

GARDEN SENIOR VILLAGE

6425 196TH ST. SW.
LYNNWOOD, WA 98036

GENERAL CONDITIONS

- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD AND NOTIFY ARCHITECT IF CONDITIONS ARE NOT AS REPRESENTED ON DRAWINGS
- OWNER, ARCHITECT, AND CONTRACTOR TO HAVE REPRESENTATION AT ALL PRE-CONSTRUCTION MEETINGS
- GENERAL CONTRACTOR TO ORGANIZE SUB-CONTRACTOR COORDINATION MEETING WITH ARCHITECT PRIOR TO SUB'S WORK ON SITE
- ALL PARTIES (OWNER, ARCHITECT, CONTRACTOR) TO BE INCLUDED IN COMMUNICATION DURING CONSTRUCTION
- MAINTAIN FIRE RESISTANCE AND SOUND CONTROL VALUES AT ALL PERIMETER EDGES OF WALLS IN CONTACT WITH FLOORS, COLUMNS, BEAMS, ETC.
- ALL INSULATION MATERIALS INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALLS, CRAWL SPACES OR ATTICS SHALL HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723
- ALL CONSTRUCTION TO BE PLUMB, LEVEL AND SQUARE
- SEE STRUCTURAL, CIVIL, LANDSCAPE, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL NOTES AND SYMBOLS.
- EACH CONTRACTOR IS RESPONSIBLE TO REVIEW THE MECHANICAL AND ELECTRICAL DRAWINGS FOR CUTTING AND PATCHING WORK BEYOND THE LIMITS OF THE PROJECT SHOWN ON THE ARCHITECTURAL DRAWINGS.
- EACH CONTRACTOR SHALL CONSULT PLANS OF ALL TRADES FOR ALL OPENINGS FOR DUCTS, PIPES, CONDUIT, CABINETS AND EQUIPMENT AND SHALL VERIFY SIZE AND LOCATION.
- EACH CONTRACTOR SHALL VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT FURNISHED AND INSTALLED BY HIMSELF OR OTHERS.
- ALL CONTRACTOR FURNISHED ITEMS SHALL BE SUPPLIED WITH REQUIRED MECHANICAL AND ELECTRICAL SERVICES TO PROVIDE OPERATION OF ITEMS FURNISHED.
- ALL RECESSED ELECTRICAL PANELS AND CABINETS AND OTHER RECESSED CABINETS SHALL BE BACKED WITH GYPSUM WALL BOARD TO MAINTAIN THE FIRE RESISTIVE RATING OF THE PARTITION IN WHICH THE UNIT IS INSTALLED.
- REFER TO SPECIFICATIONS FOR ACCESS DOORS AND CONSULT WITH MECHANICAL CONTRACTOR FOR EXACT LOCATIONS FOR ACCESS REQUIRED BY THEIR WORK. ACCESS MUST BE PROVIDED FOR ALL CONCEALED VALVES, DAMPER CONTROLS AND FIRE DAMPER LINKAGE. OBTAIN ARCHITECT'S APPROVAL IN LOCATING ACCESS DOORS.
- ROOM FINISH SCHEDULE SHALL NOT BE TAKEN AS COMPLETE SPECIFICATION FOR ALL INTERIOR ROOM MATERIALS; HOWEVER, IT SHALL BE BINDING TO THE EXTENT OF THE MATERIAL IT DOES SPECIFY. THE CONTRACTOR SHALL CHECK THE SCHEDULE WITH THE SPECIFICATIONS AND DRAWINGS FOR OTHER MATERIALS NOT COVERED BY THE SCHEDULE.
- ROOM AND DOOR NUMBERS SHOWN ON DRAWINGS ARE FOR CONSTRUCTION PURPOSES ONLY.
- AT METAL STUD PARTITIONS, STUDS ARE TO EXTEND TO UNDERSIDE OF STRUCTURE, WHERE THEY CANNOT DO SO, DUE TO INTERFERENCES WITH DUCTS, PIPING, ETC., PROVIDE BRACING TO STRUCTURE ABOVE TO PROVIDE FOR EQUIVALENT SUPPORT OF PARTITION.
- THE CARPENTRY CONTRACTOR SHALL BUILD IN ALL ROUGH BUCKS FOR GRILLES, REGISTERS, ETC. WHERE REQUIRED.
- ALL PIPING, CONDUIT, DUCTS, ETC. SHALL BE FURRED-IN AT ALL FINISHED ROOMS.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL HAVE A PRESERVATIVE TREATMENT.
- PLACE NO MAINS, PIPING, CONDUIT OR OBSTRUCTIONS OF ANY KIND SO AS TO IMPAIR GIVEN CEILING HEIGHTS AND CLEARANCES.
- PROVIDE BLOCKING/BACKING FOR WALL HUNG CABINETS, FIXTURES OR EQUIPMENT.
- ALL SURFACE ATTACHED LADDERS USED ONLY TO ATTEND EQUIPMENT SHALL COMPLY WITH O.S.H.A. REGULATIONS.
- REMOVE EXISTING FLOORING WHERE NEW FLOORING IS SCHEDULED.
- WHERE EXISTING WORK IS DAMAGED, CUT OR DEFACED AS A RESULT OF PERFORMANCE OF NEW WORK, THE CONTRACTOR IS TO PATCH AND REPAIR SAME TO MATCH ADJOINING SURFACES. REPAIRED FINISHES SHALL BE EXTENDED TO THE NEAREST VISUAL BREAK LINES SUCH AS CORNERS, CEILING LINES, TOP OF BASE, ETC.
- WHERE ITEMS ARE NOTED TO BE REMOVED, IT SHALL MEAN THE COMPLETE REMOVAL OF THE WORK INDICATED AND THE ASSOCIATED PATCHING AND REPAIRING TO MATCH ADJOINING WORK.
- DIMENSIONS, IN GENERAL, ARE:
 - AT INTERIOR WALLS CENTER OF STUD TO CENTER OF STUD.
 - AT CONCRETE WALLS TO THE FACE OF CONCRETE.
 - AT MASONRY WALLS TO THE FACE OF MASONRY (NOMINAL).
 - AT EXISTING FINISHES TO THE FACE OF FINISH.
 - COLUMNS TO COLUMN CENTERLINE OR COLUMN CENTERLINE TO FACE OF STUD.
 - EXTERIOR WALLS ARE FACE OF STUD TO FACE OF STUD FOR WOOD/METAL CONSTRUCTION
- ALL DOORS NOT LOCATED BY DIMENSIONS ON PLANS OR DETAILS SHALL BE FOUR AND A HALF INCHES(4 1/2") FROM THE FACE OF INTERSECTING WALL TO EDGE OF DOOR OPENING.
- DOOR IDENTIFICATION NUMBER:
 - EXISTING DOORS ARE NUMBERED SEPARATELY AND ARE DESIGNATED BY "E".
- DRAWINGS ARE FOR VISUAL COMMUNICATION ONLY. WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS. FOR CONFIRMATION ON DIMENSIONS CONTACT THE ARCHITECT.
- BUILDING SHALL BE AIR-BARRIER TESTED IN ACCORDANCE WITH ASTM E779 OR APPROVED EQUIVALENT.
- DURING THE COURSE OF WORKING, IF ARTIFACTS OR HUMAN REMAINS ARE DISCOVERED ON SITE, ALL WORK MUST STOP AND JURISDICTION MUST BE CONTACTED.

PROJECT INFORMATION

THIS PROPOSAL EXPANDS THE EXISTING GARDEN SENIOR VILLAGE FACILITY TO ALLOW THE EXISTING FACILITY TO RECEIVE BADLY NEEDED REPAIRS TO THE EXISTING PLUMBING SYSTEM. THE NEW ADDITION PROPOSES 36 NEW UNITS IN AN ATTACHED STRUCTURE WHICH HAS BEEN DESIGNED TO MATCH THE EXISTING STRUCTURE IN LOOK AND MATERIAL. THE PROJECT UTILIZES A NEW STORMWATER MANAGEMENT SYSTEM BUT KEEPS THE EXISTING SYSTEM IN PLACE. 8 TREES ARE PROPOSED TO BE REMOVED FOR THE ADDITION AND THE REQUIRED WIDENING OF THE FIRE ACCESS ROAD.

THE NEW ADDITION WILL UTILIZE THE EXISTING SYSTEMS FOR WATER, HEATING AND ENERGY TO THE LARGEST EXTENT POSSIBLE AND WILL SUBSTITUTE THESE SYSTEMS IN THE SAME WAY AS THE EXISTING STRUCTURE, BY USING THE ROOF OFR SCREENING.

PARCEL #: 27041700401400, 27041700401800
 LEGAL DESCRIPTION: SEC 17 TWP 27 RGE 04 RT-34E) W3/5 OF E1/2 SE1/4 SW1/4 SE1/4 LESS ST HWY VOL 260309 (EXEMPT PER ST OF WA REG #12837-001)
 SEC 17 TWP 27 RGE 04 RT-34C-1A) N 105.25FT OF E1/5 SE1/4 SW 1/4 SE1/4 LESS E 30FT (EXEMPT PER ST OF WA REG #12837-001)

SECTION TOWNSHIP RANGE: SE 17-27-04
 JURISDICTION: CITY OF LYNNWOOD
 ZONING: NC - NEIGHBORHOOD COMMERCIAL

OCCUPANCY CLASS: R-2
 TYPE OF CONSTRUCTION: V-A
 SPRINKLERED: YES NFPA 13

SITE AREA SF/ acre: 3.16 ACRES (137,650 SF)

BUILDING FOOTPRINT SF:
 EXISTING 28,520 SF
 ADDITION 22,370 SF
 6,150 SF
 GROSS BUILDING AREA SF:
 88,325 SF EXISTING
 24,600 SF ADDITION

PROJECT VALUATION: VALUATION HERE

SEE CODE DATA SHEETS FOR BUILDING CODE ANALYSIS AS IT APPLIES TO THIS PROJECT

SEE SITE PLAN FOR MUNICIPAL CODE ANALYSIS AS IT APPLIES TO THIS PROJECT

VICINITY MAP

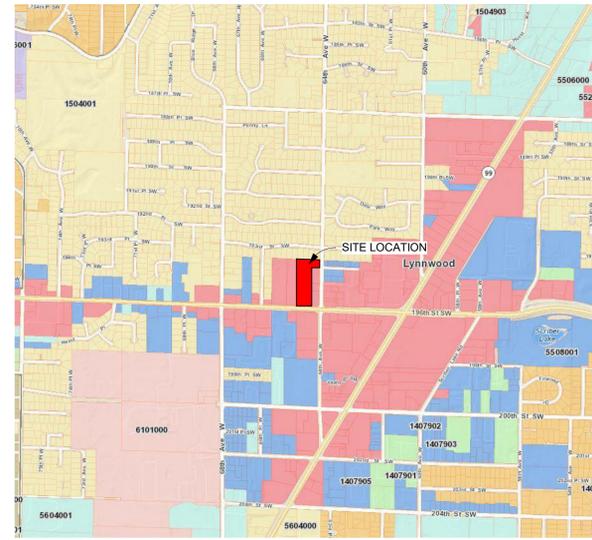


IMAGE COURTESY OF: SNOHOMISH COUNTY S.C.O.P.I. DATE: 1/27/2022



SHEET LIST

| GENERAL | |
|--------------|-------------------------------|
| G0.00 | COVERSHEET |
| G2.00 | ZONING - SITE REQUIREMENTS |
| CIVIL | |
| C1.0 | COVER SHEET |
| C2.0 | EXISTING CONDITIONS |
| C3.0 | TESC |
| C4.0 | TESC DETAILS |
| C5.0 | DRAINAGE PLAN |
| C6.0 | DRAINAGE DETAILS |
| C7.0 | UTILITIES PLAN |
| C8.0 | UTILITIES DETAILS |
| LANDSCAPE | |
| L1 | LANDSCAPE PLAN |
| ARCHITECTURE | |
| A1.00 | SITE PLAN |
| A2.20 | NORTH ADDITION - GROUND LEVEL |
| A2.21 | NORTH ADDITION - UPPER LEVELS |
| A2.23 | ELEVATIONS |
| A6.00 | SECTIONS |

PROJECT TEAM

| | |
|---|--|
| OWNER NORTHWEST HOUSING PRESERVATION GROUP 958 WALNUT STREET LYNNWOOD, WA 98020 JIM MORINO | OWNERS REPRESENTATION GSG GROUP INC. 190 West Dayton, Suite 204. Edmonds, WA 98020 GREG MUMMY 425-771-9349 greg@gsggroup.net |
| ARCHITECT Gabbert Architects Planners 20011 Ballinger Way NE #211 Shoreline, WA, 98144 MIKE GARRETT T: 206.367.3600 mike.g@gabbertarchitects.com | STRUCTURAL I.L. GROSS STRUCTURAL ENG. 23914 56th Ave W Mountlake Terrace, WA 98043 ROBYN MAH 425-649-7333 rmah@lgross.com |
| MEP ROBISON ENGINEERING 19401 40th Ave W UNIT 302 Lynnwood, WA 98036 JON ROBISON 206-364-3343 jrobison@robisonengineering.com | CIVIL HARBERT ENGINEERS 4620 200 th St. SW, Suite B Lynnwood, WA 98036 LISA HARBERT 206-371-3079 lisaharbert@outlook.com |

APPLICABLE CODES

CONSTRUCTION OF THIS PROJECT AND ASSOCIATED DRAWINGS PROVIDED FOR THE CONSTRUCTION BY CONSULTANTS OF THE ARCHITECT OR CONTRACTOR SHALL COMPLY WITH THE FOLLOWING CODES:

2018 IEBC
 2018 IBC
 ASCE7-10, 2009 ICC A117.1,
 CH. 51-50 WAC,
 2018 IFG
 2015 NFPA13, 2015 NFPA72,
 2018 IMC, 2018 UPC, 2018 WSEC
 LYNNWOOD MUNICIPAL CODE

