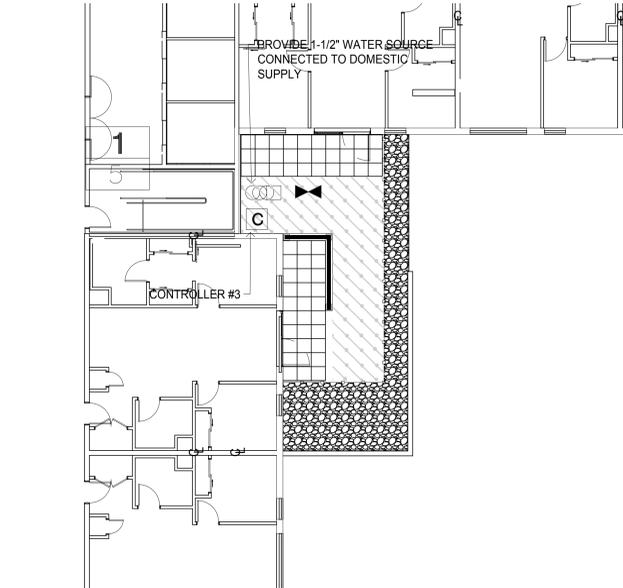
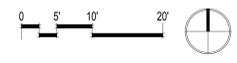
**L6.01**

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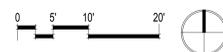


SYMBOL	DESCRIPTION	PSI	RADIUS	G.P.M.
○	RAINBIRD RD06-S-P30-F - U15F	30	15'	3.70
○	RAINBIRD RD06-S-P30-F - U15H	30	15'	1.85
○	RAINBIRD RD06-S-P30-F - U15Q	30	15'	0.92
○	RAINBIRD RD06-S-P30-F - HE-VAN-15	30	15'	2.78
○	RAINBIRD RD06-S-P30-F - HE-VAN-15	30	15'	0.93
○	RAINBIRD RD06-S-P30-F - U12F	30	12'	2.60
○	RAINBIRD RD06-S-P30-F - U12H	30	12'	1.30
○	RAINBIRD RD06-S-P30-F - U12Q	30	12'	0.65
○	RAINBIRD RD06-S-P30-F - HE-VAN-12	30	12'	1.77
○	RAINBIRD RD06-S-P30-F - HE-VAN-12	30	12'	0.59
○	RAINBIRD RD06-S-P30-F - U10F	30	10'	1.64
○	RAINBIRD RD06-S-P30-F - U10H	30	10'	0.82
○	RAINBIRD RD06-S-P30-F - U10Q	30	10'	0.41
○	RAINBIRD RD06-S-P30-F - HE-VAN-10	30	10'	1.34
○	RAINBIRD RD06-S-P30-F - HE-VAN-10	30	10'	0.45
○	RAINBIRD RD06-S-P30-F - U8F	30	8'	1.05
○	RAINBIRD RD06-S-P30-F - U8H	30	8'	0.52
○	RAINBIRD RD06-S-P30-F - U8Q	30	8'	0.26
○	RAINBIRD RD06-S-P30-F - HE-VAN-8	30	8'	0.88
○	RAINBIRD RD06-S-P30-F - HE-VAN-8	30	8'	0.29
○	RAINBIRD RD06-S-P30-F - MPR-5H	30	6'	0.30
○	RAINBIRD RD06-S-P30-F - MPR-5Q	30	6'	0.15
▨	RAINBIRD XFS-P-09-12-100 - SUB-SURFACE DRIPLINE	40		.9 GPH
▨	RAINBIRD XQF1012100 - 1" DRIPLINE HEADER			
○	RAINBIRD ARV050 - 1/2" AIR RELIEF VALVE			
○	RAINBIRD OPERIND - DRIP SYSTEM OPERATION INDICATOR. INSTALL ONE AT EACH ZONE			
CONTROLLER - ZONE NUMBER				
ZONE GPM				
C	CONTROLLER: 1 ON-GRADE	RAINBIRD ESP8LXME - 8 STATION CONTROLLER, WALL MOUNT	RAINBIRD IQ-CLOUD V3.0 - MODULAR CENTRAL CONTROL SYSTEM WITH CELLULAR CONNECTION	RAINBIRD IQ FSCM-LXME FLOW SMART CONNECTION MODULE
		RAINBIRD WR2-RFC RAIN + FREEZE SENSOR		
	CONTROLLER: 2 LEVEL 2 COURTYARD	RAINBIRD ESP8LXME - 8 STATION CONTROLLER, WALL MOUNT	RAINBIRD IQ-CLOUD V3.0 - MODULAR CENTRAL CONTROL SYSTEM WITH CELLULAR CONNECTION	RAINBIRD IQ FSCM-LXME FLOW SMART CONNECTION MODULE
		RAINBIRD WR2-RFC RAIN + FREEZE SENSOR		
	CONTROLLER: 3 ROOF	RAINBIRD ESP8LXME - 8 STATION CONTROLLER, WALL MOUNT	RAINBIRD IQ-CLOUD V3.0 - MODULAR CENTRAL CONTROL SYSTEM WITH CELLULAR CONNECTION	RAINBIRD IQ FSCM-LXME FLOW SMART CONNECTION MODULE
		RAINBIRD WR2-RFC RAIN + FREEZE SENSOR		
⊗	RAINBIRD 200-PESB, 2" REMOTE CONTROL VALVE			
⊗	RAINBIRD XCZ-100-PESB, 1" VALVE WITH BASKET FILTER			
○	RAINBIRD 44 NP - 1" QUICK COUPLING VALVE. PROVIDE ONE AT EACH CLUSTER OF VALVES			
○	2" FEBCO DOUBLE CHECK VALVE - PROVIDE ONE AT COURTYARD LEVEL CONNECTED TO DOMESTIC SYSTEM			
•	THREADED COPPER STUB (OR APPROVED EQUAL), COORDINATE WITH PLUMBING			
---	SCHEDULE 40 PVC 2" MAINLINE.			
---	CLASS 200 PVC LATERAL LINE (SEE PIPE SIZING TABLE THIS SHEET)			
---	SCHEDULE 40 PVC SLEEVING (TWICE THE SIZE OF INTERIOR PIPE, MIN. 2" DIA.)			