CALL 2 BUSINESS DAYS
 BEFORE YOU DIG
 1-800-424-5555

RELATED PERMITS

CUP-94-0012 CONDITIONAL USE: AFFORDABLE SENIOR HOUSING
 PRE-009989-2022 PRE-APPLICATION

REVISION SCHEDULE

NUMBER DESCRIPTION DATE

GARDEN SENIOR VILLAGE
 6425 196TH ST. SW.
 LYNNWOOD, WA 98036

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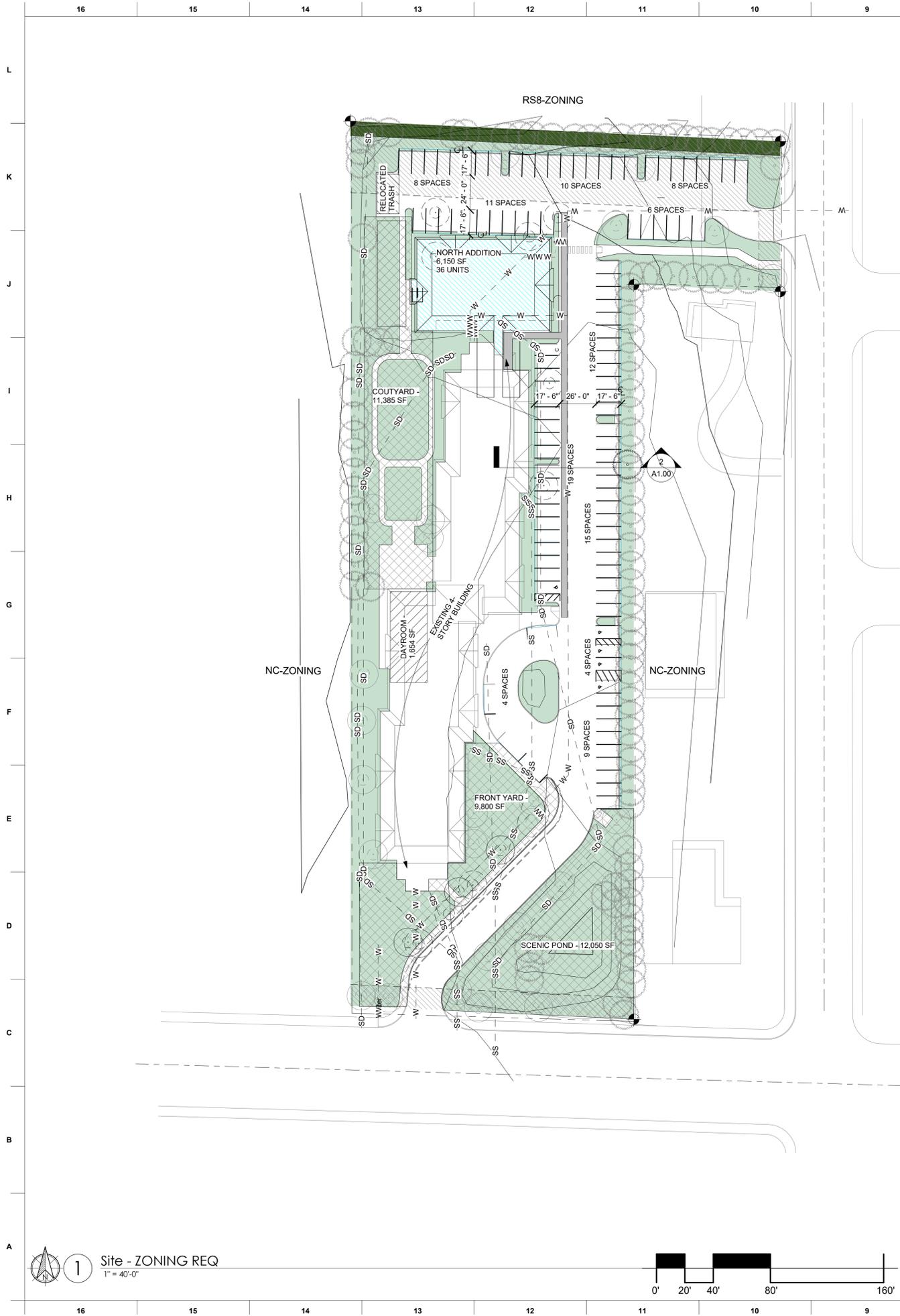


PROJ. NO:
 21018
 FEASIBILITY

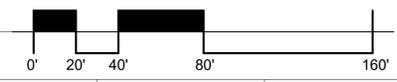
DRAWN BY: Author
 CHECKED BY: Checker
 PROJ. ISS. DATE: 9/2/2021
 SCALE: 1/4" = 1'-0"

COVERSHEET

G0.00



1 Site - ZONING REQ
1" = 40'-0"



ZONING PLAN LEGEND

- dg LYNNWOOD CITYWIDE DESIGN GUIDELINES
- PROPERTY LINE (WITH CORNER)
- CURB
- BUILDING SETBACKS
- RECREATION / OPEN SPACE
- INTERIOR RECREATION
- LANDSCAPING / NOT HARDSCAPE
- MEDIUM LANDSCAPE BUFFER
- PROPOSED ADDITION

LYNNWOOD MUNICIPAL CODE

PROJECT ZONING: NC - NEIGHBORHOOD COMMERCIAL
CURRENT USE: SENIOR HOUSING (INSTITUTIONAL PER TABLE 21.46.04)
PROPOSED USE: SENIOR LIVING (INSTITUTIONAL PER TABLE 21.46.04)
USE PERMITTED OUTRIGHT

THIS IS AN INDEPENDENT LIVING COMMUNITY AS DEFINED BY LMC 21.02.659 SENIOR HOUSING

21.08 LANDSCAPING
21.08.300 GENERAL LANDSCAPING STANDARDS
TOTAL LANDSCAPING PROVIDED IS 55,705 SQ. FT. SEE LANDSCAPE SHEETS FOR NEW INSTALLED LANDSCAPE STANDARDS

21.08.350 PARKING LOT LANDSCAPING
ADDED PARKING HAS BEEN PROVIDED WITH LANDSCAPE ISLANDS THAT MEET THE REQUIREMENTS FOR THIS SECTION

21.08.400 BUFFER AREA LANDSCAPING STANDARDS
THERE IS AN EXISTING 10-FOOT BUFFER FOR THE RS-ZONING TO THE NORTH. SEE LANDSCAPE SHEETS FOR COMPLIANCE

21.12 NONCONFORMING USES AND STRUCTURES
21.12.400 NONCONFORMING STRUCTURES AND OR SITES OCCUPIED BY A CONFORMING USE
C. THIS PROPOSAL MEETS THE REQUIREMENTS FOR A LEVEL 3 IMPROVEMENT (INCREASES THE NUMBER OF DWELLING UNITS ON SITE). IN AN EFFORT TO KEEP A UNIFORM AND CONSISTENT DEVELOPMENT THAT WILL ENHANCE THE NEIGHBORHOOD AND PROVIDE THE NEEDED HOUSING. THIS SECTION IS ADDRESSED IN THE DEVELOPMENT AGREEMENT

21.18 OFF-STREET PARKING
21.18.800 CAPACITY REQUIREMENTS
TABLE 21.18.08 - INDEPENDANT LIVING REQUIRES 1 PER 2 LIVING UNITS

| REQUIRED PARKING | | | | |
|------------------|------------|-------------------|-----------------|------------------|
| PARKING USE | # OF UNITS | PARKING REQUIRED | SPACES REQUIRED | PARKING PROVIDED |
| 1-BED | 129 | 1.5 PER DWELLING | 156.25 | 56 |
| 2-BED | 29 | 1.75 PER DWELLING | 43.5 | 50 |
| | 158 | | 199.75 | 106 |

WE UNDERSTAND THE CITY OF LYNNWOOD'S REQUIREMENT FOR PARKING FOR SENIOR HOUSING APARTMENTS. HOWEVER, OUR INTERNAL PARKING AND TRAFFIC STUDIES SHOW THAT THIS FACILITY NEEDS PARKING MORE IN LINE WITH 1 SPACE PER 2 UNITS. THIS DESIGN PROVIDES A RATION OF 0.67 SPACES PER UNIT - WHICH IS 2 SPACES PER 3 UNITS.

PARKING IS ADDRESSED IN THE DEVELOPMENT AGREEMENT AS IT PERTAINS TO THIS PROJECT AND SITE

21.46 COMMERCIAL ZONES
21.46.100 PERMITTED USES AND STRUCTURES
THIS USE IS PERMITTED ACCORDING TO THIS SECTION (TABLE 21.46.04)

21.46.116 LIMITATIONS ON USES - RESIDENTIAL
MULTI-FAMILY DWELLINGS SHALL PROVIDE A MINIMUM OF 40 SF OF ONSITE RECREATION AREA PER DWELLING
158 x 46sf = 6,320
OUR DESIGN PROVIDES FOR 1,654 SQ. FT. OF INDOOR DAYROOM MEETING THE MIN 12' REQUIREMENTS, AND THE REST OF THE REQUIRED SPACE IS EXTERIOR - 33,905 SF

| DEVELOPMENT STANDARDS | | |
|---|---------------------------|---------------------------|
| STANDARD | D.S. REQ | D.S. PROV |
| FRONT SETBACK | 15- FEET | 82- FEET |
| SIDE SETBACK | 0- FEET | 21- FEET |
| REAR SETBACK | 50- FEET | 76.25- FEET |
| LOT COVERAGE | 35% | 20.7% |
| LOT ARE PER UNIT | 1000 SF | 871.2 SF |
| HEIGHT | 35- FEET | 41- FEET |
| PARKING | VARIES PER UNIT | SEE PARKING CALC SCHEDULE |
| RECREATION / OPEN SPACE (LMC 21.43.110) | 200 SF / UNIT (31,600 sf) | 34,889 SF |
| LANDSCAPING | SEE LMC 21.08 | |

21.46.210 ADDITIONAL DEVELOPMENT STANDARDS
A. PARKING - SEE 21.18 ABOVE

21.46.230 OTHER TRANSITIONAL REQUIREMENTS
THE ZONING TO THE NORTH OF THE DEVELOPMENT IS RS8 (SINGLE FAMILY) THE MINIMUM REAR YARD SETBACK IS 50 FEET

21.46.900 OTHER REGULATIONS
A. REFUSE AND RECYCLING
THE TRASH ENCLOSURE IS TO BE RELOCATED. THE NEW LOCATION MEETS THE REQUIRED SETBACK OF 25- FEET FROM THE RS-ZONING TO THE NORTH.
D. THE PROPOSAL HAS ACCOMMODATIONS FOR THE SURFACE WATER. PLEASE SEE CIVIL PLANS AND REPORTS
E. ELIMINATION OF NON-CONFORMING USES
EXISTING USE IS CONFORMING - NOT APPLICABLE

| TOTAL UNITS | | |
|----------------|-----------|-------|
| BUILDING | Name | Count |
| EXISTING | 1-BEDROOM | 109 |
| EXISTING | 2 BEDROOM | 13 |
| NORTH ADDITION | 1-BEDROOM | 20 |
| NORTH ADDITION | 2 BEDROOM | 16 |
| Grand total | | 158 |

LMC 21.43.110(H)
OPEN RECREATIONAL SPACE
REQUIRED: 200SF PER UNIT
158 UNITS X 200 SF/UNIT = 31,600 SF

PROVIDED:
DAYROOM: 1,654 SF
SCENIC POND: 12,050 SF
FRONT YARD: 9,800 SF
COURTYARD: 11,385 SF
TOTAL: 34,889 SF

PERMIT APPROVAL STAMPS

REVISION SCHEDULE

| NUMBER | DESCRIPTION | DATE |
|--------|-------------|------|
| | | |

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GARDEN SENIOR VILLAGE
6425 186TH ST. SW
LYNNWOOD, WA 98036

PROJ. NO: 21018
FEASIBILITY

DRAWN BY: Author
CHECKED BY: Checker
ISSUE DATE: 9/2/2021
SCALE: As Indicated

ZONING - SITE REQUIREMENTS
G2.00

3/9/2023 11:19:54 AM

PRIVATE DEVELOPER GENERAL NOTES

- 1. ALL WORK AND MATERIALS SHALL BE ACCORDING TO THE LATEST ADDITION OF "STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION" (STANDARD SPECIFICATIONS) PREPARED BY WASHINGTON STATE CHAPTER, AMERICAN PUBLIC WORKS ASSOCIATION (APWA).

TESC STANDARD NOTES

- 1. APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).

FIRE GENERAL NOTES

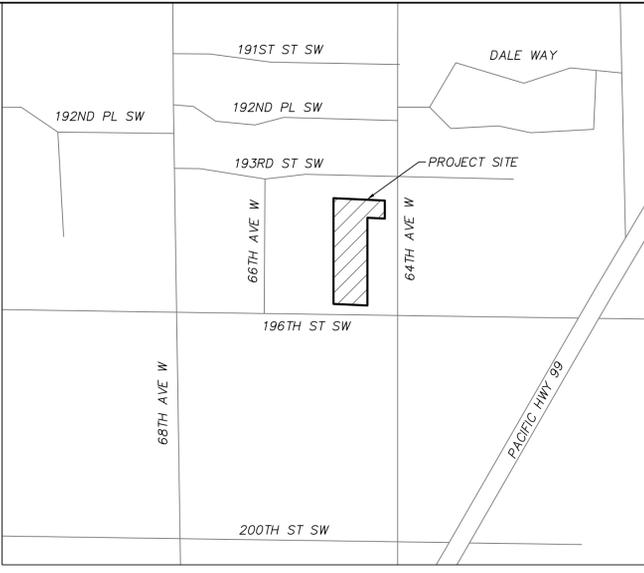
- 1. FIRE DEPARTMENT CONNECTIONS (REFERENCE STANDARD DETAIL F-4) A. SHALL BE INSTALLED READING FROM THE BUILDING TO THE CURB OR AS APPROVED BY THE FIRE CODE OFFICIAL.