1 IRRIGATION PLAN - LEVEL 3  
1"=10'-0"



2 IRRIGATION PLAN - LEVEL 4  
1"=10'-0"



PROJECT NAME

**iVista@Alderwood**

18799 ALDERWOOD MALL  
PARKWAY  
LYNNWOOD, WA  
98037

OWNER NAME

**ALDERWOOD INVESTMENTS LLC**

18799 ALDERWOOD MALL  
PARKWAY

**Brumbaugh & Associates**

**Landscape Architecture**  
600 North 85th Street, Suite 102  
Seattle, WA 98103-3826  
Telephone 206 782 2650  
Facsimile 206 782 2675



SCALE AS SHOWN

PROJECT NUMBER 2023-021VISTA

DESCRIPTION  
IRRIGATION PLAN - LEVELS 3 AND 4

SHEET NUMBER

**L6.02**

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**Electrical Consultants, Inc.**  
19015 36th Avenue West, Suite E  
Lynnwood, Washington 98036  
Phone (425) 775-1799 FAX (425) 774-9870

PROJECT NAME

**IVISTA  
ALDERWOOD**

18799 ALDERWOOD MALL  
PARKWAY  
LYNNWOOD, WA  
98037

OWNER NAME

**ALDERWOOD  
INVESTMENTS LLC**

18799 ALDERWOOD MALL  
PARKWAY

LIGHTING FIXTURE SCHEDULE					
TYPE	DESCRIPTION	LAMPS	MOUNTING	MANUFACTURER	VA
<b>EXTERIOR BUILDING LIGHTING</b>					
X1	DOWNLIGHT, RECESSED, WET LISTED	LED 4000 LUMENS 8000K	BUILDING OVERHANG, RECESSED	COOPER LIGHTING SOLUTIONS LOAD ERAB BULB	41.6W
X2	SCONCE, DECORATIVE, OUTDOOR, WITH DOWNLIGHT WIDE MODULE	LED 1294 LUMENS, 3000K	WALL MOUNTED	Betalcalco Sentinel II	18W
X3	BOLLARD, BUG RATING: 80-UG-1, 31.5" HEIGHT, 360 DEGREE LIGHT EMISSION, ROUND, WET LISTED, IP65	LED 565 LUMENS, 3000K	GROUND ANCHOR	DESIGNPLAN MATITA ROUND	13W
X4	SCONCE, UTILITY, UV RESISTANT POLYCARBONATE MATERIAL, U745C RATED, FULL CUTOFF.	LED 1607 LUMENS, 3000K	WALL MOUNTED	BROWNLIE LIGHTING SHORE [CUTOFF]	12W
X5	WALL PACK, PARKING GARAGE ENTRY, BUG RATING: B2-UD-G0, MEDIUM HOUSING	LED 3995 LUMENS, 3000K	WALL MOUNTED	COOPER LIGHTING SOLUTIONS LUMARK KTOR CROSSTOUR LED	38W
X6	FESTOON STRING LIGHTS, WARM WHITE V6 "FILAMENT", 1 FOOT BULB SPACING	LED 21.1 LUMENS/BULB 2200K	GROUND ANCHOR TO CANOPY MOUNT	FIREFLY FESTOON FIFESV6120V2	0.5W/BULB (109W)
X7	BUILDING FAÇADE STRING LIGHTING, 84 LUMENS PER FOOT (210 FEET REQUIRED).	LED 12621 LUMENS, 3000K (VARIABLE)	SOUTH AND WEST ROOF OVERHANG	LUMINI LIGHT FLEX INCON SURFACE MOUNT	5.7W/FOOT (1197W)

Lynnwood Municipality Code (LMC) 21.17  
Lighting Zone: LZ-3 Planned Regional Shopping Center (PRC).

21.17.080 Nonresidential Lighting.  
Method used - Prescriptive Method, Hardscape: 5.0 Lumens per SF.  
Total hardscape SF: 29757 SF.

A.1. Total Site Lumen Limit: Determined by Hardscape Method: 155,285 Lumens  
(Hardscape method - Table 21.17.04)

Lumens allowed	Total Hardscape Area	Total Lumens Allowed
5.0 LUMENS	31057 SF	155,285

**Total Allowed Site Lumens = 155,285**

A.2. Limits to Off-Site Impacts. All luminaires shall be rated and installed according to Tables 21.17.05 through 21.17.07.

Table 21.17.05 Backlight rating  
Zone LZ-3 B5 - Greater than 2 mounting heights from property line.  
B4 - 1 to less than 2 mounting heights from property line.  
B3 - 0.5 to 1 mounting heights from property line.  
B1 - Less than 0.5 mounting heights from property line.