SEWER STANDARD NOTES CONTD

- 12. DECOMMISSIONING SEPTIC SYSTEMS SHALL INCLUDE THE EXISTING SEPTIC MOUND SYSTEM, SEPTIC TANKS, ELECTRICAL PUMPS, AND PIPES PER SPOKHOUSH COUNTY, AND WASHINGTON STATE BUILDING REQUIREMENTS.

TEMPORARY TRENCH PATCHING NOTES

- 1. IF TRENCH WORK IS COMPLETED IN A SINGLE DAY, IT MUST BE BACKFILLED AND SURFACE RESTORED PER APPLICABLE UTILITY PLAN UNLESS APPROVED BY CITY PUBLIC WORKS.



VICINITY MAP SCALE: 1" = 500'

PROJECT INFORMATION

PARCEL NUMBERS: 2704170040100, 27041700401800 ADDRESS: 6425 196TH ST SW, LYNNWOOD, WA 98036

BENCHMARK

ON THE TOP OF THE SE ANCHOR BOLT OF THE TRAFFIC LIGHT STANDARD AT THE NW CORNER OF THE INTERSECTION OF 196TH STREET SW AND 64TH AVENUE W, CITY OF LYNNWOOD BENCHMARK, BM 75.

PROJECT TEAM

OWNER: ROTARY CLUB OF LYNNWOOD SERVICE CLUB OF LYNNWOOD 5430 138TH PL SW EDMONDS, WA 98026

STANDARD GRADING NOTES

- 1. GRADING SHALL NOT RESULT IN ANY ADDITIONAL WATER RUNOFF TO ADJOINING PROPERTY. IF ADDITIONAL WATER RUNOFF DOES RESULT, THE APPLICANT WILL SUBMIT A PLAN OF CORRECTIVE ACTION FOR THE CITY OF LYNNWOOD (CITY) APPROVAL AND WILL COMMENCE WITH THAT ACTION IMMEDIATELY UPON NOTICE FROM THE CITY.

STORM DRAINAGE NOTES

- 1. REFER TO THE LATEST EDITION OF THE STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON (SWMWM) DEVELOPMENT REQUIREMENTS.

SEWER STANDARD NOTES

- 1. ALL SANITARY SEWER PIPE, MATERIALS, AND MANHOLES SHALL CONFORM WITH CURRENT APPLICABLE AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) STANDARDS AND SPECIFICATIONS.

WATER STANDARD NOTES

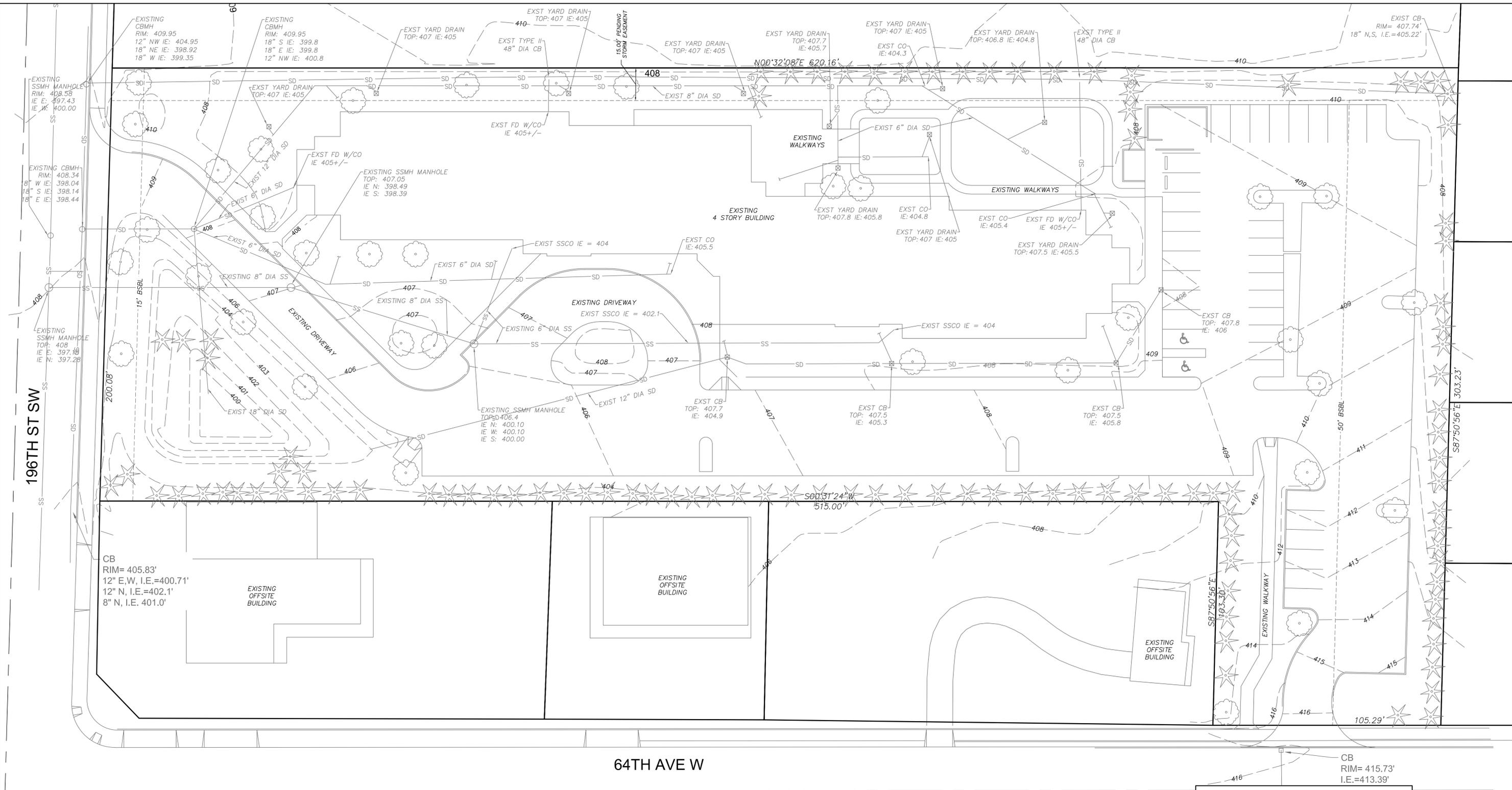
- 1. ALL WATER MAINS SHALL BE PRESSURE TESTED AND DISINFECTED IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION (STANDARD SPECIFICATIONS), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 24 AND THE CITY OF LYNNWOOD (CITY) REQUIREMENTS.

Project sheet header containing fields for NO., REVISIONS, DATE, License/Seal, and project title GARDEN SENIOR VILLAGE ADDITION COVER SHEET. Includes logos for the City of Lynnwood and Harbert Engineers.

HARBERT ENGINEERS 4620 200TH ST. SW, SUITE B LYNNWOOD, WA 98036 PHONE: (206) 371-3079 LISAHARBERT@OUTLOOK.COM

GARDEN SENIOR VILLAGE ADDITION COVER SHEET 6425 196TH ST SW LYNNWOOD, WA 98036

DATE: 3/1/2023 SCALE: NTS DRAWN BY: CB CHECKED BY: LH COVER SHEET C1.0

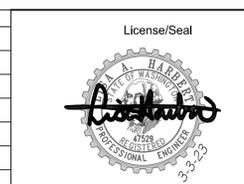


196TH ST SW

64TH AVE W



| NO. | REVISIONS | DATE |
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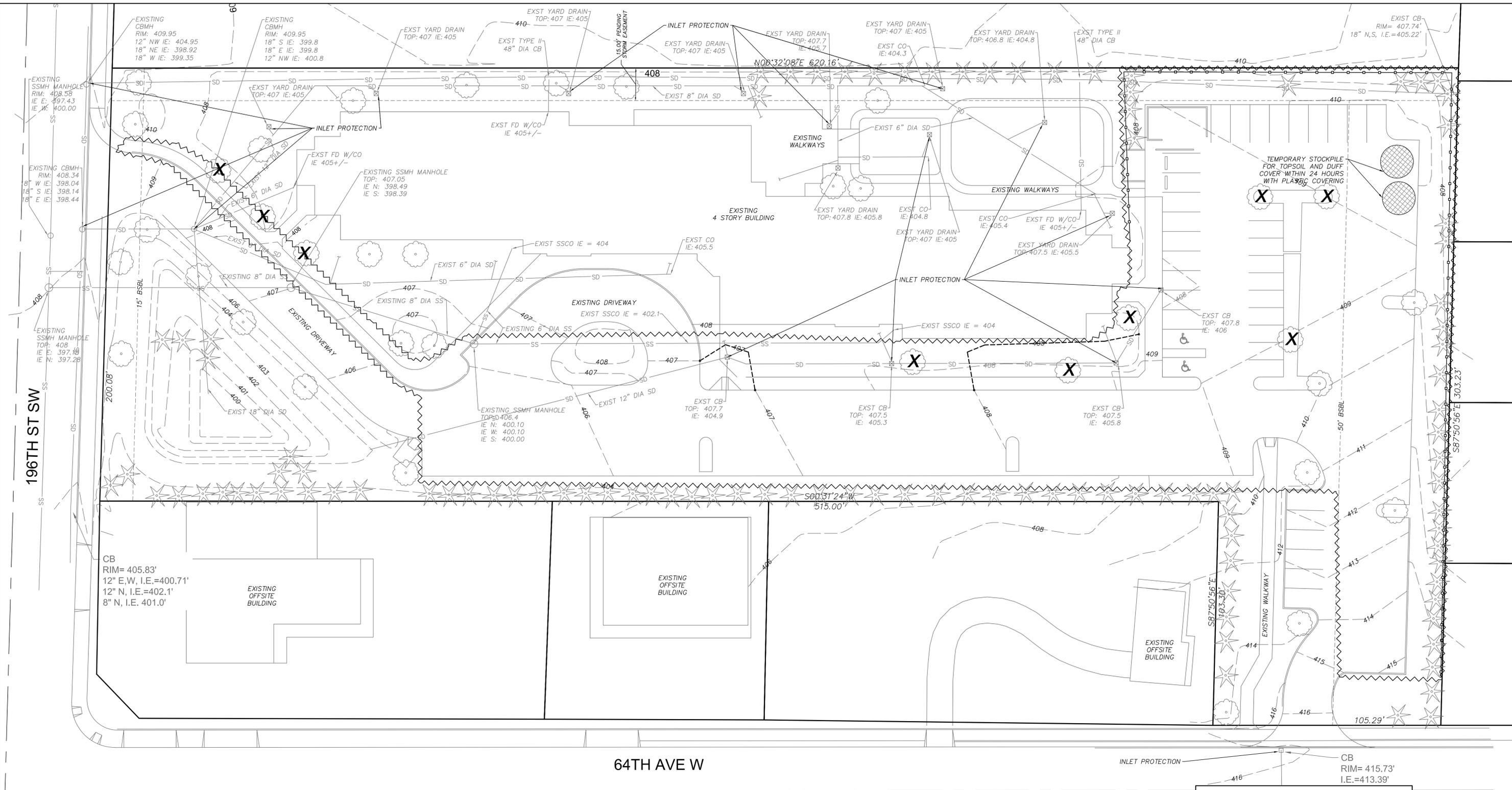


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 LYNNWOOD, WA 98036
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 LISAHARBERT@OUTLOOK.COM

GARDEN SENIOR VILLAGE ADDITION
 EXISTING CONDITIONS
 6425 196TH ST SW
 LYNNWOOD, WA 98036

DATE: 3/1/2023
 SCALE: 1"=20'
 DRAWN BY: CB
 CHECKED BY: LH

EXISTING CONDITIONS
C2.0

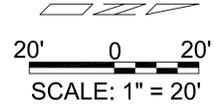


196TH ST SW

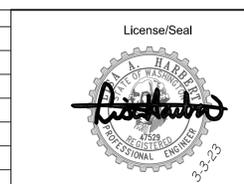
64TH AVE W

- LEGEND:**
- : PLASTIC COVERING
 - : SILT FENCE
 - : LIMITS OF SITE DISTURBANCE

A FULL STAGED CONSTRUCTION SEQUENCING PLAN/TESC WILL BE DETERMINED IN THE NEXT SUBMITTAL.