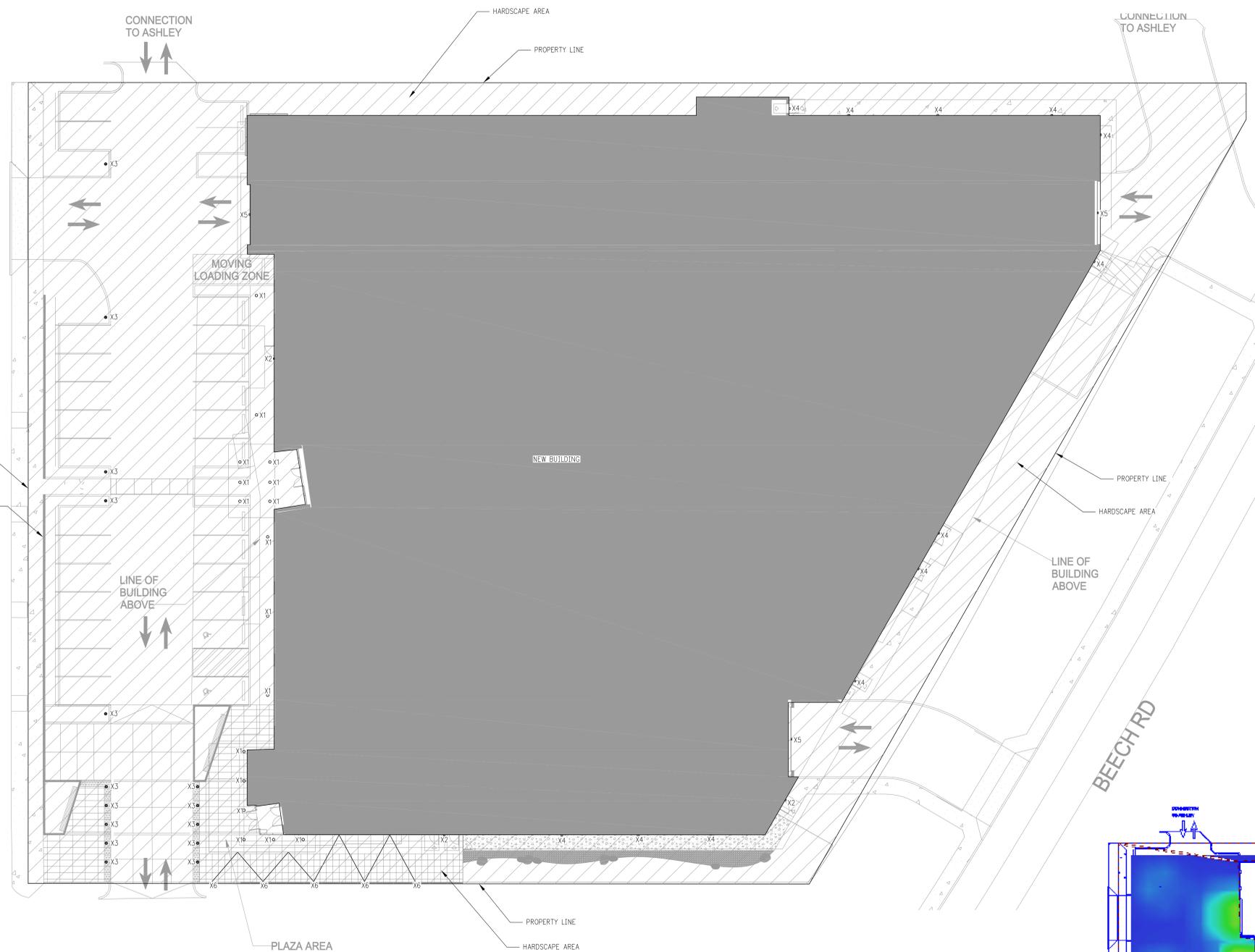
Table 21.17.06 - Max allowed Uplight rating  
Zone LZ-3 U3 - 0% allowed light emission above 90 degrees for area lighting.

Table 21.17.07 - Max allowed Glare rating  
Zone LZ-3 G3 - Allowed Glare Rating  
G1 - Not ideally oriented with 1 to less than 2 mounting heights from property line.  
G1 - Not ideally oriented with 0.5 to 1 mounting heights from property line.  
G0 - Not ideally oriented with less than 0.5 mounting heights to property line.

A.3. All parking lot lighting shall have no light emitted above 90 degrees.