| NO. | REVISIONS | DATE |
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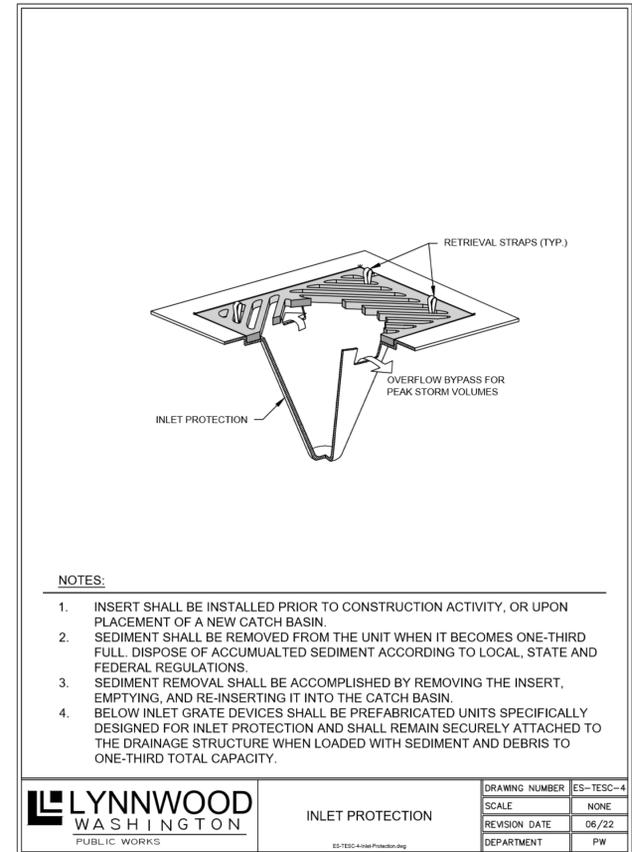
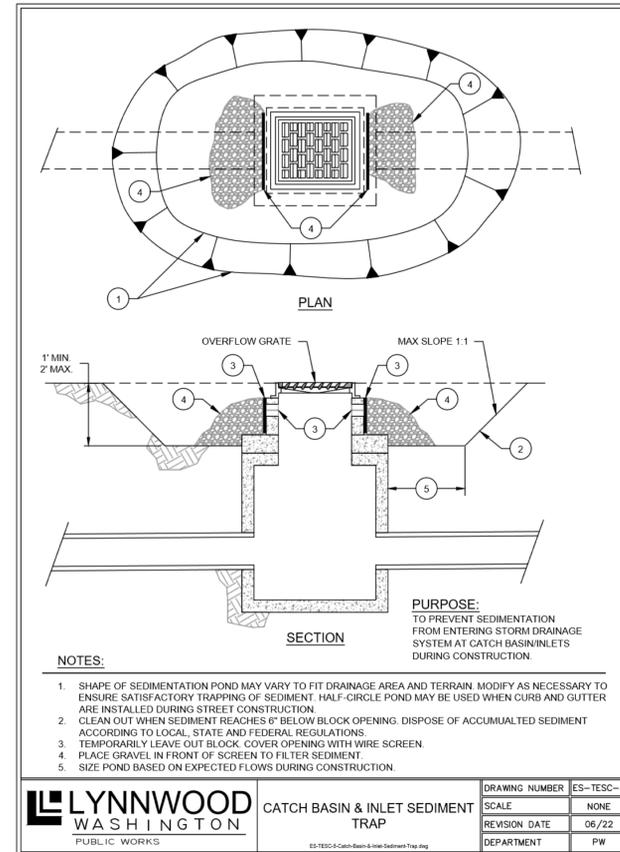
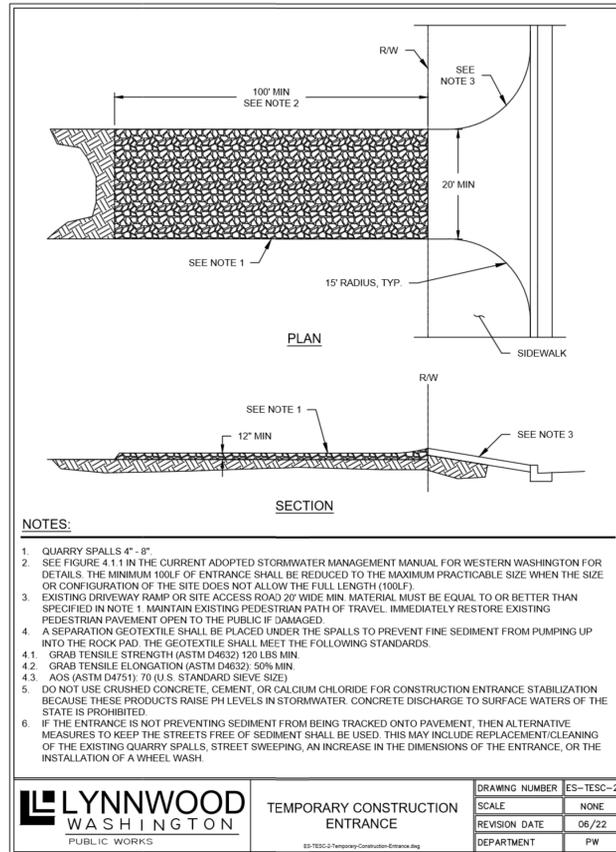
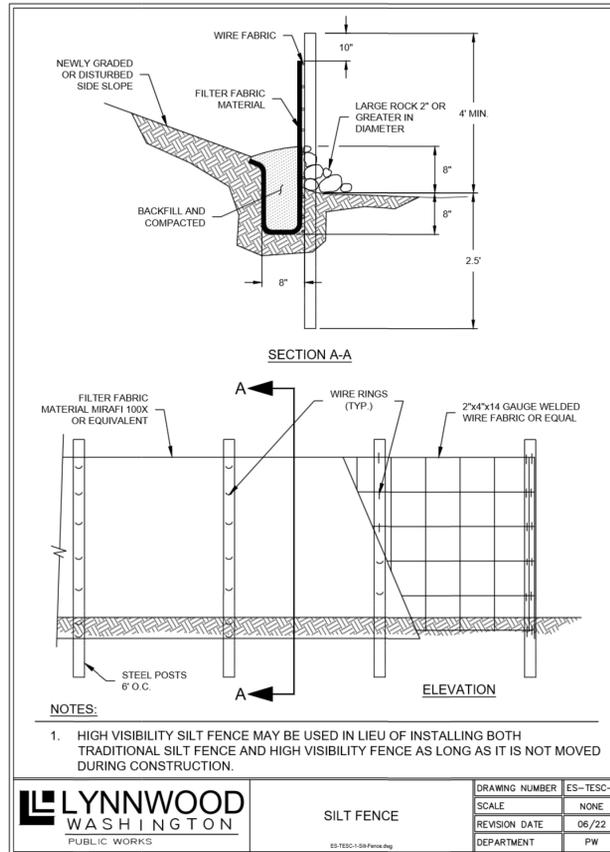


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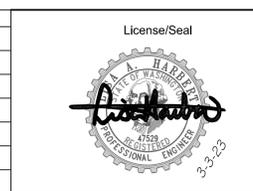
GARDEN SENIOR VILLAGE ADDITION
 TESC PLAN
 6425 196TH ST SW
 LYNNWOOD, WA 98036

DATE: 1/10/2023
 SCALE: 1"=20'
 DRAWN BY: CB
 CHECKED BY: LH

TESC PLAN
C3.0



| NO. | REVISIONS | DATE |
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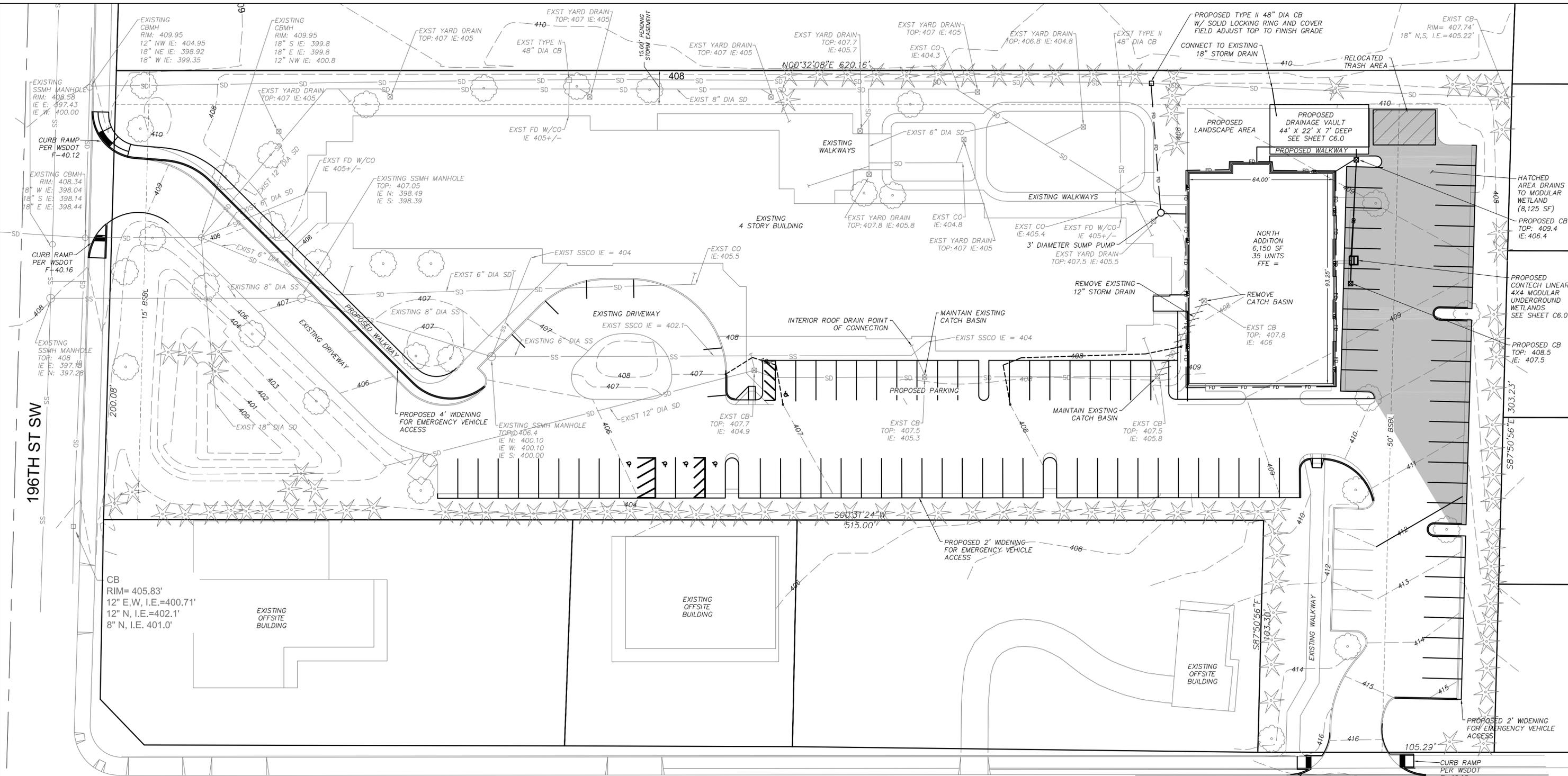
HARBERT ENGINEERS
 4620 200TH ST. SW, SUITE B
 LYNNWOOD, WA 98036
 PHONE: (206) 371-3079
 LISAHARBERT@OUTLOOK.COM

LYNNWOOD WASHINGTON
 PUBLIC WORKS

GARDEN SENIOR VILLAGE ADDITION
 TESC DETAILS
 6425 196TH ST SW
 LYNNWOOD, WA 98036

DATE: 3/1/2023
 SCALE: NTS
 DRAWN BY: CB
 CHECKED BY: LH

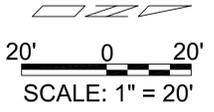
TESC DETAILS
C4.0



196TH ST SW

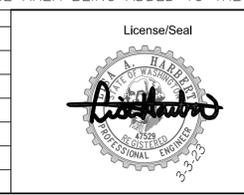
64TH AVE W

- DRAINAGE NOTES:**
1. THE 6,377 SF PROPOSED ROOF WILL DRAIN TO THE DETENTION VAULT.
 2. THE PROPOSED WALKWAY (1,744 SF) AND MUCH OF THE PROPOSED WIDENED PARKING (5,937 SF) WILL DRAIN TO THE EXISTING STORM WATER POND.
 3. AN 8,125 SF AREA OF EXISTING POLLUTION GENERATING IMPERVIOUS SURFACE WILL BE RE-ROUTED AWAY FROM THE EXISTING STORM WATER POND AND TO THE PROPOSED MODULAR WETLAND AND DETENTION VAULT. THE IMPERVIOUS SURFACE AREA REMOVED FROM THE EXISTING POND IS GREATER THAN THE IMPERVIOUS SURFACE AREA BEING ADDED TO THE EXISTING POND.



| IMPERVIOUS AREA | |
|----------------------------|------------------|
| LOT AREA: | 137,650 SF |
| PROPOSED BUILDING ROOF: | 6,377 SF |
| PROPOSED PARKING: | 5,937 SF |
| PROPOSED WALKWAY: | 1,744 SF |
| EXISTING BUILDING: | 22,362 SF |
| EXISTING PARKING: | 37,185 SF |
| EXISTING WALKWAYS: | 6,217 SF |
| TOTAL IMPERVIOUS: | 79,822 SF |
| PERCENT IMPERVIOUS: | 58.0% |

| NO. | REVISIONS | DATE |
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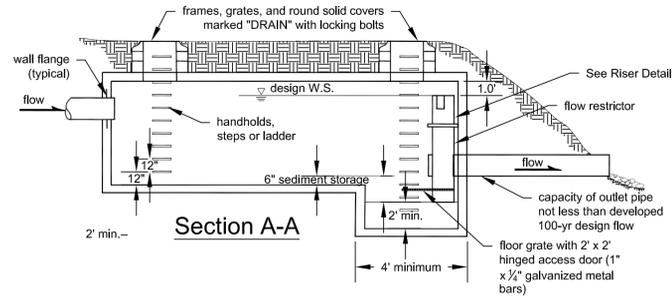
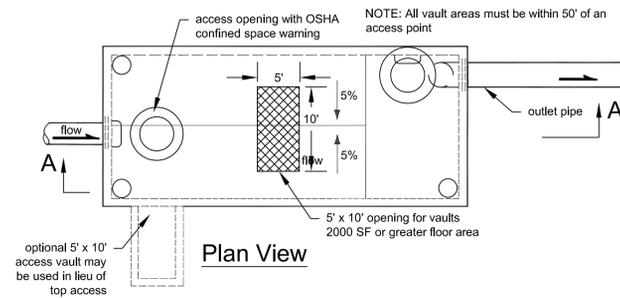


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GARDEN SENIOR VILLAGE ADDITION
 DRAINAGE PLAN
 6425 196TH ST SW
 LYNNWOOD, WA 98036

DATE: 3/1/2023
 SCALE: 1"=20'
 DRAWN BY: CB
 CHECKED BY: LH

DRAINAGE PLAN
C5.0



- Notes:
1. All metal parts must be corrosion resistant. Steel parts must be galvanized and asphalt coated (Treatment 1 or better).
 2. Provide water stop at all cast-in-place construction joints. Precast vaults shall have approved rubber gasket system.
 3. Vaults $\leq 10'$ wide must use removable lids.
 4. Prefabricated vault sections may require structural modifications to support 5' x 10' opening over main vault. Alternatively, access can be provided via a side vestibule as shown.