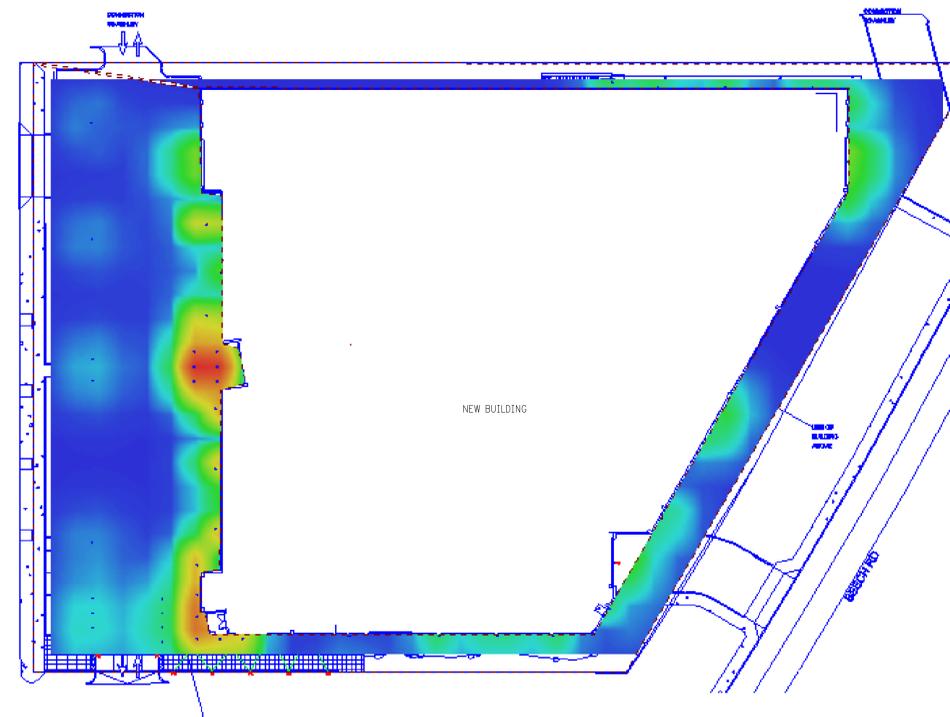
LUMENS WORKSHEET				
MARK	AMOUNT	TYPE	LUMENS EACH	TOTAL LUMENS
X1	17	FIXTURE	5000	85000
X2	3	FIXTURE	1294	3882
X3	15	FIXTURE	565	8475
X4	12	FIXTURE	1327	15924
X5	3	FIXTURE	3995	11985
X6	218	BULBS @ 1 FT SPACING	21.1	4600
X7	210	LENGTH IN FEET	60.1	12621

TOTAL SITE LUMENS: 142,487



**SITE LIGHTING PLAN**

SCALE: 1/16" = 1'-0"



**LIGHT LEVEL ILLUSTRATION**

SCALE: NOT TO SCALE



SCALE AS SHOWN

PROJECT NUMBER 23.301

TRUE NORTH



DESCRIPTION  
SITE PLAN

SHEET NUMBER

**PH1.0**

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**Electrical Consultants, Inc.**  
19015 36th Avenue West, Suite E  
Lynnwood, Washington 98036  
Phone (425) 775-1799 FAX (425) 774-9870

PROJECT NAME

**IVISTA  
ALDERWOOD**

18799 ALDERWOOD MALL  
PARKWAY  
LYNNWOOD, WA  
98037

OWNER NAME

**ALDERWOOD  
INVESTMENTS LLC**

18799 ALDERWOOD MALL  
PARKWAY

Project	IVISTA	Catalog #		Type	F1
Prepared by		Notes		Date	



**Portfolio**  
**LD8B ER8B 8LB**  
8" Narrow, Medium, or Wide  
New Construction Downlight  
1,000-20,000 Lumens

**Typical Applications**  
Office • Education • Healthcare • Hospitality

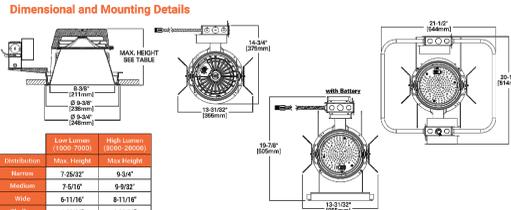
**Interactive Menu**

- Order Information page 2
- Product Specifications page 4
- Energy Data page 5
- Photometric Data page 6
- Connected Systems page 8
- Product Warranty

**Top Product Features**

- 1,000 to 20,000 lumens; Offered in 80, 90 and 97 CRI; narrow beam, medium beam and wide beam distributions
- Two stage reflector system produces smooth beam; Color variation within 3-step MacAdam ellipses
- Flexible disconnect for easy LED engine replacement and installation
- 2400K, 2700K, 3000K, 3500K, 4000K, 4500K, 5000K, 5200K options from 3000K to 1850K
- W2N tunable white CCT range 2700K to 6500K or 2000K to 5000K
- Options to meet Buy American and other domestic preference requirements

**Dimensional and Mounting Details**



Construction	Max. Height	Max. Height
Narrow	7.25" (185mm)	9.5" (241mm)
Medium	7.5" (190mm)	9.5" (241mm)
Wide	6.11" (156mm)	8.11" (206mm)
Shallow	4.26" (108mm)	6.26" (159mm)