DETENTION VAULT
NTS

| SITE SPECIFIC DATA | | | |
|--|------------------|---------------|-----------|
| PROJECT NUMBER | | | |
| PROJECT NAME | | | |
| PROJECT LOCATION | | | |
| STRUCTURE ID | | | |
| TREATMENT REQUIRED | FLOW BASED (CFS) | | |
| | 0.052 | | |
| PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE | OFFLINE | | |
| PIPE DATA | I.E. | MATERIAL | DIAMETER |
| INLET PIPE 1 | | | |
| INLET PIPE 2 | N/A | N/A | N/A |
| OUTLET PIPE | | | |
| | PRETREATMENT | BIOFILTRATION | DISCHARGE |
| RIM ELEVATION | | | |
| SURFACE LOAD | DIRECT TRAFFIC | | |
| NOTES: | | | |

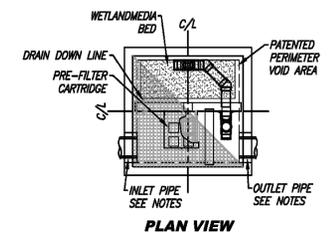
* PRELIMINARY NOT FOR CONSTRUCTION

INSTALLATION NOTES

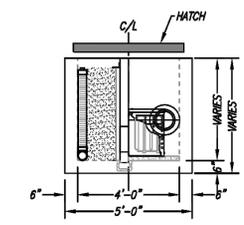
1. CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURER'S CONTRACT.
2. UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PROJECT ENGINEER'S RECOMMENDED BASE SPECIFICATIONS.
3. CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE (PIPES CANNOT INTRUDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL PIPES SHALL BE SEALED WATERTIGHT PER MANUFACTURER'S STANDARD CONNECTION DETAIL.
4. CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL PIPES, RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO USE GROUT AND/OR BRICKS TO MATCH COVERS WITH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.
5. VEGETATION SUPPLIED AND INSTALLED BY OTHERS. ALL UNITS WITH VEGETATION MUST HAVE DRIP OR SPRAY IRRIGATION SUPPLIED AND INSTALLED BY OTHERS.
6. CONTRACTOR RESPONSIBLE FOR CONTACTING CONTECH FOR ACTIVATION OF UNIT. MANUFACTURER'S WARRANTY IS VOID WITHOUT PROPER ACTIVATION BY A CONTECH REPRESENTATIVE.

GENERAL NOTES

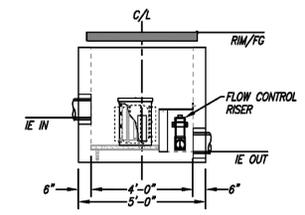
1. MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT CONTECH.



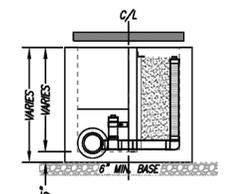
PLAN VIEW



LEFT END VIEW



ELEVATION VIEW



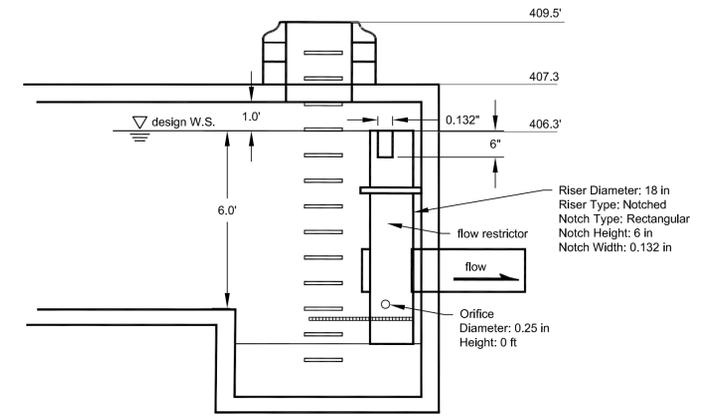
RIGHT END VIEW

| | |
|-------------------------------------|-------|
| TREATMENT FLOW (CFS) | 0.052 |
| OPERATING HEAD (FT) | 3.4 |
| PRETREATMENT LOADING RATE (GPM/SF) | 1.8 |
| WETLAND MEDIA LOADING RATE (GPM/SF) | 1.0 |

**MWS-L-4-4-V-UG
STORMWATER BIOFILTRATION SYSTEM
STANDARD DETAIL**

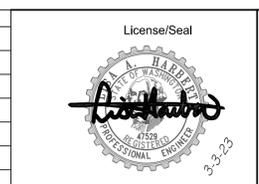


ENHANCED WATER QUALITY DETAIL
NTS



DETENTION VAULT RISER
NTS

| NO. | REVISIONS | DATE |
|-----|-----------|------|
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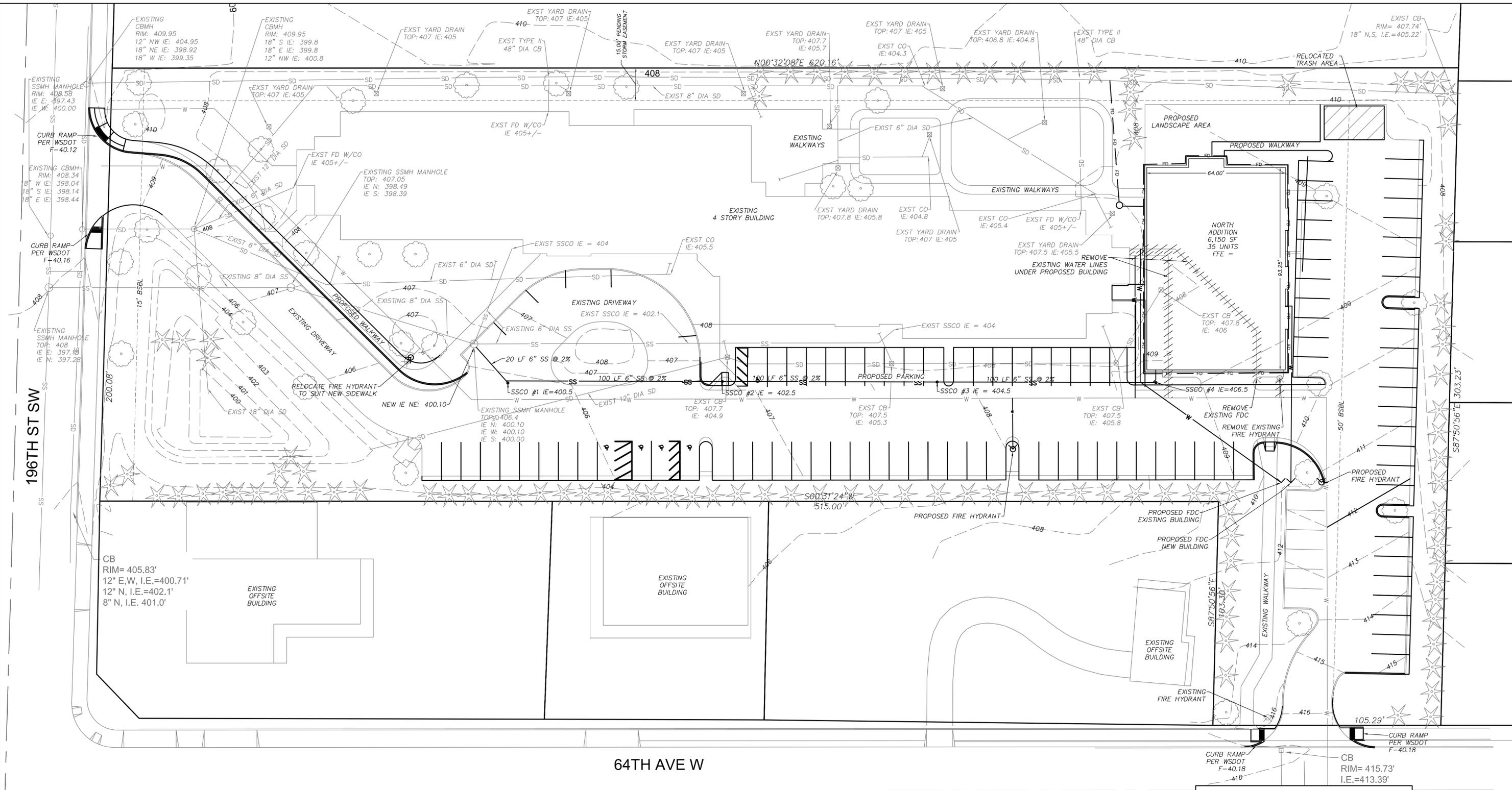


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LISAHARBERT@OUTLOOK.COM

GARDEN SENIOR VILLAGE ADDITION
DRAINAGE DETAILS
6425 196TH ST SW
LYNNWOOD, WA 98036

DATE: 3/1/2023
SCALE: NTS
DRAWN BY: CB
CHECKED BY: LH

DRAINAGE DETAILS
C6.0

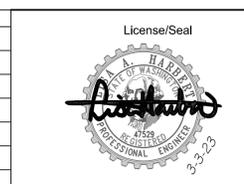


196TH ST SW

64TH AVE W



| NO. | REVISIONS | DATE |
|-----|-----------|------|
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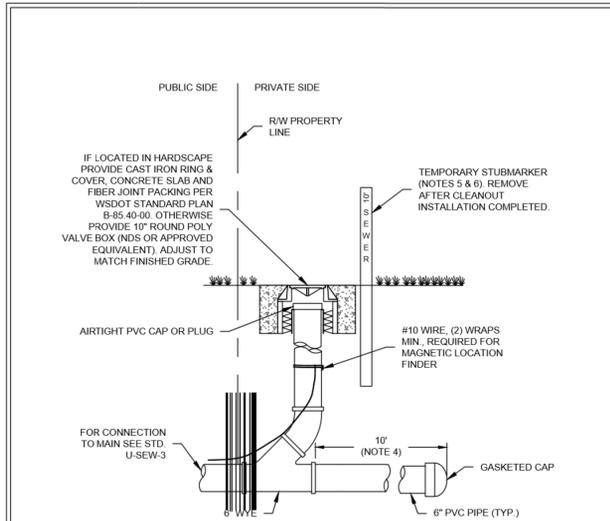


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GARDEN SENIOR VILLAGE ADDITION
 UTILITIES PLAN
 6425 196TH ST SW
 LYNNWOOD, WA 98036

DATE: 3/1/2023
 SCALE: 1"=20'
 DRAWN BY: CB
 CHECKED BY: LH

UTILITIES PLAN
C7.0



NOTES:

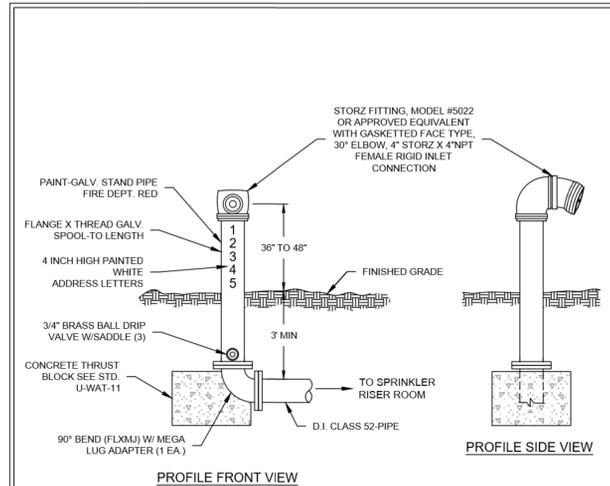
- CLEAN-OUT PIPE AND FITTINGS SHALL BE PVC WITH GASKET FITTINGS, NO GLUE JOINTS ALLOWED.
- A SANITARY TEE OR SWEEP MAY BE INSTALLED IN LIEU OF A WYE AS SHOWN. STRAIGHT TEES ARE NOT ACCEPTABLE.
- FOR NEW PLATS THE VERTICAL RISER PORTION OF THE CLEAN-OUT WILL BE CONSTRUCTED AT TIME OF CONNECTION TO BUILDING TO MINIMIZE DAMAGE. THE 6" WYE AND 6" PVC PIPE W/GASKETED CAP WILL BE INSTALLED PRIOR TO BUILDING CONNECTION.
- SEWER STUB WILL BE EXTENDED 10' BEYOND PROPERTY LINE TO PREVENT DAMAGE TO CLEAN-OUT AND MINIMIZE CONFLICTS WITH OTHER UTILITIES WHEN SERVICE TO BUILDING IS ACCOMPLISHED.
- A PRESSURE TREATED 2"x4" OR CONCRETE STUBMARKER SHALL EXTEND DOWN TO A MIN OF 24" BELOW GROUND. A MIN OF 36" SHALL EXTEND ABOVE GROUND.
- THE STUBMARKER SHALL BE PAINTED WITH WHITE TRAFFIC PAINT AND THE WORD "SEWER" AND THE DEPTH IN FEET FROM GROUND TO SEWER STUB INVERT SHALL BE PAINTED ON THE MARKER WITH 3" HIGH BLACK PAINTED LETTERS.



SEWER CLEANOUT

U-SEW-4-Sewer-Cleanout.dwg

| | |
|----------------|---------|
| DRAWING NUMBER | U-SEW-4 |
| SCALE | NONE |
| REVISION DATE | 01/22 |
| DEPARTMENT | PW |



NOTES:

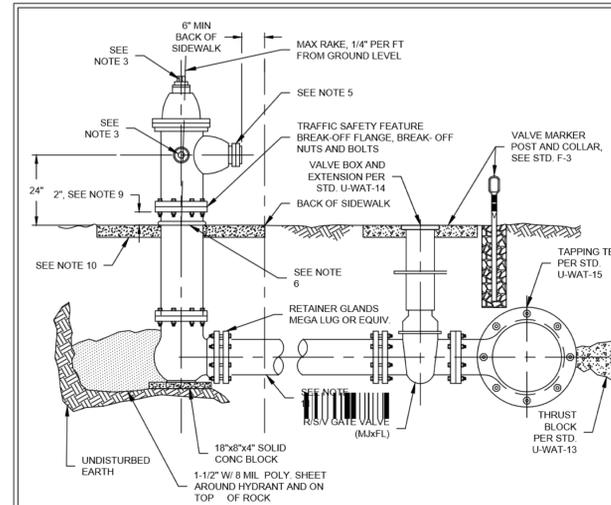
- PROVIDE BOLLARDS FOR VEHICULAR TRAFFIC PROTECTION WHEN NECESSARY. BOLLARDS AND POSITION TO BE IDENTICAL TO HYDRANT SHOWN PER STD. F-2.
- MINIMUM 4" PIPE (NFPA 13 16.12.4).
- EACH FIRE DEPARTMENT CONNECTION TO SPRINKLER SYSTEMS SHALL BE DESIGNATED BY A SIGN HAVING RAISED OR ENGRAVED LETTERS AT LEAST 1" IN HEIGHT ON PLATE OR FITTING READING SERVICE DESIGN. FOR EXAMPLE, "SPRINKLER", "STANDPIPE" OR "SPRINKLER-STANDPIPE" (NFPA 13 16.12.5.8.1).
- A SIGN SHALL ALSO INDICATE THE PRESSURE REQUIRED AT THE INLETS TO DELIVER THE GREATEST SYSTEM DEMAND (NFPA 13 16.12.5.8.2).
- AT BALL DRIP VALVE-INSTALL 1/2 C.Y. 3/4" WASHED ROCK WRAPPED IN FILTER FABRIC.
- SEE FIRE GENERAL NOTES FOR PLACEMENT AND FURTHER REQUIREMENTS.



FIRE DEPARTMENT CONNECTION

F-4-Fire-Department-Connection.dwg

| | |
|----------------|-------|
| DRAWING NUMBER | F-4 |
| SCALE | NONE |
| REVISION DATE | 11/20 |
| DEPARTMENT | PW |



NOTES:

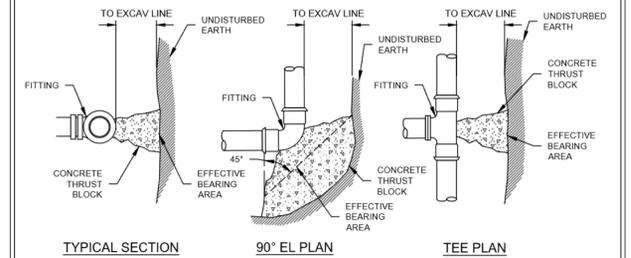
- HYDRANTS AND ALL MATERIALS TO BE APWA OR AWWA APPROVED (HYDRANTS SHALL BE MUELLER CENTURION A-423 OR AMERICAN DARLING 862B).
- 5-1/4" MAIN VALVE SEAT.
- 1-1/4" OPERATING NUT AND CAP NUT FOR 2-1/2" PORTS - CHAINS REMOVED.
- NATIONAL STANDARD THREAD ON THE 2-1/2" PORT.
- NATIONAL STANDARD THREAD W/4" NON-LOCKING STORZ ADAPTER AND CAP ON 4 1/2" PORT.
- IF HYDRANT RISES THROUGH CONCRETE, USE 1/2"x4" EXPANSION STRIP AROUND HYDRANT BARREL. IN ADDITION, INSTALLATION OF THE HYDRANT ON PRIVATE PROPERTY SHALL EQUAL OR EXCEED THE STANDARDS FOR INSTALLATION OF PUBLIC FIRE HYDRANTS IN THE CITY OF LYNNWOOD.
- PROVIDE BOLLARDS FOR VEHICULAR TRAFFIC PROTECTION WHEN NECESSARY PER STD. PLAN F-2.
- 4 1/2" PORT TO BE FACING STREET OR ROADWAY FOR FIRE ENGINE ACCESS.
- BREAK-OFF FLANGE TO BE 2" ABOVE GROUND LEVEL.
- INSTALL A 3' X 3' X 4" ALL-WEATHER PAD APPROVED BY THE FIRE MARSHAL'S OFFICE CENTERED ON THE HYDRANT. PROVIDE MIN. 4" CSBC BASE.
- HYDRANT CONNECTION PIPE TO BE 6" DUCTILE IRON CLASS 52, ANY INTERMEDIATE JOINTS TO BE MJ WITH RETAINER GLANDS (MEGA LUGS OR EQUIVALENT) OR FIELD LOCKS GASKET.
- FIRE HYDRANTS SHALL BE PAINTED WITH TWO COATS OF HIGH GLOSS SAFETY YELLOW "TRUST-OLEUM" TYPE PAINT.
- INSTALL RAYOLITE MODEL 44 BLUE REFLECTOR OR APPROVED EQUAL, OFFSET AT CENTERLINE OF ROAD ON SIDE WITH HYDRANT.



FIRE HYDRANT ASSEMBLY

F-1-Fire-Hydrant-Assembly.dwg

| | |
|----------------|-------|
| DRAWING NUMBER | F-1 |
| SCALE | NONE |
| REVISION DATE | 03/22 |
| DEPARTMENT | PW |



| FITTING DIA. | TEE OR DEAD END CAP | 90° | 45° | 22 1/2° | 11 1/4° |
|--------------|---------------------|------|------|---------|---------|
| 6" | 9.3 | 13.2 | 7.2 | 3.6 | 1.8 |
| 8" | 16.1 | 22.7 | 12.3 | 6.3 | 3.2 |
| 12" | 34.2 | 48.4 | 26.2 | 13.3 | 6.7 |

MINIMUM BEARING AREA TABLE (SF)

NOTES:

- BEARING AREA TABLE BASED ON 250 PSI TEST PRESSURE, 1,500 PSF SOIL BEARING AND SAFETY FACTOR OF 1.5.
- LOCATION AND SIZE OF BLOCKING FOR PIPE LARGER THAN 12" AND FOR SOIL BEARING PRESSURE DIFFERENT THAN SHOWN SHALL BE APPROVED BY THE CITY OF LYNNWOOD.
- THIS TABLE REPRESENTS THE "MINIMUM" CONSTRUCTION STANDARDS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING THE APPROPRIATE SIZE OF ALL THRUST BLOCKS BASED ON EXISTING AND LOCAL CONDITIONS.
- ALL BLOCKS ON TEES MUST BE SEPARATED FOR DIRECTION OF THRUST.
- SHEET PLASTIC OVER NUTS AND BOLTS PRIOR TO CONCRETE POUR.
- ALL FITTINGS TO HAVE THRUST BLOCKING AND ALL THRUST BLOCKS TO BE 3,000 PSI COMPRESSION STRENGTH CONCRETE POURED IN PLACE.
- BLOCKS TO BE FORMED AS REQUIRED BY LYNNWOOD INSPECTOR.



HORIZONTAL THRUST BLOCKS

U-1005-15-Horizontal-Thrust-Blocks.dwg

| | |
|----------------|----------|
| DRAWING NUMBER | U-WAT-13 |
| SCALE | NONE |
| REVISION DATE | 01/22 |
| DEPARTMENT | PW |

| NO. | REVISIONS | DATE |
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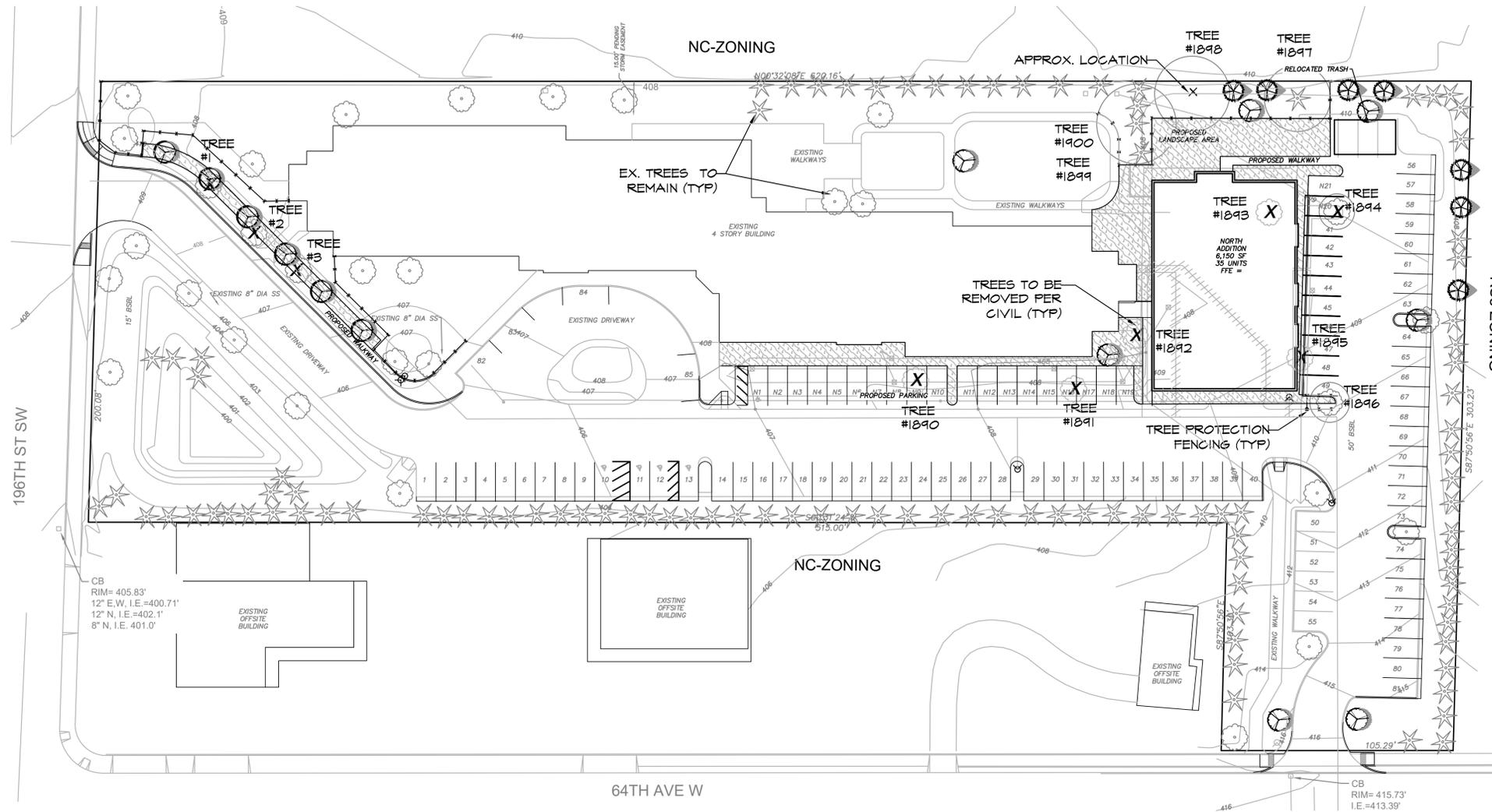
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GARDEN SENIOR VILLAGE ADDITION
UTILITY DETAILS
6425 196TH ST SW
LYNNWOOD, WA 98036

DATE: 3/1/2023
SCALE: NTS
DRAWN BY: CB
CHECKED BY: LH

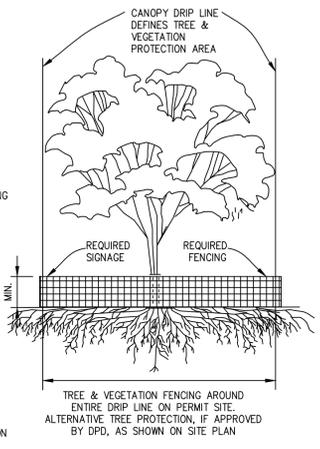
UTILITY DETAILS

C8.0

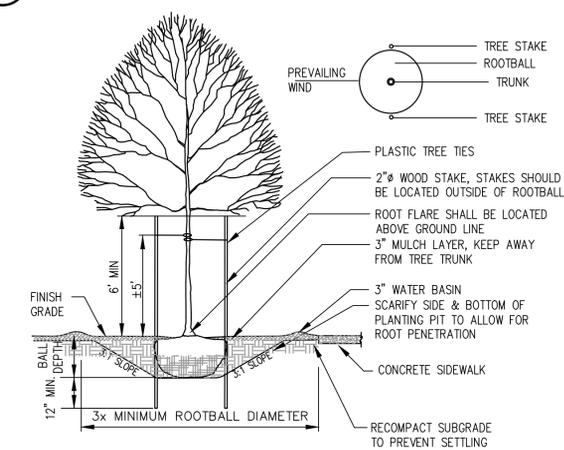


TREE PROTECTION FENCING AND SIGN

- CHAIN LINK, WIRE MESH, OR SIMILAR OPEN RIGID MATERIAL (NO PLYWOOD)
- MUST BE INSTALLED PRIOR TO DEMOLITION OR GROUND DISTURBANCE
- KEPT IN PLACE FOR THE DURATION OF CONSTRUCTION
- NO SOIL DISTURBANCE OR ACTIVITY ALLOWED WITHIN FENCED AREA: MATERIAL STORAGE/STOCKPILING, PARKING, EXCAVATION, DUMPING, OR WASHING
- MODIFICATIONS OF THESE REQUIREMENTS BY APPROVAL OF DPD PLANNER ONLY
- IF ROOTS GREATER THAN 2 INCH FOUND OUTSIDE OF FENCING, PROTECT BY HAND EXCAVATION AND, IF NECESSARY, CUT CLEANLY AND KEEP MOIST
- USE 3 INCHES OR DEEPER WOOD CHIP MULCH OUTSIDE FENCED AREAS TO PROTECT FEEDER ROOTS