**COOPER**  
Lighting Solutions

**Product Certification**



**Product Features**



Project Name	SENTINEL II™	Catalog #	F2
Figure Code		Quantity	



betacalco.com | +1 416-931-9942 | sales@betacalco.com  
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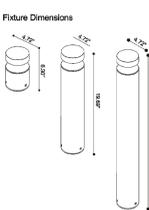
Project Name	MATITA ROUND	Catalog #	F3
Figure Code		Quantity	

**TECHNICAL DATA**

Wattage / Input	13W
Power Supply	Integral 120/277VAC
Dimming	0-10V Dimming (Non-dim available on request)
Construction	Head/Conical Reflectors: Die-Cast Aluminum Poles: Extruded Aluminum Lens: Transparent Tempered Glass
CCT	3000K, 4000K
CRI	>80
Delivered Lumens	565 lm (White Reflector - 3000K) 438 lm (Black Reflector - 3000K)
Efficacy	66.5 lm/W (White Reflector - 3000K) 43.8 lm/W (Black Reflector - 3000K)
Optics	360° Diffused - Downward
BUG Rating	80-US-G1
LED Source	Mid Power LED
Finishes	White, Sand, Graphite, Aluminum (see page 2)
Reflector Finishes	White, Black
Fixture Dimensions	Ø4.72" x 6.3"; 19.7" or 31.5" h
IP Rating	IP65



**Fixture Dimensions**



**ORDERING INFORMATION**  
Example: D9003 100-3000K 1 - White - 6.3" height 2 - White

Model No.	CCT	Reflector Finish	Finish	US
D9003	100 - 3000K	1 - White - 6.3" height	2 - White	US
D9003	200 - 4000K	6 - Black - 6.3" height	3 - Sand	US
		3 - White - 19.7" height	4 - Graphite	
		7 - Black - 19.7" height	5 - Aluminum	
		5 - White - 31.5" height	8 - Cor-ten	
		8 - Black - 31.5" height		

Job Name/Date: \_\_\_\_\_ Fixture Type Designator: \_\_\_\_\_

sales@designplan.com 79 Trenton Avenue, Frenchtown NJ 08825 P: 908-996-7710  
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Published: December 21, 2022 1 of 2

Project Name	SHORE [CUTOFF]	Catalog #	F4
Figure Code		Quantity	

**STANDARD SPECIFICATIONS**

**HOUSING**  
The coastal Friendly series features one piece, injection molded construction from high quality UV resistant polycarbonate material. The housing is suitable for exposure to water in accordance to UL, NAC and is attached to the mounting plate using stainless steel screws. Full cut-off design.

**HOUSING PLATE**  
The plate is built from the same quality polycarbonate material as the housing, and all internal components are fastened using stainless steel hardware.

**DIFFUSER**  
UV resistant white or clear acrylic bonded to the housing.

**LED PERFORMANCE - 3500K STANDARD**  
120-277V - 3500K, 50 CRI, LED rating: 60,000 hrs - L70 rating (projected) - 100,000 hrs  
Amperage rated @ 110V input  
Operating ambient temperature: 20°C (-4°F) - 50°C / 122°F

Delivered 3500K lumens noted. Consult Brownlee.com for performance of all CCTs.  
80V - 6V nominal, 0.5A input, 1.1A output, 0-10V dimming.  
812 - 12V nominal, 10.4A input, 1007 lm, Dimmable (0-10V)

**HOUSING PLATE**  
The 7317 must be positioned downwards (downlight only) and mounts directly to a joist (by others). Mounting hardware included.

**FINISH**  
The 7317 is standard in a white finish. Select Brownlee paint finishes are also available as an option.

**WARRANTY**  
3-year limited warranty on this LED product. Consult factory for details.

**ORDERING INFORMATION**

Model	2	3	4	5	6 (if required)
2. FINISH	STANDARD	3. WATTAGE	4. DIFFUSER	5. COLOR TEMPERATURE	6. AVAILABLE OPTIONS
WH	White	806 812	8W B Series LED 12W B Series LED	WHA CLA	White Acrylic Clear Acrylic
BL	Black			25K 27K 30K 40K	3500K standard color temperature 2700K color temperature 3000K color temperature 4000K color temperature
BR	Bronze			BAC <sup>1</sup>	Buy American Compliant
CR	Cream			DTR <sup>1</sup>	Trac (Line Voltage) Dimming (120V/812 only)
GM	Gun Metal			ES <sup>1</sup>	ENERGY STAR <sup>2</sup>
MB	Matte Bronze			FC <sup>1</sup>	French Canadian Labels
NT	Nickel Tone			PO1	Photo Control (120V)
PL	Platinum			PO2	Photo Control (277V)
				T20 <sup>1</sup>	Title 24(A) Compliant (812 in 3000K only)