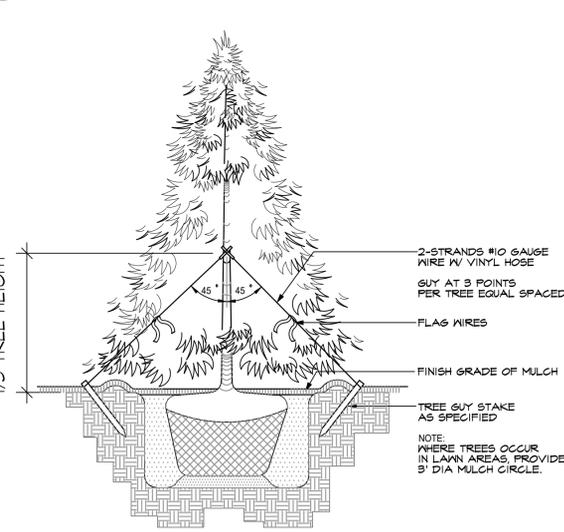


1 TREE & VEGETATION PROTECTION



- NOTES:**
- TREE PIT SHALL NOT BE LESS THAN (3) TIMES ROOT BALL DIA.
 - CUT ALL TIES AND FOLD BACK BURLAP FROM UPPER 1/3 OF ROOT BALL
 - REMOVE ALL PLASTIC AND TWINE
 - TREE STAKES PERPENDICULAR TO THE PREVAILING WIND
 - PLANT TREES 2" HIGHER THAN DEPTH GROWN IN NURSERY

2 TYPICAL DECIDUOUS TREE PLANTING DETAIL



3 TYPICAL EVERGREEN TREE PLANTING DETAIL

LANDSCAPE NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL OTHER SITE IMPROVEMENTS AND CONDITIONS PRIOR TO STARTING LANDSCAPE WORK.
- CONTRACTOR SHALL USE CAUTION WHILE EXCAVATING TO AVOID DISTURBING ANY UTILITIES ENCOUNTERED. CONTRACTOR IS TO PROMPTLY ADVISE OWNER OF ANY DISTURBED UTILITIES. LOCATION SERVICE PHONE 1-800-424-5555.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPUTING SPECIFIC QUANTITIES OF GROUND COVERS AND PLANT MATERIALS UTILIZING ON-CENTER SPACING FOR PLANTS AS STATED ON THE LANDSCAPE PLAN AND MINIMUM PLANTING DISTANCES AS SPECIFIED BELOW IN THESE NOTES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE QUANTITIES OF PLANTS THAT ARE REPRESENTED BY SYMBOLS ON THE DRAWINGS.
- SUBGRADE IS TO BE WITHIN 1/8" OF ONE FOOT AS PROVIDED BY OTHERS. ALL PLANTING AREAS TO BE CLEARED OF ALL CONSTRUCTION MATERIAL AND ROCKS AND STICKS LARGER THAN 2" DIAMETER.
- 6" DEPTH TOPSOIL IN BED AREAS AND 4" IN ALL LAWN AREAS.
- 2" DEPTH BARK IN ALL BED AREAS.
- ALL PLANT MATERIAL SHALL BE FERTILIZED WITH AGRO TRANSPLANT FERTILIZER 4-2-2 PER MANUFACTURER'S SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL CONFORM TO AAN STANDARDS FOR NURSERY STOCK, LATEST EDITION. ANY REPLACEMENTS MADE AT ONCE.
 - GENERAL: ALL PLANT MATERIAL FURNISHED SHALL BE HEALTHY REPRESENTATIVES, TYPICAL OF THEIR SPECIES OF VARIETY AND SHALL HAVE A NORMAL GROWTH HABIT. THEY SHALL BE FULL, WELL BRANCHED, WELL PROPORTIONED, AND HAVE A VIGOROUS, WELL DEVELOPED ROOT SYSTEM. ALL PLANTS SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
 - TREES, SHRUBS, AND GROUND COVER, QUANTITIES, SPECIES, AND VARIETIES, SIZES AND CONDITIONS AS SHOWN ON THE PLANTING PLAN. PLANTS TO BE HEALTHY, VIGOROUS, WELL FOLIATED WHEN IN LEAF. FREE OF DISEASE, INJURY, INSECTS, DECAY, HARMFUL DEFECTS, AND ALL NEEDS. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT OR OWNER.
- ALUMINUM EDGING, PERMALOC OR APPROVED EQUAL, TO BE INSTALLED BETWEEN BARK AND COBBLE.

PLANT SCHEDULE

| SHRUB AREAS | BOTANICAL / COMMON NAME | QTY |
|-------------|--------------------------------|----------|
| | NEW OR REPAIRED LANDSCAPE AREA | 6,365 sf |

TREE INFORMATION OBTAINED BY ARBORIST REPORT

| TREE # | DSH | CRZ | REMOVE/RETAIN |
|-----------------------|-----|-----|---------------|
| 1890 RED MAPLE | 13 | 13 | REMOVE |
| 1891 RED MAPLE | 12 | 12 | REMOVE |
| 1892 RED MAPLE | 14 | 14 | REMOVE |
| 1893 RED MAPLE | 8 | 8 | REMOVE |
| 1894 RED MAPLE | 8 | 8 | REMOVE |
| 1895 SHORE PINE | 14 | 14 | REMOVE |
| 1896 RED MAPLE | 9 | 9 | RETAIN |
| 1897 WESTERN R. CEDAR | 15 | 15 | RETAIN |
| 1898 WESTERN R. CEDAR | 17 | 17 | RETAIN |
| 1899 LEYLAND CYPRESS | 21 | 21 | REMOVE |
| 1900 LEYLAND CYPRESS | 18 | 18 | RETAIN |

6 SIGNIFICANT TREES TO BE REMOVED
 AVERAGE DBH 12.9 = 2 TREE UNITS EACH
 7 TREES X 2 TREE UNITS = 14 REPLACEMENT TREES REQUIRED



TREE INFO. TO BE OBTAINED BY ARBORIST REPORT ONCE UPDATED

| TREE # | DSH | CRZ | REMOVE/RETAIN |
|-------------|-----|-----|---------------|
| 1 RED MAPLE | 13 | 13 | REMOVE |
| 2 RED MAPLE | 13 | 13 | REMOVE |
| 3 RED MAPLE | 13 | 13 | REMOVE |

3 SIGNIFICANT TREES TO BE REMOVED
 APPROX. AVERAGE DBH 13 = 2 TREE UNITS EACH
 3 TREES X 2 TREE UNITS = 6 REPLACEMENT TREES REQUIRED

PLANT SCHEDULE

| TREES | BOTANICAL / COMMON NAME | SIZE | QTY |
|-------|---|----------------|-----|
| | Acer rubrum 'Bonhall' / Bonhall Maple | 2.5" Cal. min. | 6 |
| | Cercidiphyllum japonicum / Katsura Tree | 2.5" Cal. min. | 7 |
| | Thuja plicata / Western Red Cedar | 8' Ht. min. | 7 |

Root of Design
 206.441.9545
 2020 Maitby Rd
 Ste 7, FMB 370
 Bothell, WA 98021
 www.rootofdesign.com



PROJECT TITLE

PRELIMINARY LANDSCAPE PLAN

6425 196TH ST SW LYNNWOOD, WA

| | |
|---------|----------|
| DRAWN | DATE |
| ELK | 12.05.22 |
| REVISED | DATE |
| ELK | 03.01.23 |

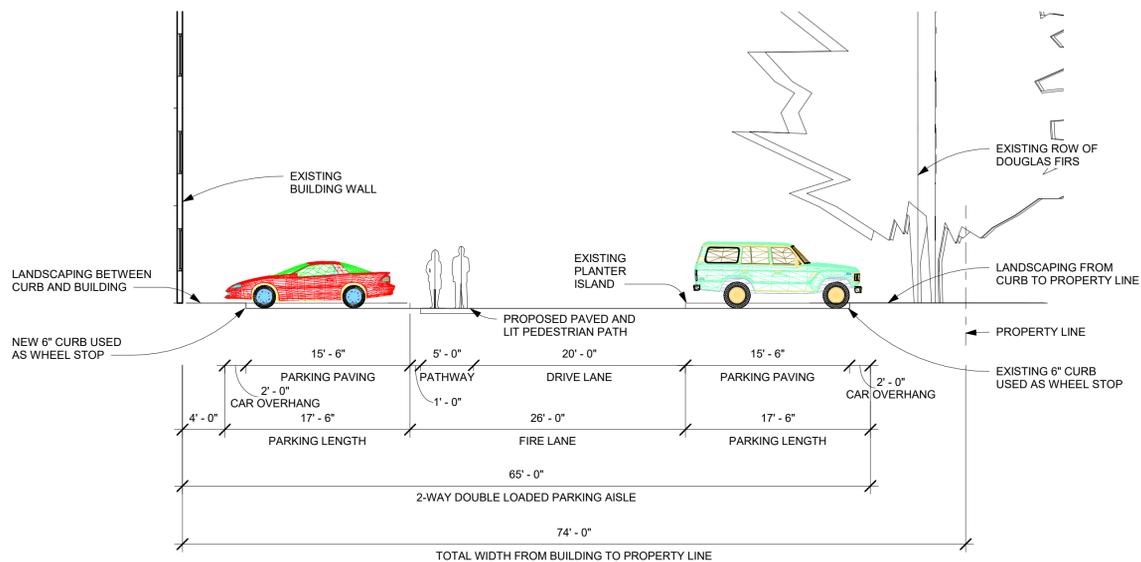
1/8" = 1'-0"

L1

L
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H
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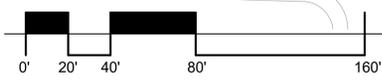
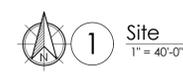
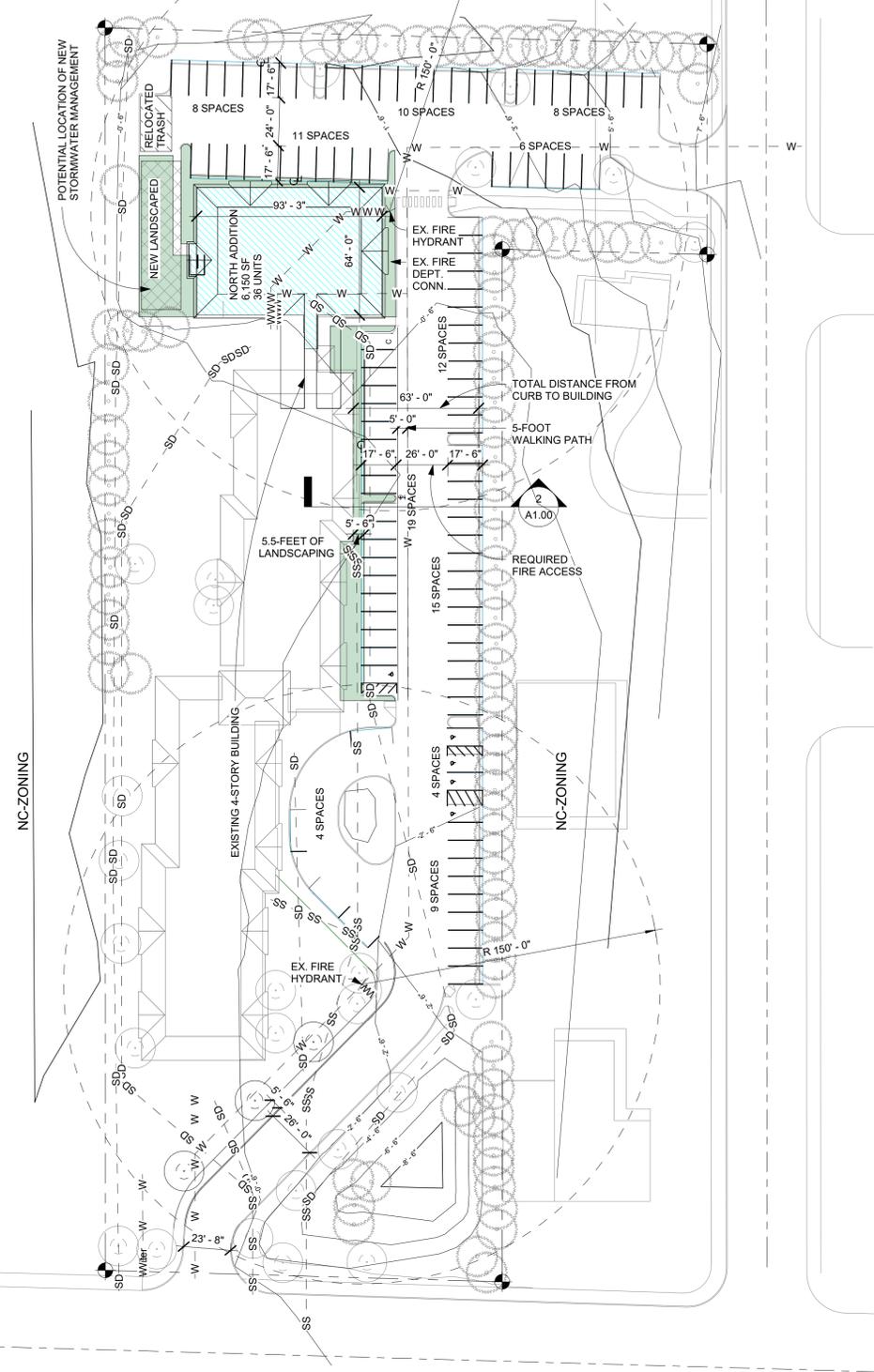
2 NORTH SOUTH DRIVE AISLE CONCEPT

1/8" = 1'-0"



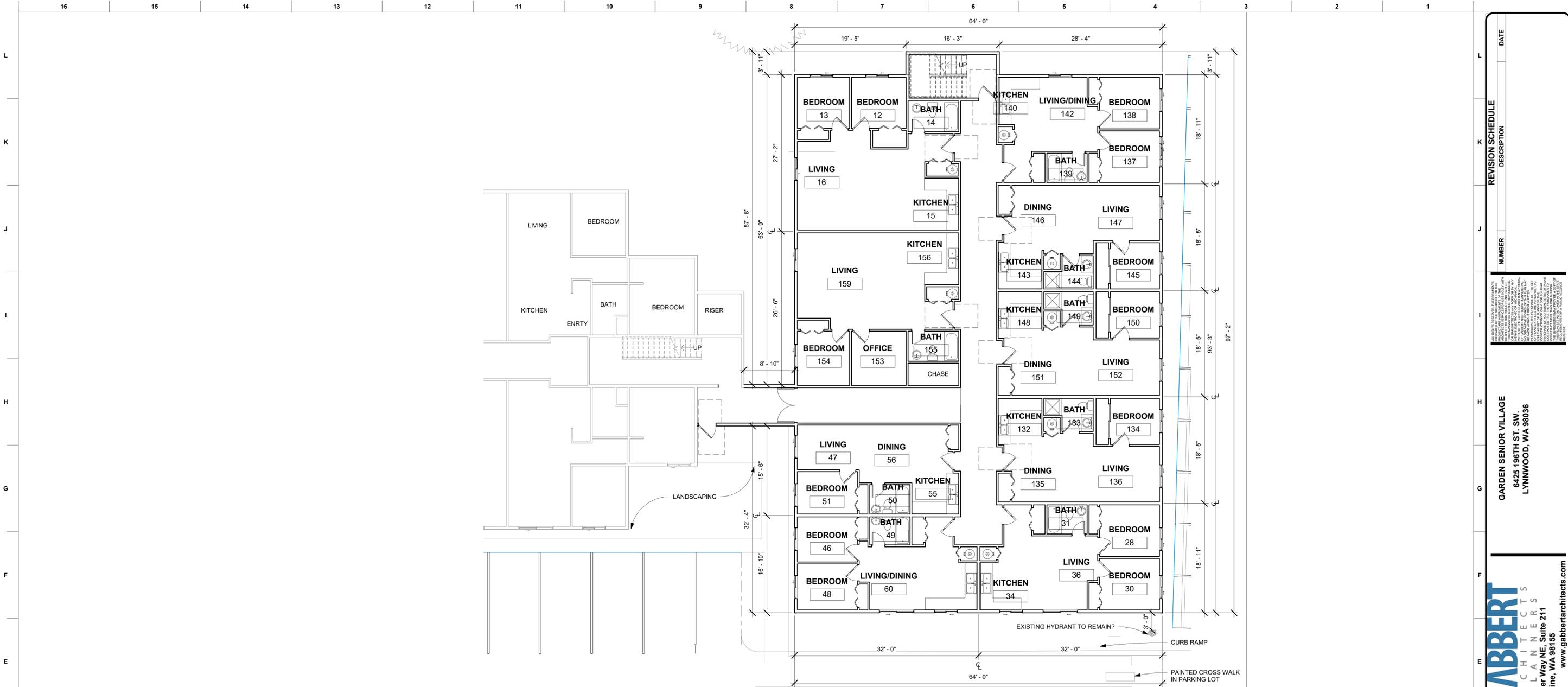
NC-ZONING

RS8-ZONING



PERMIT APPROVAL STAMPS

| | |
|---|-------------|
| REVISION SCHEDULE | DATE |
| NUMBER | DESCRIPTION |
| <p>GABBERT ARCHITECTS 20011 Ballinger Way NE, Suite 211 Shoreline, WA 98155 T: 206.367.3600 www.gabbertarchitects.com</p> | |
| <p>GABBERT ARCHITECTS ARCHITECTS 20011 Ballinger Way NE, Suite 211 Shoreline, WA 98155 T: 206.367.3600 www.gabbertarchitects.com</p> | |
| <p>PROJ. NO: 21018 FEASIBILITY DRAWN BY: Author CHECKED BY: Checker ISSUE DATE: 9/2/2021 SCALE: As Indicated</p> | |
| <p>SITE PLAN</p> | |
| <p>A1.00</p> | |



1 Level 1 - North Addition
1/8" = 1'-0"



| TOTAL UNITS | | |
|----------------|-----------|-------|
| BUILDING | Name | Count |
| EXISTING | 1-BEDROOM | 109 |
| EXISTING | 2-BEDROOM | 13 |
| NORTH ADDITION | 1-BEDROOM | 20 |
| NORTH ADDITION | 2-BEDROOM | 16 |
| Grand total | | 158 |

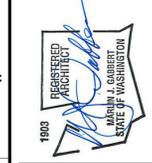
PERMIT APPROVAL STAMPS

| REVISION SCHEDULE | NUMBER | DESCRIPTION | DATE |
|-------------------|--------|-------------|------|
| | | | |

PROFESSIONAL SEAL OF ARCHITECT
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20011 Ballinger Way NE, Suite 211
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GARDEN SENIOR VILLAGE
6425 186TH ST. SW
LYNNWOOD, WA 98036

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PROJ. NO:
21018
FEASIBILITY
DRAWN BY: MBG
CHECKED BY: MJG
ISSUE DATE: 9/2/2021
SCALE: 1/8" = 1'-0"

NORTH ADDITION
- GROUND LEVEL

A2.20

3/9/2023 11:19:23 AM



NORTH ADDITION

FROM 64TH AVE. W
EXISTING
SEE PICTURES BELOW



1 EAST ELEVATION
1" = 20'-0"



THESE IMAGES ARE OF THE EXISTING BUILDING THAT WAS RECENTLY RE-SIDED THE NEW ADDITION WILL MATCH THIS IN LOOK AND MATERIAL.

- ALL SIDING TO BE CEMENT FIBER (EITHER PANEL OR S' LAP)
- ALL TRIM TO BE CEMENT FIBER
- MANSARD ROOF TO BE ASPHALT SHINGLES
- WINDOWS ARE WHITE VINYL



3 NORTH ELEVATION
1" = 20'-0"



4 WEST ELEVATION
1" = 20'-0"

PERMIT APPROVAL STAMPS

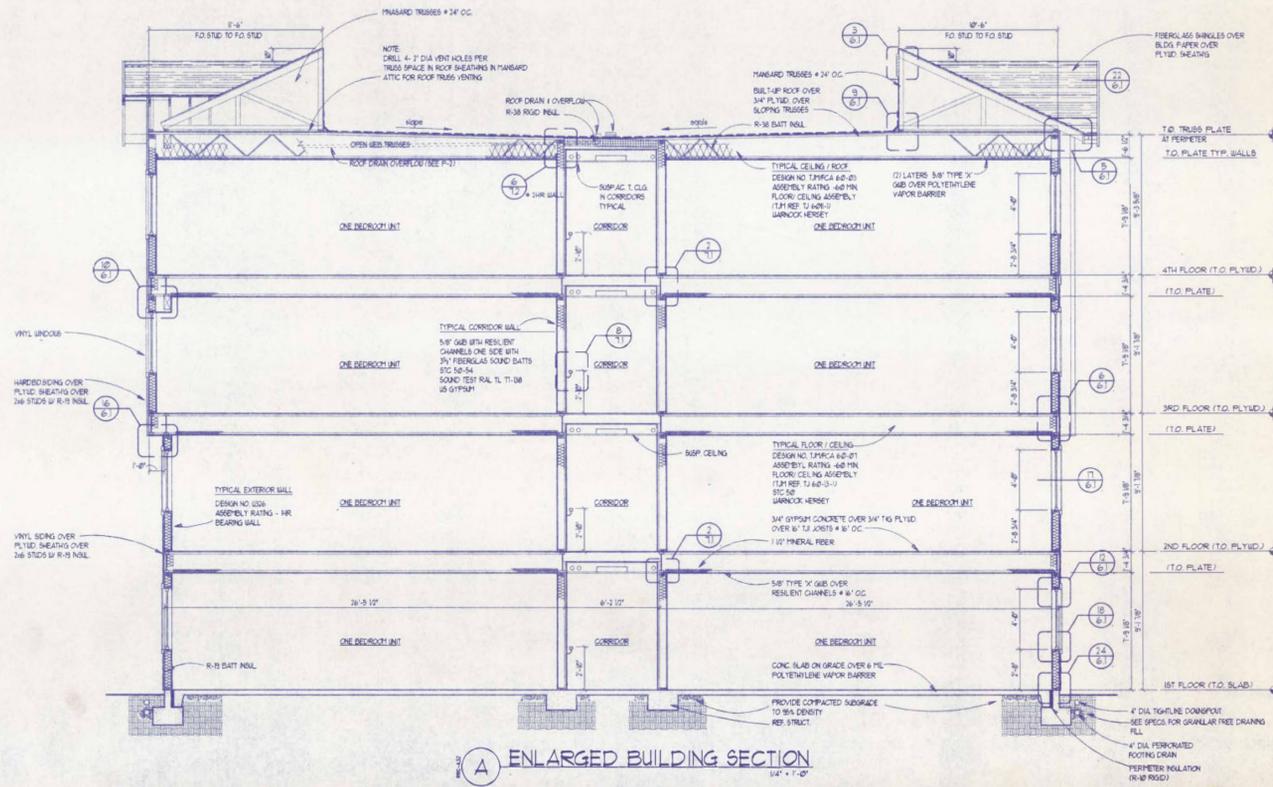
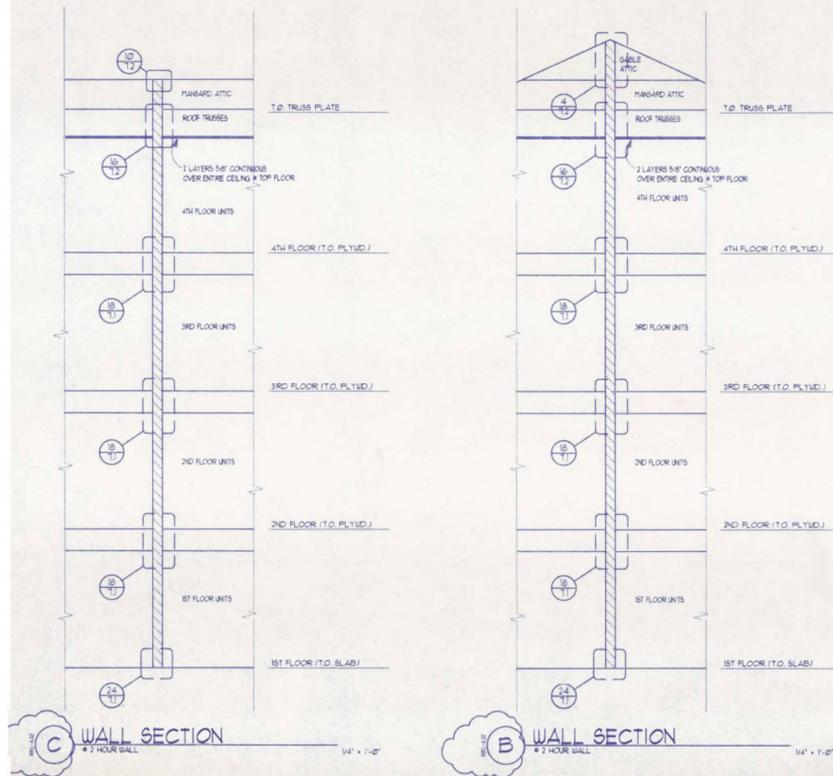
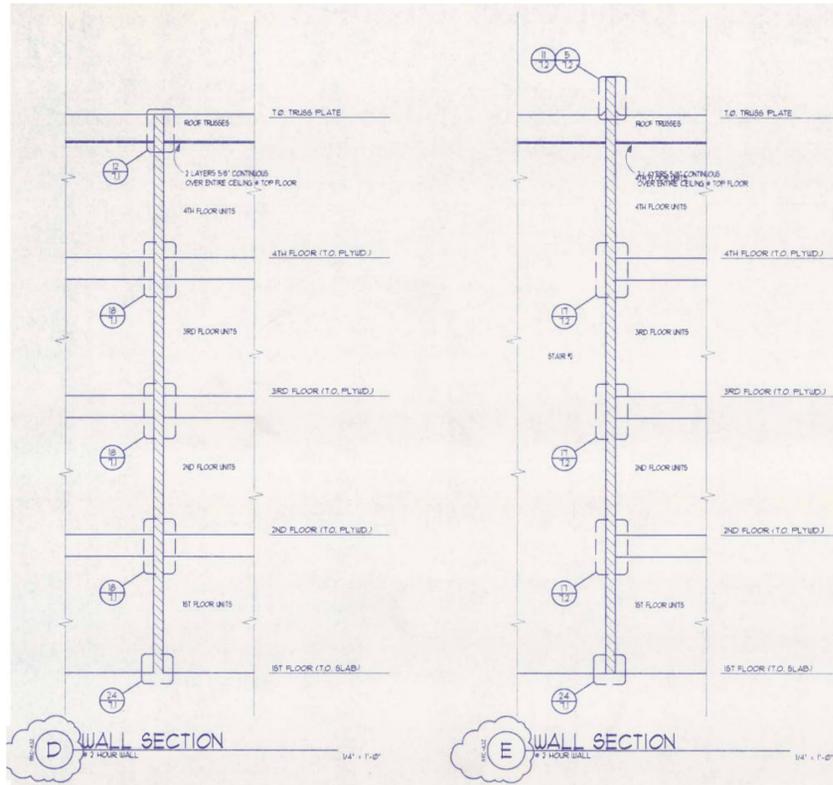
| REVISION SCHEDULE | DATE |
|-------------------|-------------|
| NUMBER | DESCRIPTION |

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21018
 FEASIBILITY
 DRAWN BY: Author
 CHECKED BY: Checker
 ISSUE DATE: 9/2/2021
 SCALE: As indicated

ELEVATIONS
A2.23

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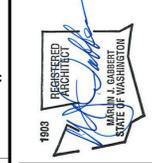
1 BUILDING SECTION TO MATCH
3/8" = 1'-0"

| REVISION SCHEDULE | DESCRIPTION | NUMBER | DATE |
|-------------------|-------------|--------|------|
| | | | |

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PERMIT APPROVAL STAMPS



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SCALE: 3/8" = 1'-0"

SECTIONS
A6.00