**COOPER**  
Lighting Solutions



**PROJECT:**  
MODEL #: \_\_\_\_\_  
FIXTURE TYPE: F4

**COASTAL FRIENDLY**

**Dimensions:**  
7" x 4" x 1.5"

**DESCRIPTION**  
The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour™ impervious to contaminants. The Crosstour™ luminaire is ideal for well-lit, inverted mount for landscape illumination, port/hallway, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

**CONSTRUCTION**  
Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 20W. The medium housing is available in the 30W model. Patented secure size hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three half-inch, NPT threaded optical entry points. The universal back box supports both the small and medium forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 8" wide pole for site lighting application. Not recommended for car wash applications.

**OPTICAL**  
Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes infrared resistant tempered glass and meets IESNA requirements for full cutoff compliance. Available in seven lumen packages; 900K, 400K and 300K CCT.

**ELECTRICAL**  
LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W, 20W and 30W series operate in -40°C to 40°C (-40°F to 104°F). High ambient 50°C models available. Crosstour™ luminaires maintain greater than 85% of initial light output after 75,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for three branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver is standard 0-10V dimming, 100-277V 50/60Hz or 347V 60Hz models.

**FINISH**  
Crosstour™ is protected with a Super durable TIG Carbon bronze or sunburst white polyester powder coat paint. Super durable TIG powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life. Options to meet Buy American and other domestic preference requirements.

**WARRANTY**  
Five-year warranty.

**APPLICATIONS:**  
WALL / SURFACE  
POST / BOLLARD  
LOW LEVEL  
FLOODLIGHT  
INVERTED  
SITE LIGHTING

**CERTIFICATION DATA**  
Can We Approve? (RoHS, REACH, RoHS, and 300K CCT only)  
UL Listed, Wet Location Listed  
LARA (L800 Compliant)  
NEMA Compliant  
ADA Compliant  
NEMA Compliant  
IP65 Ingress Protection Rated  
Title 24 Compliant  
DesignLight Consortium® Qualified<sup>3</sup>

**TECHNICAL DATA**  
0°C Minimum Ambient Temperature  
External Gully Wiring 50°C Minimum

**EPA:**  
Effective Projected Area (50% Pl):  
XTOR18, XTOR20, XTOR20-34  
EPA Compliant

**SHIPPING DATA:**  
Approximate Net Weight:  
3.7 - 4.2 lbs. (1.7 - 2.4 kg)

**COOPER**  
Lighting Solutions

Project Name	Lumark	Catalog #	F5
Figure Code		Quantity	

**DESCRIPTION**  
The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour™ impervious to contaminants. The Crosstour™ luminaire is ideal for well-lit, inverted mount for landscape illumination, port/hallway, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

**CONSTRUCTION**  
Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 20W. The medium housing is available in the 30W model. Patented secure size hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three half-inch, NPT threaded optical entry points. The universal back box supports both the small and medium forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 8" wide pole for site lighting application. Not recommended for car wash applications.

**OPTICAL**  
Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes infrared resistant tempered glass and meets IESNA requirements for full cutoff compliance. Available in seven lumen packages; 900K, 400K and 300K CCT.

**ELECTRICAL**  
LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W, 20W and 30W series operate in -40°C to 40°C (-40°F to 104°F). High ambient 50°C models available. Crosstour™ luminaires maintain greater than 85% of initial light output after 75,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for three branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver is standard 0-10V dimming, 100-277V 50/60Hz or 347V 60Hz models.

**FINISH**  
Crosstour™ is protected with a Super durable TIG Carbon bronze or sunburst white polyester powder coat paint. Super durable TIG powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life. Options to meet Buy American and other domestic preference requirements.

**WARRANTY**  
Five-year warranty.

**APPLICATIONS:**  
WALL / SURFACE  
POST / BOLLARD  
LOW LEVEL  
FLOODLIGHT  
INVERTED  
SITE LIGHTING

**CERTIFICATION DATA**  
Can We Approve? (RoHS, REACH, RoHS, and 300K CCT only)  
UL Listed, Wet Location Listed  
LARA (L800 Compliant)  
NEMA Compliant  
ADA Compliant  
NEMA Compliant  
IP65 Ingress Protection Rated  
Title 24 Compliant  
DesignLight Consortium® Qualified<sup>3</sup>

**TECHNICAL DATA**  
0°C Minimum Ambient Temperature  
External Gully Wiring 50°C Minimum

**EPA:**  
Effective Projected Area (50% Pl):  
XTOR18, XTOR20, XTOR20-34  
EPA Compliant

**SHIPPING DATA:**  
Approximate Net Weight:  
3.7 - 4.2 lbs. (1.7 - 2.4 kg)

**COOPER**  
Lighting Solutions

**DESCRIPTION**  
The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour™ impervious to contaminants. The Crosstour™ luminaire is ideal for well-lit, inverted mount for landscape illumination, port/hallway, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

**CONSTRUCTION**  
Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 20W. The medium housing is available in the 30W model. Patented secure size hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three half-inch, NPT threaded optical entry points. The universal back box supports both the small and medium forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 8" wide pole for site lighting application. Not recommended for car wash applications.

**OPTICAL**  
Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes infrared resistant tempered glass and meets IESNA requirements for full cutoff compliance. Available in seven lumen packages; 900K, 400K and 300K CCT.

**ELECTRICAL**  
LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W, 20W and 30W series operate in -40°C to 40°C (-40°F to 104°F). High ambient 50°C models available. Crosstour™ luminaires maintain greater than 85% of initial light output after 75,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for three branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver is standard 0-10V dimming, 100-277V 50/60Hz or 347V 60Hz models.

**FINISH**  
Crosstour™ is protected with a Super durable TIG Carbon bronze or sunburst white polyester powder coat paint. Super durable TIG powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life. Options to meet Buy American and other domestic preference requirements.

**WARRANTY**  
Five-year warranty.

**APPLICATIONS:**  
WALL / SURFACE  
POST / BOLLARD  
LOW LEVEL  
FLOODLIGHT  
INVERTED  
SITE LIGHTING

**CERTIFICATION DATA**  
Can We Approve? (RoHS, REACH, RoHS, and 300K CCT only)  
UL Listed, Wet Location Listed  
LARA (L800 Compliant)  
NEMA Compliant  
ADA Compliant  
NEMA Compliant  
IP65 Ingress Protection Rated  
Title 24 Compliant  
DesignLight Consortium® Qualified<sup>3</sup>

**TECHNICAL DATA**  
0°C Minimum Ambient Temperature  
External Gully Wiring 50°C Minimum

**EPA:**  
Effective Projected Area (50% Pl):  
XTOR18, XTOR20, XTOR20-34  
EPA Compliant

**SHIPPING DATA:**  
Approximate Net Weight:  
3.7 - 4.2 lbs. (1.7 - 2.4 kg)

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Lighting Solutions




PROFESSIONAL GRADE DECORATIVE LED LAMPS



**Low voltage 'green' LED system with shatterproof outdoor-rated bulbs**

- Clear V6 and V12 "Filament" versions provide beautiful, warm, vintage look
- Classic look without the headaches
- Shatterproof polycarbonate globes
- IP65-rated for outdoor installations
- Frosted version in warm and cool white, plus a selection of rich, deep colors
- 24 Volts - Safe for public areas
- 120V ETL Listed "Filament" lamps available! [V6 and V12]
- Lasts for years!

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**COOPER**  
Lighting Solutions



SCALE AS SHOWN

PROJECT NUMBER 23.301

TRUE NORTH

SHEET NUMBER

DESCRIPTION LIGHTING CUT SHEETS

PH1.1

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